

***Oakland City Planning Commission
Design Review Committee***

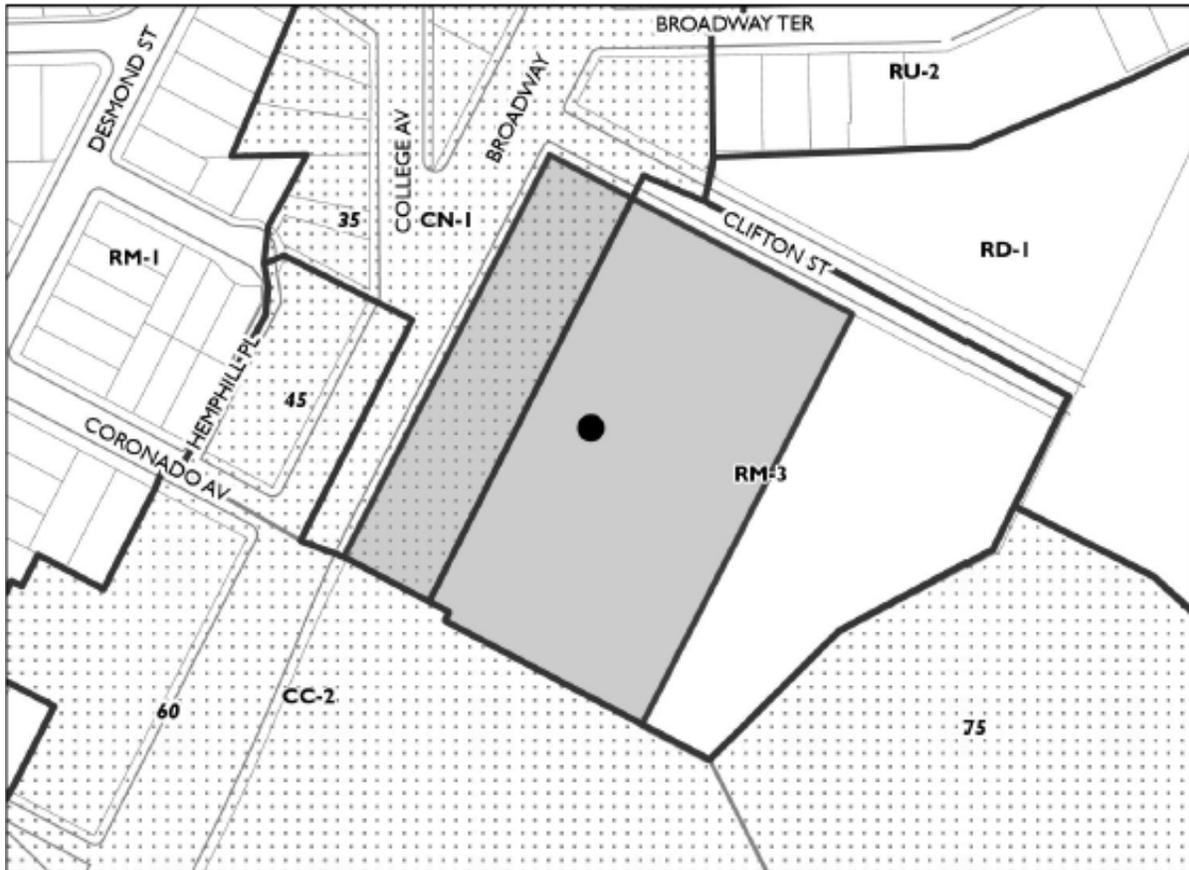
STAFF REPORT

Case File Number PLN 20141

March 22, 2023

Location:	5212 Broadway California College of Arts
Assessor's Parcel Number(s):	014-124-300-101
Proposal:	Develop a 448 - unit residential project in two buildings with 6,631 square feet of commercial space, 237 parking spaces, and 472 bicycle spaces, Preserve the Treadwell Estate. Demolish 10 historic campus buildings. Retain 41,193 square feet of Open Space with Public Access. Amend the General Plan from Institution to Community Commercial Land Use. Rezone from RM-3 and CN-1 to CC-2 with a height change from 35 feet to 90 feet. Adopt Design Guidelines for demolition and redevelopment of the campus.
Applicant:	Arts Campus LLC
Contact Person/ Phone Number:	415-489-1313
Owner:	California College of the Arts
Case File Number:	PLN 20141, ER19003
Planning Permits Required:	Planned Unit Development, Design Review, Rezone, General Plan Amendment, Variance, Conditional Use Permit
General Plan:	Institutional, Urban Residential
Zoning:	CN-1, RM-3
Environmental Determination:	Environmental Impact Report (EIR) is in process.
Historic Status:	Landmark, API, Campus District including 12 buildings: 4 A1+.4 B1+, and 4 C1+
City Council District:	1
Finality of Decision:	No decision on application, receive DRC and Public comments prior to decision on the application at a future date.
For Further Information:	Contact Case Planner Rebecca Lind at (510) 238-3472 or by email at rlind@oaklandca.gov .

CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN20141
Applicant: Arts Campus Holdings, LLC
Address: 5212 Broadway
Zone: CN-1, RM-3
Height Area: 35 ft

SUMMARY

The purpose of this report is to provide information about the updated site-specific design guidelines (Design Guidelines) prepared in response to the Design Review Committee comments during the prior review on October 26, 2022, and to evaluate whether the preliminary project design complies with the proposed Design Guidelines. The Design Guidelines are intended to provide supplemental information to decision makers that support the required findings and to provide guidance for design review as part of the Planned Unit Development (PUD).

BACKGROUND

The site was used as a college campus and a center for arts education associated with the American Arts and Craft Movement from 1922 to 2022. The California College of Arts consolidated its academic program in San Francisco over the last decade and completed its relocation to San Francisco in 2022. The site is now vacated with buildings and numerous site features remaining.

Summary of Site Background and Project Milestones

Date	Milestone	Requirement	Status
1975	City of Oakland Landmark	City of Oakland Historic Landmark in August 1975 (LM 75-221) Oakland Municipal Code	The existing Landmark, referenced as the Treadwell Estate, was established in 1975 and includes Macky Hall and Carriage House, two sequoia trees, the Broadway Wall & Stairs, the Carnegie Bricks, the Eucalyptus Grove, and an eighty-foot view corridor. The two buildings were listed on the National Register of Historic Places in 1977. The Landmark is subject to design review findings for Landmarks and demolition and replacement project findings.
1986	City of Oakland Area of Primary Importance (API)	Oakland City Historical Survey 1986 Oakland Municipal Code	The existing CCA campus is currently an API subject to demolition and replacement project findings.

2002	CCA decides to consolidate campuses in SF		
2019	Arts Campus LLC initiates entitlement process to redevelop CCA campus		Under Review
		California Environmental Quality Act (CEQA) An environmental impact report (EIR) is required.	An environmental review application was received on March 21, 2019, under case file ER-19003. Notice of Preparation (NOP) issued.
	Historic Resources Evaluation (HRE)	Historic Preservation Element CEQA	The HRE was completed November 2019. The HRE confirmed that the campus is a California Register and National Register-eligible historic district referenced as CCAC. based on Criterion 1 (Events) and a City of Oakland Area of Primary Importance (API). Four buildings are individually eligible for listing on the California Register under Criterion 3 (Architecture). The Treadwell Estate in its function as part of the college campus buildings is part of the Campus API.
	Land Use Entitlements (PUD/PDP, GPA, Rezone, Tentative Parcel Map	Oakland Municipal Code	Under Review; A development application was received October 6,2020 under case file PLN20141.
2019	Landmark Preservation Advisory Board (LPAB)	Oakland Municipal Code	CEQA Hearing for Notice of Preparation 8/12/19 Project Briefing 8/10/20 Design Guidelines Briefing 9/12/22, 10/10/22.

2019	Planning Commission (PC)	Oakland Municipal Code	CEQA Hearing for Notice of Preparation 10/15/19 Project Briefing 8/21/20
2020	LPAB		Project Briefing (8/10/20)
2020	PC		Project Briefing (8/21/20)
2022	CCA Oakland campus closed		
2022	LPAB		Review Design Guidelines (9/12/22)
2022	LPAB		Review Design Guidelines (10/10/22)
2022	DRC		Review Design Guidelines (10/26/22)

The project will be subject to future public hearings to consider entitlements, as follows (and not limited to):

- LPAB: Draft EIR
- PC: Draft EIR
- DRC: Design Review
- LPAB: Final EIR and entitlement recommendation including Design Guidelines
- PC: Final EIR and entitlement recommendation including Design Guidelines
- City Council (CC): Consideration of entitlement (including GPA and Rezone legislation)

PROJECT DESCRIPTION

The development application subject to the Design Guidelines proposes replacement of the existing CCA campus with a new multifamily/mixed use development. The proposal is revised from the draft plan presented at the October 26th, 2022, meeting to address the massing and scale of the new construction around the Landmark Buildings. Changes include the following.

- Reduce the number of units from 510 to 448 with 10% moderate income units.
- Eliminate parking under Building B and overall reduce parking to 237 spaces in Building A.
- Reduce the number of stories and building height of Building B for approximately fifty percent of the façade.

The remainder of the project remains fundamentally the same although there are proposed changes to the Design Guidelines that will require additional modulation and fenestration of the buildings.

The project continues to propose demolition of the Campus API including demolition of 10 buildings and grounds bounded by the Broadway wall to the west, Clifton Street to the north and the property lines to the south and east. The Landmarked Macky Hall and Carriage House would be rehabilitated for commercial use. Portions of the Landmarked landscape features would be retained as part of private open space with public access including the Macky Lawn, Broadway wall, steps, and the view corridor. The Carnegie Bricks and Eucalyptus Grove would be removed. The two Sequoia trees included in the Landmark designation were removed in 2020. New outdoor public use areas are proposed along with enhancements to site access and installation of new landscaping.

GENERAL PLAN AND ZONING

With regards to the General Plan, the project requires a General Plan amendment from Institutional Land Use to Community Commercial Land Use and rezoning from Mixed Use Residential (RM-3) and Neighborhood Center Commercial (CN-1) to Community Commercial (CC-2).

With regards to zoning, the proposed CC-2 zone allows modification of the design review process when a project is processed as a PUD. The Design Guidelines would be adopted as part of the PUD for the project and provide alternative standards and criteria for demolition and a replacement project, consistent with the mandatory findings in Planning Code Sections 17.136.070 for Landmarks, and 17.136.075 for projects within an API.

PROPERTY DESCRIPTION

The 3.9-acre site is located at 5212 Broadway in the Rockridge neighborhood. This location is prominent along Broadway close to the terminus of College Avenue. The site is characterized by a steep upslope rising above Broadway which levels toward Clifton Street. The site functions as a transition point in the urban fabric between residential neighborhoods, institutional uses, and the commercial corridor. The structures are between one and four stories in height, and range in date of construction from circa 1879-1881 (Macky Hall and the Carriage House) to 1992 (the Barclay Simpson Sculpture Studio). Access to the site is located on Broadway and Clifton Streets.

KEY ISSUES AND IMPACTS

The revised Design Guidelines are presented in Attachment A. In summary, the changes from the 2022 draft include:

- Revisions to the Vision (Chapter 1) to clarify the design response to historic and contextual elements that create the basis of the Design Guidelines and to provide a cross reference to the metrics and references used to document the design approach at a conceptual level.
- Revisions to Building Design Guidelines (Chapter 2) and Open Space Design Guidelines (Chapter 3) to address prior comments from the LPAB and the DRC at a detailed level.
- Completion of the Implementation Checklist (Chapter 4). Guidelines are grouped by number and title under the relevant mandatory findings they are intended to address and providing cross references to the metrics and references used to document the design approach.
- Completion of an Appendix to provide metrics and references that document the characteristics and conditions on the existing campus and surrounding neighborhood that are incorporated into the design approach and standards.
- A universal shift throughout the guidelines from “should” and “encourage” to “shall” and “required. In several cases optional choices are provided.

Analysis

Table I. Chapter 1 Vision

The features of the surrounding neighborhood and the existing campus are referred to for design guidance, but in the prior draft were not documented with concrete examples and dimensions that can be relied on for standards.

Prior Comments	Response
Document the various finished floor and entry elevations on sloped topography as a characteristic of the existing campus.	Appendix Item 1 Topographic site plan with Finished Floor Elevations
Document how the massing of buildings adjacent to Macky Hall references its' width and frames the Landmark building.	Appendix Item 2 California College of the Arts Period buildings height and setbacks surrounding Macky Hall and Carriage House, Item K Heights adjacent to Macky Hall for existing conditions, Appendix Item AA Width and Height of Macky Hall .
Existing buildings have exposed structural elements and material transitions that accentuate design quality. Identify how proposed building façades would reference this condition.	Appendix Item O and R Examples of facade composition references.
Existing building façade material is identified as referencing California College of the Arts period but not explained. Provide examples. The preferred façade material is not explained.	Appendix Item P Examples of facade composition references
The Guidelines address the retention or re-use of landscape features but do not recognize the Eucalyptus grove.	Appendix Item X Contributing landscape features and existing art and artifacts along secondary pedestrian pathways
Building base and rhythm on College Ave are not documented.	Appendix Item FF Typical rhythm and widths of building base along College Avenue
What is the width and height of the existing adjacent midrise buildings that sets the context for the transition to the project site?	Appendix Item GG Typical facade articulation and modulation in the mid-rise in nearby mid-rise residential buildings, Appendix Item MM Diagram and examples of nearby new buildings transitioning to adjacent heights. Appendix Item NN Typical widths and height of mid-rise buildings along Broadway Terrace
College Avenue has a lower scale context and a pattern of building openings with ground floor access. What is the design standard for the lower scale context?	Appendix Item II Aerial image of College Avenue Streetwall, Appendix Item OO Residential stoops transition to street in Rockridge neighborhood, Appendix Item JJ Existing green terminus of College Avenue as it intersects Broadway
Clarify which aspects of the project would be consistent with characteristics of the communities in the East Bay Hills.	Appendix Item LL Examples of East Bay buildings breaking down perceived scale and using moments to display height
Document the footprints and heights of adjacent commercial corridor and neighborhood buildings over 40 feet in height.	Appendix Item II Aerial image of College Avenue Streetwall.

Review of detailing is one aspect of the mandatory findings. Document good examples of detailing for the existing campus and neighborhood buildings.	Appendix Item HH Horizontal elements along College Avenue Appendix Item PP Examples of Rockridge architectural features
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Table II Rehabilitated Landmark and CCA Era Buildings

This table summarizes responses to comments about rehabilitated historic resource buildings.

Prior Comment	Response
The LPAB requested that the guidelines should address how the Secretary of the Interior Standards will be enforced, require that modifications reflect the era, and require a robust set of drawings, not photographs.	Revised GL 2.1.1 and 2.1.2 Require compliance with Secretary of the Interior standards during building permit review.
Existing CCA structures shall be prohibited within 20 feet of the Broadway Wall. This guideline seems inconsistent with GL 2.5.10 which allows new construction within 3 feet of the Broadway Wall.	The Guideline is eliminated.
There should be a set of general guidelines that apply to all historic resources remaining on the site	Revised GL 2.2.3 addresses retention of character defining features for existing CCA period buildings that are retained and or relocated.

Table III New Construction Buildings

This table summarizes responses to comments about design standards and strategies to integrate design features into the proposed new (replacement) buildings on the site.

Prior Comment	Response
The Guidelines identify a project building area as “similar to the existing CCA” although the existing campus differs in the overall size and location of buildings. The Guidelines present the surface parking lot as part of the existing building footprint	Figure 2.11 Buildable Area Boundary p. 36 is revised to show and contrast existing campus building footprints as well as the new building area. GL 2.3.3 is revised to acknowledge that proposed building site coverage includes the area of the prior parking lot not only existing building footprints. GL 2.3.3 is revised to state that building in the campus parking lot at the corner of Clifton and Broadway provides a stronger street wall and better complies with the Corridor Design Guidelines.
GL 2.5.7 Multiple structures in building area would have a minimum 20’ setback	This guideline is eliminated, and the former Figure 2.13 revised to show only 40’ ground level and 50’ upper story level building setback between Building A and Building B.
Maximum height is not addressed	A note and dimensions are added to Figure 2.14 Priority height qualifications to address maximum height. The note states: <i>The height is not to exceed the max height set by zoning or PDP.</i> GL 2.3.10 is revised to state that priority height locations shall not exceed maximum height requirements identified in the PDP.
Separations between Macky Hall and the new construction are based on existing minimum	GL 2.3.7 is revised to change building separation

separations for smaller scale and detached buildings. With the minimum separation plus the increase in massing or volume, the larger format buildings read as close to and surrounding the Landmarked property, particularly Macky Hall.

A number of height reduction strategies are proposed which modify height on the periphery but do not affect the building core.

- This is particularly the case for Building B which has an overall 90' height.

from 25' to 35' between Building B and Macky Hall on the south within the reduced height zone.

New GL 2.3.12 Building B Height Reduction limits height on portions of Building B within 175 feet of the southern property line.

New GL 2.3.19 West Facade Of Building B Stepbacks. Requires The west elevation of Building B to step back above 65 feet in height for a minimum cumulative length of 85 percent of the elevation The stepback shall be a minimum depth of eight feet.

New Figure 2.21: Illustrates these guidelines

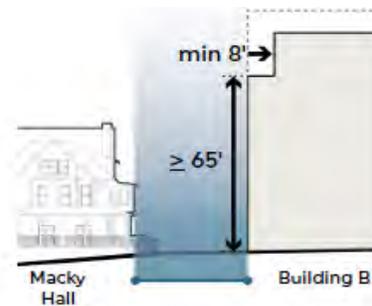


Figure 2.21: West facade of Building B height reduction and stepback requirement for 85% of elevation

Note: Refer to Guideline 2.3.7 regarding Macky Hall setback zone. Refer to Guideline 2.3.12 for height reduction of Building B.

The east facing façade of Building B which abuts the adjacent multifamily building is not sufficiently addressed.

- It is exempted from the fenestration grid requirement and the Subdividing Mid Rise Volumes standard.

GL 2.5.1 Organization of Fenestration is revised to include “existing residential to the east”, using the same standard as along the Neighborhood Paseo and Clifton Street.

“The fenestration grid shall not exceed | one story in height nor 15 feet in width similar to the scale of residential architecture in Rockridge”.

2.3.16 Subdividing Mid-Rise Volumes is revised to include the east façade of Building B.

“To respond to the width of Macky Hall, the southern half of Building B shall require subdivision into a minimum of three of its five or more required mid-rise volumes

Mid-rise volumes shall be permitted to be oriented vertically or horizontally but shall be a minimum of two stories in height and 40 feet in length. A change in plane with a minimum depth of five feet shall be required from adjacent volumes with the exception

	<i>of the east edge of Building B, which shall require all change in planes to be a minimum depth of two feet from adjacent volumes.”</i>
<p>The Clifton St (GL 2.3.17) and Open Space Height Reduction (2.3.18) strategies are only triggered when the buildings are over 75 feet in height although these strategies are presented as referencing multifamily building in the surrounding area.</p> <p>The Broadway and Clifton corner height reduction strategy (GL 2.3.13) is triggered at 65 feet but only applies to the first 65 feet of the frontage from the corner and allows greater height behind the 15’ setback.</p> <p>A 3-5 story building context was referenced in the prior draft but not documented. The proposed 75’ allowance is still higher than any buildings in the surrounding neighborhood or on the site and it is not the maximum height allowed.</p>	<p>Revised GL 2.3.17 refers to the scale of “nearby multi-family residential buildings along Broadway Terrace which are typically 30 to 60 feet”</p> <p>No other changes are proposed.</p>
<p>The Design Guidelines should better address the roof profile: roofs should be flat and sawtooth to the north (Comment from LPAB)</p>	<p>New Guideline 2.3.14 Roof Profile provides for flat or sawtooth roof profiles referencing the roof profiles of California College of the Arts Period buildings. If a sawtooth roof is implemented, it shall orient fenestration (skylights) north to capture ambient light.</p>
<p>GL 2.6.1 Building A Use On Broadway A minimum of 50 percent of the ground floor shall be dedicated to commercial use, educational use, or HBX Live-Work units along Broadway</p>	<p>Updated GL 2.4.1 changes the commercial standard to 50% of the ground floor length. A commercial depth standard is not provided. Live Work Units are eliminated.</p>
<p>GL 2.6.8 Building Base Rhythm. Documentation is needed of the building base standard requiring a rhythm between 25 and 40 feet in width.</p>	<p>Appendix Item FF Typical rhythm and widths of building base along College Avenue</p>

Table IV Open Space Design Guidelines

Prior Comment	Response
The Open Space View Corridor is intended to maintain the view of Treadwell Hall (now Macky) from Broadway and College Ave.	Done GL 3.3.2

Change the “encouraged to be retained” to “shall” the Carnegie Bricks are part of the landmark designation.	Done GL 3.3.5
Reuse of Removed Sequoia Trees Use “shall” rather than “encourage”.	Done GL 3.5.7

Chapter 4 Implementation Guidelines

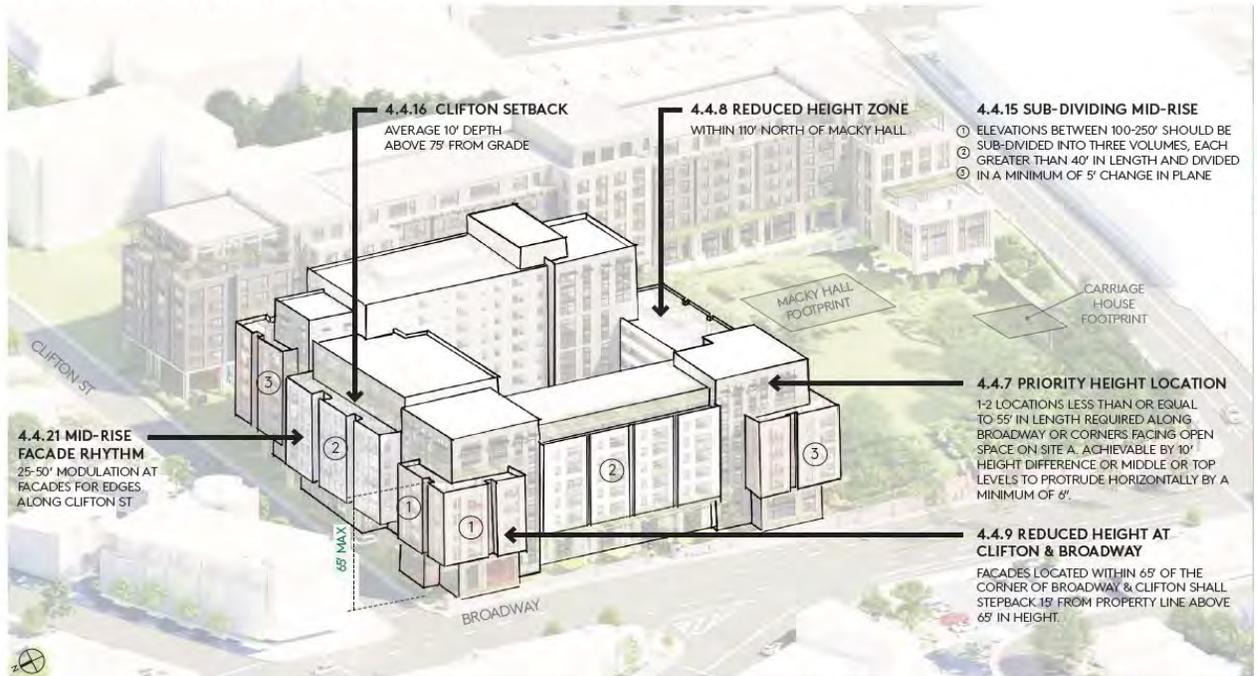
The Implementation Guidelines present the number and titles of Chapter 2 Building Guidelines and Chapter 3 Open Space Guidelines without illustrations. The Guidelines are organized by the applicant in response to the mandatory Findings in Planning Code Sections 17.135.070 and 17.135.075

The Implementation Guidelines are now updated to address all the mandatory findings from Planning Code Section 1.136.075. A variance will be requested for Finding 17.135.075 3C b iv. *The replacement project will not cause the district to lose its current historic status.* Further analysis of the findings will be prepared as part of the entitlement review for the Planning Commission.

Preliminary Review of the Project Design for Consistency with the Guidelines

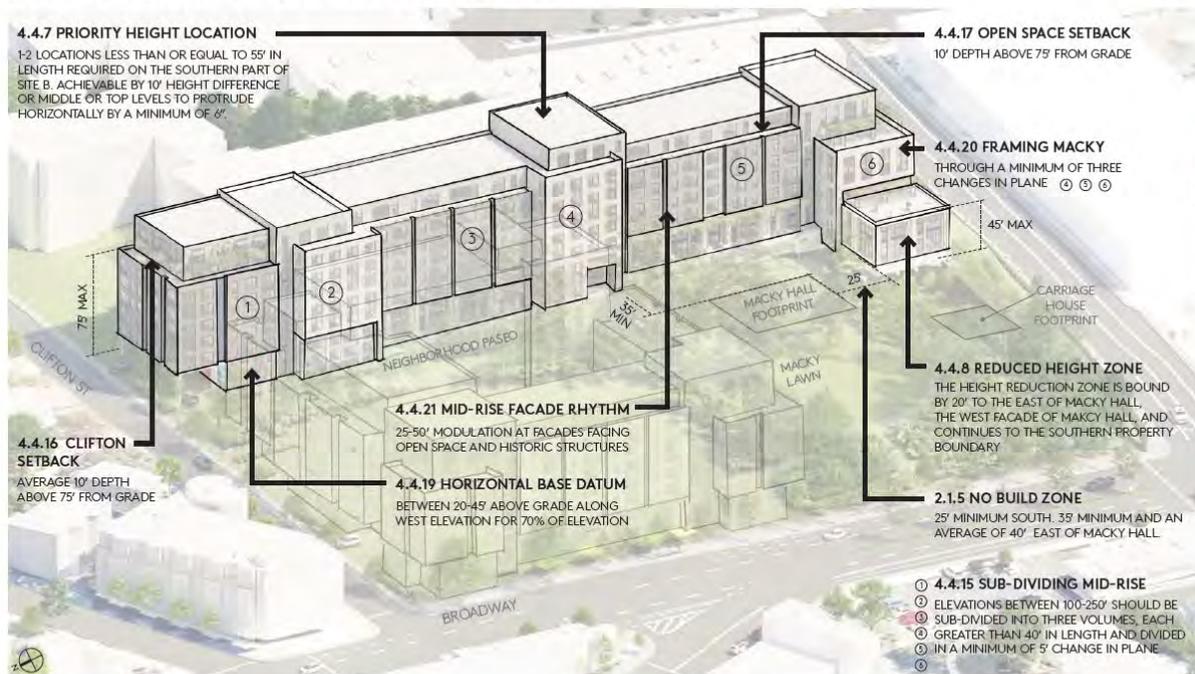
The revised Preliminary Development Plan generally reflects the Design Guidelines as drafted. The application Plan Set includes the two updated massing studies that summarize the design response for Building A and Building B. and the changes made to the Guidelines in response to comments. The two Guideline Compliance pages illustrate the implementation of guidelines relating to the form of the buildings and the relationship between the new buildings and the Landmark buildings. This analysis provides a good visual summary of how the various site planning and height reduction strategies work together.

CCA SITE DESIGN GUIDELINE COMPLIANCE: SITE A



33 SITE PLAN & BUILDING MASSING

CCA SITE DESIGN GUIDELINE COMPLIANCE: SITE B



34 SITE PLAN & BUILDING MASSING

RECOMMENDATIONS

Staff recommends the DRC review and confirm that the updated Design Guidelines for the California College of the Arts Development Project address the prior comments and provide additional direction as needed.

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Planner IV

Reviewed by:

Catherine Payne

Catherine Payne

Development Planning Manager

Bureau of Planning

ATTACHMENTS:

A. Design Guidelines Draft February 15, 2023

B. Preliminary Planned Unit Development Plan Set Updated March 3, 2023

Attachment A:

Design Guidelines Draft February 15, 2023



52
12
BROADWAY

CALIFORNIA COLLEGE OF THE ARTS
OAKLAND CAMPUS SITE

DESIGN GUIDELINES

February 2023

Project Sponsors:

EQUITY COMMUNITY BUILDERS

EMERALD FUND

Urban Design + Design Guidelines:

SITELAB URBAN STUDIO

Architecture:

MITHUN

Landscape Architecture:

CMG

Historic Architecture:

KNAPP ARCHITECTS

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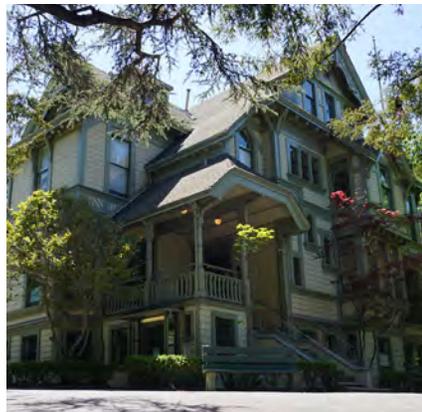
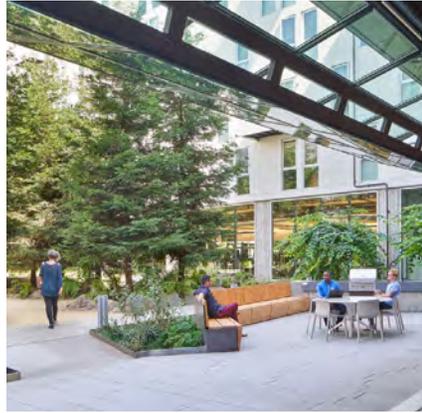
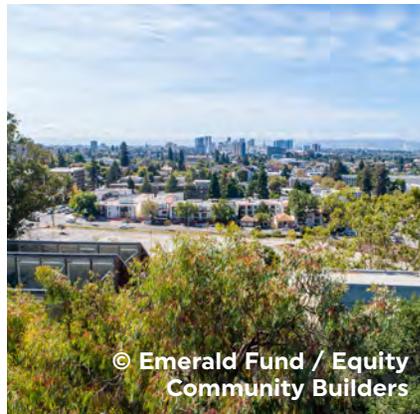


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Historic and Contextual Influences
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1 VISION

Overview	8	How To Use	20
1.1 Background + Influences.....	9	1.3 Applicability.....	20
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OVERVIEW

This document guides redevelopment of 5212 Broadway, the former California College of the Arts – Oakland Campus (CCA), under a Planned Unit Development Permit (PUD) PLN20141.

The application proposes to redevelop the 3.9-acre arts campus into a multi-family mixed-use development with new housing and publicly-accessible open space for the Rockridge community—evolving the site's historic significance into the next phase. This includes retaining the two buildings listed on the National Register of Historic Places and contributing to the Oakland Landmark; expanding upon existing open spaces for public use; maintaining site organization of the district; and replacing ten of the twelve existing buildings with new multi-family residential buildings that allow for 448 residential units, parking, and commercial use along Broadway.

The historic status of the existing campus (outlined in Section 1.1) triggers a high standard of review under the City's development review process to allow the proposed redevelopment. These guidelines were requested by the City as part of the PUD process to provide documentation that the redevelopment addresses to demonstrate the historic status of existing development, the neighborhood context, and the quality of the replacement project. This document articulates elements of, and responses to, the site's history and context as guidelines; and, if implemented, could allow the PUD project to meet the intent of the City's design review process.



Figure 1.1: Predominant layers of influence at 5212 Broadway. Source: Emerald Fund (Left). CCA Libraries (Right)

1.1 Background + Influences

The site is located at the entry to the Rockridge neighborhood in North Oakland where Broadway and College Avenue meet. The site is bound by Broadway to the west, Clifton Street to the north, multi-family residential to the east, and an access road to a regional shopping center alongside steeply sloped terrain to the south.

The site's history is well documented in the Historic Resources Evaluation (HRE), prepared by Page & Turnbull, and issued in November of 2019 for the Oakland Planning & Building Department. The HRE documents two periods of historic significance, the Early Estate Period and the California College of the Arts Period.

The following sections summarize the influences from the site's history and context that serves as a foundation for the Guidelines:

- **HISTORY:** Early Estate Period of Significance and California College of the Arts Period of Significance
- **CONTEXT:** Commercial Corridor and Rockridge Neighborhood

HISTORY: EARLY ESTATE PERIOD OF SIGNIFICANCE (1879-1922)

During the Early Estate Period the site was used as a residential estate and resulted in the construction of a private residence; Macky Hall (previously Hale House, Treadwell Mansion, and Treadwell Hall), its associated Carriage House, Eucalyptus Row, Carnegie Bricks, and the Broadway Wall and Stairs. Macky Hall and Carriage House (c. 1879-1881) extend across the two periods of historic significance of the site, with their noteworthy architectural style and association with education.



Photograph taken 1927

Figure 1.2: Macky Hall



Photograph taken 1926

Figure 1.3: Carriage House

HISTORY: CALIFORNIA COLLEGE OF THE ARTS PERIOD OF SIGNIFICANCE (1922-1992)

The California College of the Arts Period followed, during which time the California College of Arts and Crafts was established, renowned for art education. The Early Estate Period's residential buildings and landscape features were repurposed during the California College of the Arts Period to a functioning campus with classrooms, studios, and offices for arts education and art displayed within the landscape from its students, faculty, and alumni. The campus is defined by the juxtaposition of architecture at varying elevations, purpose-built inward-facing buildings, and a circulation network of meandering paths through large trees and sculptures. Many

of the contributing features of the campus outlined in the HRE continue to the present day.

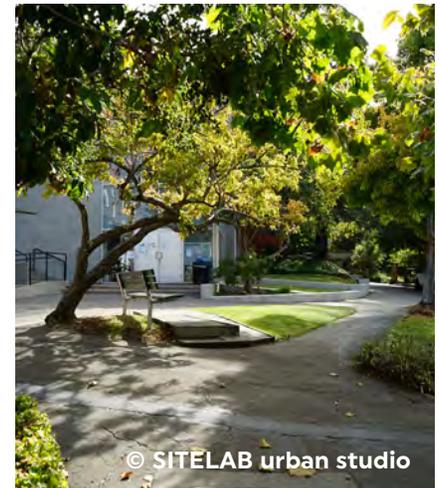
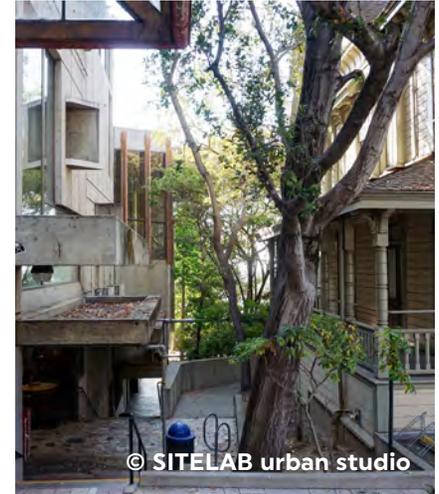


Figure 1.4: Themes of campus identity

SIGNIFICANCE OF HISTORIC RESOURCES

Four distinct identifications pertain to the existing campus and its historic resources:

- (1) the site is an Area of Primary Importance (API)
- (2) the campus is an eligible California Register District
- (3) four individual buildings are California Register eligible
- (4) the Treadwell Estate buildings listed on the National Register and along with contributing landscape features are an Oakland Landmark

(1) The site was identified as an API in 1986, and reconfirmed by the HRE in 2019. The site is historically significant for its contribution and role in the development of art and education, specifically of the American Arts and Craft

Movement, in California and the West Coast, which produced graduates who became professionals in the Bay Area; and for its physical embodiment of the principles of design in the spaces occupied by its students and faculty. The physical character-defining features of the campus are further defined in Section 1.2 and include the siting of “inward-facing purpose-built” buildings of varying styles, complementary yet varying materials, and a range of elevations lining the north and east of the campus; meandering pathways through long-standing trees; sloped topography; and a display of art. All twelve existing buildings, as well as the following historic landscape features contribute to the API: Macky Lawn, Faun Sculpture, Stairs with Ceramic Pots, Infinite Faith, Bell Tower, and Celebration Pole.

(2) All contributing features of the API also contribute to the

site's eligibility as a California Register District.

(3) Four individual buildings from the California College of the Arts Period are eligible for listing in the California Register of Historic Places. These buildings include Founders Hall, Martinez Hall, Noni Eccles Treadwell Ceramics Arts Studio, and Barclay Simpson Sculpture Studio.

(4) Macky Hall and Carriage House were listed on the National Register of Historic Places in August 1977 (Reference #77000286) and Class 1 and Class 2 Landmarks, respectively. The Broadway Wall & Stairs, Eucalyptus Row, Carnegie Bricks, and Macky Hall View Corridor contribute to the City of Oakland Historic Landmark identification.



Founders Hall



Martinez Hall



Noni Eccles Treadwell Ceramics Arts Studio



Barclay Simpson Sculpture Studio

Figure 1.5: Buildings individually eligible for the California Register

CONTEXT: COMMERCIAL CORRIDOR

Broadway and College Avenue, which converge adjacent to the site, are important commercial corridors connecting Oakland and Berkeley—from Jack London Square to the University of California at Berkeley. The site is a transitional site in North Oakland, where increased density and larger blocks to the south on Broadway meet smaller scale commercial development along College Avenue and low-scale residential blocks in Rockridge.

The City of Oakland's Design Guidelines for Corridors and Commercial Areas, adopted in July 2013, provide guiding principles for design on key corridors of Oakland. As defined in the Design Guidelines, Primary Corridors are wider and more urban in character, whereas Secondary Corridors are less dense in character.

Broadway, where it meets the site, is a Secondary Corridor and a major thoroughfare in Oakland. Broadway is primarily a vehicular corridor south of the site with larger adjacent lots. More recent development near the site occupies full blocks of up to 300 feet in length, but typical lot widths range from 50 to 80 feet. Broadway narrows north of the site with primarily residential uses.

College Avenue, also a Secondary Corridor, is predominantly a retail street with limited setbacks that encourage pedestrian activity along sidewalks and parklets. The rhythm between storefronts is more intimate, holding 25- to 45-foot typical lot widths. The street extends from the University of California, Berkeley campus to the site where it intersects with Broadway.



College Avenue



College Avenue



Residential Rockridge street



Broadway, north of the site

Figure 1.6: Corridors and streets in Rockridge

CONTEXT: ROCKRIDGE NEIGHBORHOOD

The Rockridge neighborhood is more than one style of architecture or one main street—it is a welcoming and inviting community framed by buildings and spaces that exude individuality, detail, and thoughtful transitions from lot to lot and street to street.

An assortment of textures, styles, colors, and articulated rooflines provide storefront variety along College Avenue establish a distinctive character to the neighborhood, provides rhythm to the blocks, and engages with the pedestrians at the street. Corner stores and residential buildings have prominent and defined bases, with historic architectural features such as projections, recesses, and bays, reflective of various styles prevalent in the area between the late 19th century through today. Much of the neighborhood is composed

of single-family homes from the early 20th century of Craftsman and Bungalow style which includes small proportions and distinct architectural details as well as points of social interaction between the sidewalk and a neighbor's stoops and porches.

The walkable neighborhood celebrates details and individuality—where materials, grain, plantings, and shadow lines created through vined-trellises, balconies, and articulated rooflines. The Rockridge neighborhood is eccentric—featuring gardens, murals, and signs, each with its own unique quality. Throughout the neighborhood, the sloping topography frames view corridors and the site's prominence as it meets the edge of the neighborhood and climbs the hillside.

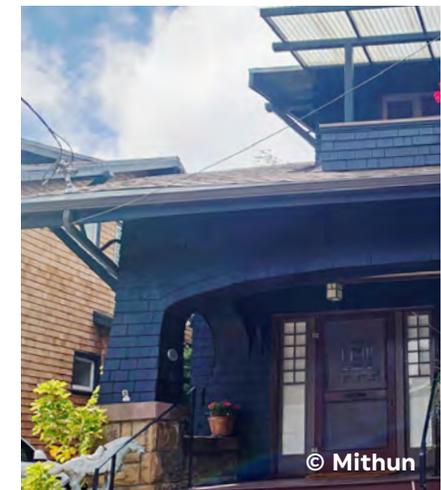
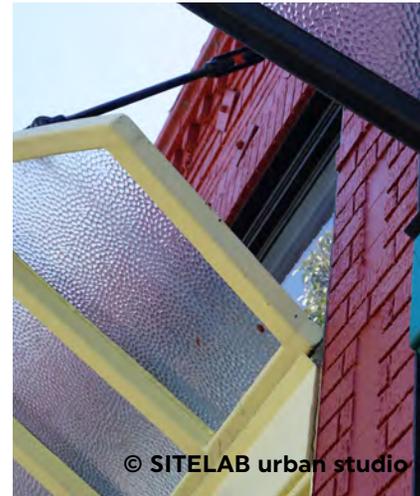


Figure 1.7: Details and craft in Rockridge architecture

1.2 Design Guidelines' Response to Historic and Context

The design guidelines in this document are intended to respond to the historic physical elements—of the campus and estate—and the contextual elements of the adjacent corridors and Rockridge neighborhood.

Site walks, context analysis, and meetings with stakeholder groups provides the basis for the contextual elements of the Rockridge neighborhood and the Broadway and College Avenue corridors. The HRE provides the basis for understanding the character-defining features of both the landscape and buildings that contribute to the campus and the Treadwell Estate.

The design guidelines are organized into two chapters, Buildings Design Guidelines and Open Space Design Guidelines.

The chapters include guidelines for both the retention and rehabilitation of historic resources as well as direction for how new buildings and open spaces relate to the historic elements and the contextual character of the site. Guidance for the retention and rehabilitation of the following historic resources is identified within each chapter:

- Buildings that contribute to the API and Treadwell Estate: Macky Hall and Carriage House
- API contributing historic landscape features: Macky Lawn, Stairs with Ceramic Pots, Faun Sculpture, Infinite Faith sculpture, Bell Tower, and Celebration Pole
- Treadwell Estate contributing historic landscape features: Broadway Wall and Stairs, Carnegie Bricks, and the Macky Hall View Corridor

CHAPTER SUMMARIES

- **CHAPTER 2 BUILDINGS**

DESIGN GUIDELINES: The guidelines in this chapter are divided into two sections: (1) Retained Contributing Buildings, which provides guidance on the rehabilitation and treatment of Macky Hall and Carriage House; and (2) New Construction Buildings, which provides guidance for new building response to context, embodiment of the character-defining features of the API and Treadwell Estate, and compatibility with rehabilitated buildings.

Guidelines in the New Construction Buildings sections are organized from large scale building form and massing, to building base and ground floor relationships, to small scale grain of composition and facade treatment.

- **CHAPTER 3 OPEN SPACE**

DESIGN GUIDELINES: This chapter contains two sections: (1) Contributing + Retained Landscape Features, which provides guidelines for maintaining and rehabilitating contributing historic landscape features of the Campus and Treadwell Estate and the setting for rehabilitated buildings contributing to the Oakland Landmark; and (2) Open Space Elements, which defines character, programming, and design considerations of open space to respond to both context and historic significance of the site in its next evolution as a new type of campus.

- **CHAPTER 4 IMPLEMENTATION**

CHECKLIST: This chapter aids in the conformance review of the proposed design and is organized by Design Review Findings.

- **REFERENCES:** This appendix cites references and metrics from the HRE, Corridor Guidelines, site walks, and contextual analysis as they are cross-referenced in the Summary of Design Guideline Responses to Historic and Contextual Elements in Chapter 1: Vision.

SUMMARY OF DESIGN GUIDELINES' RESPONSE TO HISTORIC AND CONTEXTUAL ELEMENTS

The following list summarizes responses to the historic resources and the context to create the basis for the Design Guidelines and thus, meet the Design Review Findings. References and metrics are documented in Appendix A and cross-referenced through superscript notation.

CCA CAMPUS:

1. Site new construction similar to the location of existing California College of the Arts period building footprints and surface parking lot, ^A such as:

- Building A generally occupies the footprint of Shaklee Hall, Simpson Sculpture Studio, Irwin Studio, and the campus parking lot at the corner of Clifton Street and Broadway, which enables the building to provide a stronger streetwall Broadway and better meet the intent of the Corridor Guidelines ^{B, C}
- Building B generally occupies the footprint of campus era buildings located along the east side of the site including the Facilities Building, Building B, Oliver Arts Center, Nonni Eccles, Martinez Annex, Martinez Hall, and part of the Founders Hall footprint ^C
- Vehicular access during the California College of the Arts Period was limited to Clifton Street and Broadway. Vehicular access is maintained along Clifton Street. The existing

Broadway Carriage Entrance is maintained for pedestrian access only ^D

- In keeping with the Secretary of the Interior's Standards, any proposed rehabilitation of Macky Hall will be within its existing footprint and any proposed moving of Carriage House will be sited in a similar orientation, separation and elevation from Macky Hall. In both instances, their settings will be maintained as during California College of the Arts Period
- In the event California College of the Arts Period buildings are rehabilitated, their location, siting, and setting are will be maintained

2. Orient new construction inward toward Macky Hall and Macky Lawn as the center of the site, similar to the existing California College of the Arts Period campus orientation, ^E such as:

- Similar to existing pedestrian access and circulation, primary

- pedestrian paths guide pedestrians from the Broadway Stairs and Clifton Street's northeast pedestrian entrance towards the center of the site's Macky Hall and Macky Lawn
- Reference ground floor rhythm, and materials of California College of the Arts Period buildings for facades facing the center of the site

3. Demonstrate differentiation and spatial relationships in new construction as seen in existing buildings, ^{F, G, H} such as:

- Differentiate new buildings through difference in material or fenestration rhythm, depth, or orientation ^F
- Setback new construction from Macky Hall and Carriage House, similar to their relationship to California College of the Arts Period buildings ^G
- Provide various finished floor and entry elevations on sloped topography, while limiting blank facades is in keeping with the existing campus ^I

- Provide height variation at priority height locations, mid-rise setbacks along the Neighborhood Paseo, and stepbacks to respond to adjacencies ^J
- Reduce height surrounding Macky Hall respond to the scale and relationship of California College of the Arts Period buildings and visually frame Macky Hall ^K

4. Demonstrate an equal design quality in new construction to the twelve existing buildings—and retained buildings keep their design quality, ^L such as:

- Massing adjacent to Macky Hall responds to its width, and frames the retained building as the primary building on site ^{AA}
- Any proposed rehabilitation of the exterior and interior architecture of Macky Hall and Carriage House will be to the Secretary of Interior's Standards
- While maintaining unity, mid-rise facade articulation,

CCA CAMPUS (CONTINUED):

subdivided mid-rise volumes, and stepbacks adjacent to historic resources address similar qualities and scale of existing buildings ^M

- Create defined building bases in new building elevations similar to the one to three story existing buildings through change in planes, horizontal elements, or material change ^J
- Organize fenestration composition in linear grids consistent with the modernist architecture of the California College of the Arts Period ^{N, O}
- Increase the depth of key openings to accentuate building details and generate stronger shadow lines, consistent with existing buildings ^O
- Reference the California College of the Arts Period architecture through facade material palette and color ^{P, Q}
- Demonstrate an intensity of detailing and craftsmanship through visible structural elements and material transitions to accentuate

the beauty in construction assembly, similar to the California College of the Arts Period architecture ^R

5. Retain contributing landscape features (Macky Lawn, Stairs with Ceramic Pots, Faun Sculpture, Infinite Faith sculpture, Bell Tower, and Celebration Pole), ^S such as:

- Maintain the slope, planting characteristics, and size of Macky Lawn ^{T, U}
- Any retained contributing landscape features within the open space will be sited in a similar setting in the existing California College of the Arts landscape ^{V, W}

6. Provide meandering, informal network of circulation routes through the site similar to the existing California College of the Arts Period campus, with improved pedestrian accessibility, such as:

- Provide secondary paths as alternate routes through the

site allowing the discovery of vistas and contributing landscape features similar to the California College of the Arts Period campus ^{V, W, X}

- Provide a variety of elevations for building entries across the site, similar to the existing campus' varying levels of building entries ^{A, I}

7. Retain characteristics of the existing campus landscape, such as:

- Retain long standing campus heritage trees (as identified in the PDP) that contribute to the framing of Macky Hall, Macky Lawn, and View Corridor
- Retain scale, orientation, views, materials, and programmatic components of the existing campus ^{T, U, V, W, X}
- A network of open spaces and meandering paths contribute to the existing campus's landscape of discovery ^{V, W, X}

8. Honor the art and education that took place during the

California College of the Arts Period and commemoration of site histories:

- Any proposed retention of additional art and artifacts will maintain their setting
- Integrate murals and artwork in facades facing the open spaces
- Commemorate site histories through displays or installations

TREADWELL ESTATE:

1. Any proposed retention and rehabilitation of the exterior and interior architecture of Macky Hall and Carriage House is in accordance with the Secretary of Interior's Standards, such as:

- Any proposed rehabilitation will adhere to the Secretary of the Interior's Standards on design, materials, and workmanship ^{Y, Z}
- Maintain Macky Hall as the primary contributing building on site through the siting of Carriage House and new construction's response to Macky Hall ^Y
- Carriage House maintains a subsidiary relationship with Macky Hall through its spatial relationship to and similar finished floor elevation of or below Macky Hall ^Z

2. Provide height reductions, setbacks, and transitions to Macky Hall, Carriage House, and contributing landscape features in new construction, such as:

- Limit height surrounding Macky Hall ^{AA}
- Setback new buildings from Macky Hall and Carriage House similar to their relationship to campus buildings ^J
- Massing adjacent to Macky Hall responds to its width to frame the retained building as the primary building on site ^{AA}
- Setback new buildings from the Broadway Wall

3. Retain or reference contributing landscape features (Broadway Wall & Stairs, Carnegie Bricks, Eucalyptus Row, and Macky Hall View Corridor), ^{CC} such as:

- Retain the entire length of Broadway Wall—with limited modifications—as the western boundary of the site ^{BB, CC}
- Retain the Broadway Stairs as the primary entrance to the site ^{BB, CC}
- Maintain and define the Macky Hall View Corridor through planting and programming ^{DD}

- Site Carnegie Bricks in a familiar context to their setting within the campus ^{EE}
- Remove the remaining Eucalyptus Row and reference its character in new plantings lining and framing primary pathways and views

BROADWAY / COLLEGE AVENUE AND ROCKRIDGE NEIGHBORHOOD:

1. Provide building base rhythm in new construction similar to College Avenue and continues active uses along Broadway:

- Reduce perceived scale of bulk and massing in mid-rise volumes and design facades to reflect widths of nearby residential mid-rise buildings (as identified in the PDP) ^{GG}
- Use horizontal elements along Broadway and Clifton Street in response to lower scale context and use a rhythm that responds to pedestrian activity similar to College Avenue ^{HH}
- Continue a streetwall at the Broadway and Clifton Street corner with limited setbacks ^{II}
- Continue ground floor commercial activity along Broadway near College Avenue

2. Maintain the site as a green terminus at the intersection of Broadway and College Avenue:^{JJ}

- Maintain the Broadway Wall as the primary edge and provide an accessible entry and a

concentration of planting at the southwest corner to invite access by the community ^{JJ}

- Preserve, protect, and expand the planting palette present in Rockridge

3. Respond to the site's unique topography and open space:

- Step building height with the topography ^{KK}
- Provide various finished floor and entry elevations on sloped topography across the site ^{I, KK}
- Include building separation and upper level stepbacks to increase daylight access within the public realm ^{LL}
- Use the sloped topography to frame vistas from the publicly-accessible open space through planting and circulation routes

4. Transition to context is expressed through upper level stepbacks, facade rhythm, and residential stoops in new construction:

- Reduce perceived height near

neighboring buildings through upper floor stepbacks and trellises ^{MM}

- Articulate rhythm of ground floor and mid-rise facades akin to the rhythm and scale along College Avenue and Broadway Terrace ^{NN}
- Incorporate residential stoops and horizontal elements at ground level transitions ^{OO}
- Encourage primary building entrances along streets and open spaces

5. Reference Rockridge architecture to avoid flat facades and provide shadow lines, such as: ^{PP}

- Limit the scale of glazing and ensure a depth at openings

HOW TO USE

1.3 Applicability

This document will focus on how the redevelopment of the site relates to the history of the site and the context of the Rockridge neighborhood and Broadway and College Avenue Commercial Corridors. 5212 Broadway Design Guidelines provide specific requirements and recommendations for the design of buildings and open spaces within the site, consistent with the goals and intent set forth by the City of Oakland's Planning Code. 5212 Broadway Design Guidelines provide supplementary guidance for the design of site planning, open space, and buildings on the site, proposed through the PUD application (PLN20141). Final Development Plan(s) (FDP) must provide design detail of the proposed buildings, landscape, and infrastructure in compliance with all guidelines in this document. These plans shall illustrate how design guidelines are met. Where the applicant is seeking an exception to individual guidelines, the applicant shall offer clear explanations that proposed solutions meet the intent, thereby meeting the applicable guideline subject to staff's discretionary review.

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5212 Broadway Buildings: Early Estate Period and California College of the Arts Period architecture, and aspirational characteristics from buildings in Rockridge.



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2

BUILDINGS DESIGN GUIDELINES

Retained Contributing Buildings.....	24	New Construction Buildings	32
2.1 Rehabilitation of Buildings Contributing to the Oakland Landmark	25	2.3 New Building Form.....	34
2.2 Rehabilitation of California College of the Arts Period Buildings	30	2.4 New Building Base.....	44
		2.5 New Building Facade Composition	49

This chapter includes guidelines for both the retention and rehabilitation of historic resources as well as direction for how new buildings relate to the historic elements and the contextual character of the site. Refer to Design Guidelines' Response Summary in Chapter 1: Vision.

RETAINED CONTRIBUTING BUILDINGS

Of the 12 existing buildings of the California College of the Arts (CCA), two—Macky Hall and Carriage House—are listed on the National Register and are designated Oakland Landmarks, while also contributing to the campus as an Area of Primary Importance (API).

Macky Hall—originally constructed as a residence in the Early Estate Period—has been repurposed for classroom uses and later adapted as the central administrative office for CCA. The Carriage House is an ancillary building to Macky Hall, serving as the storage structure for horses and carriages during the Early Estate Period. As noted in the 1977 National Register nomination, the Carriage House was relocated and renovated three times during the California College of the Arts Period to make space for new buildings—and its carriage entrance (see Figure 2.7) was also removed when it was converted into a studio space. Refer to Figure 2.3 for locations of the Carriage House throughout its history.

The guidelines in the following sections pertain to the retention and treatment of these two buildings. Any proposed rehabilitation of the two buildings will conform with the Secretary of the Interior's Standards for Rehabilitation. Changes are limited to mandatory measures for code and accessibility.

Refer to Section 2.3 for further guidelines regarding the new construction's response to Macky Hall and Carriage House. Refer to Section 3.1 for further guidelines regarding the open space's relationship with Macky Hall and Carriage House.

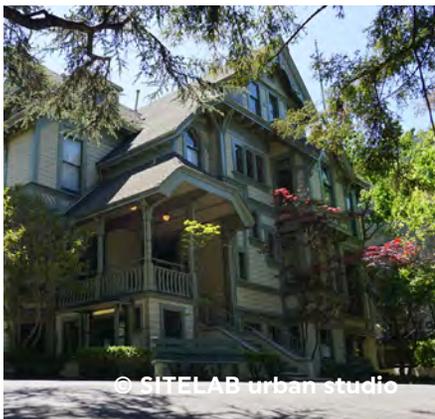


Figure 2.1: Macky Hall from California College of the Arts Period, circa 2020 (left) and 1927 (right)



Figure 2.2: Carriage House from California College of the Arts Period, circa 2020 (left) and 1973 (right)

2.1 Rehabilitation of Buildings Contributing to the Oakland Landmark

2.1.1 REHABILITATION REQUIREMENTS FOR RETAINED BUILDINGS CONTRIBUTING TO THE OAKLAND LANDMARK. Any proposed rehabilitation of buildings contributing to the Oakland Landmark shall be rehabilitated in accordance with the Secretary of the Interior's Standards for Rehabilitation.

2.1.2 REVIEW OF REHABILITATION DRAWINGS. During building permit review of the project, drawings for any proposed rehabilitation design of Macky Hall and Carriage House shall be reviewed for compliance with the Secretary of the Interior's Standards for Rehabilitation, by an individual that meets the Secretary of the

Interior's Professional Standards in Architecture or Historic Architecture.

LOCATION AND SETTING

2.1.3 MACKY HALL LOCATION. To maintain the historic significance and integrity of Macky Hall's location, Macky Hall shall be maintained in its current location and on its existing footprint, as recorded in the HRE and as listed on the National Register.

2.1.4 CARRIAGE HOUSE RELOCATION. Carriage House shall be permitted to be relocated so long as the move does not interfere with its status as a contributor to the National Register site per Criteria Consideration B by maintaining "compatibility in orientation, setting, and general environment" with the Early Estate Period and California

College of the Arts Period. Required conditions of relocation include each of the following categories, focused on maintaining the Carriage House's subsidiary relationship to Macky Hall:

- Orientation: If relocated, Carriage House shall be oriented in either its Early Estate Period or California College of the Arts Period alignment, with the primary entrance facing south or west.
- Location: Carriage House shall maintain horizontal separation to Macky Hall of no less than 40 feet and no greater than 120 feet. Carriage House shall not be permitted within the Macky Hall View Corridor (see Section 3.3).

- Elevation: If Carriage House is located further east from its HRE-identified location—approximately aligned with the primary elevation of Macky Hall—the ground floor of Carriage House shall be lower than the finished floor elevation of the main level of Macky Hall. If located further west from the HRE-identified location, the finished floor elevation of the ground floor of Carriage House shall be lower than the finished floor elevation of the basement level of Macky Hall.
- Setting: If relocated, Carriage House shall avoid referencing other historic conditions and must avoid creating a false historic setting

reference. If relocated where a California College of the Arts Period building has been removed, the site design shall emphasize a relationship to the historic conditions of the Carriage House rather than the historic building footprint of the removed structure. As an example, if relocated to the former footprint of Founders Hall, reference to the Founders Hall footprint shall be avoided to limit confusion. Additional landscape and planting strategies contributing to the setting of Carriage House are identified in Section 3.1

2.1.5 CARRIAGE HOUSE STRUCTURAL IMPROVEMENTS FOR RELOCATION. If

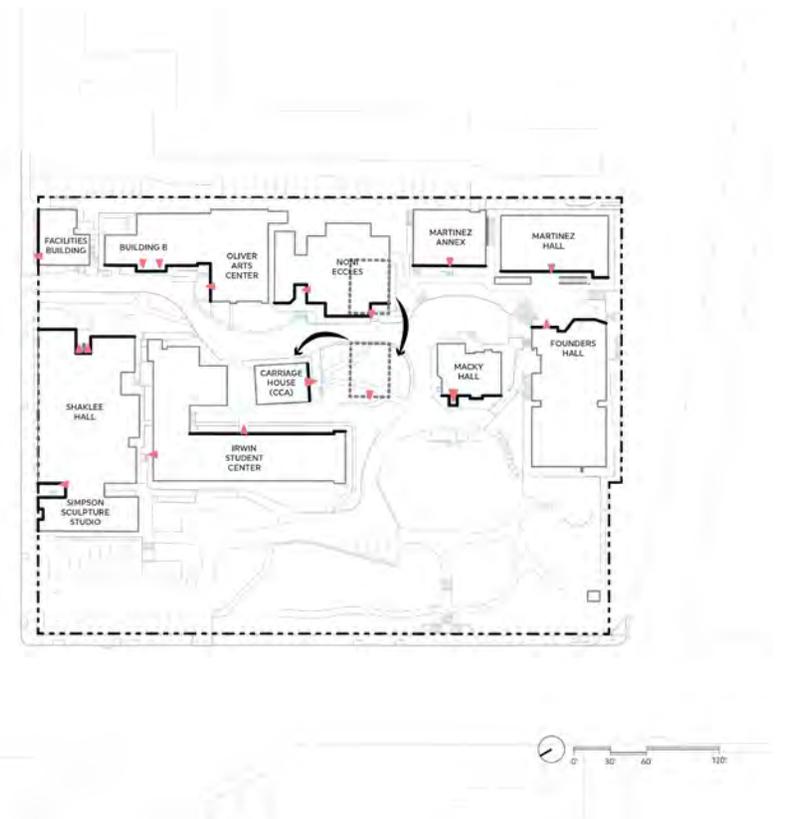


Figure 2.3: Locations of California College of the Arts Period relocation of Carriage House

- Site boundary
- Primary building elevation
- ▶ Primary entrance
- Previously documentation locations

relocated, structural upgrades shall be permitted to ensure stability before, during, and after the relocation of Carriage House. The exterior appearance shall not be altered during any structural improvements, refer to Guideline 2.1.10.

BUILDING ACCESS

2.1.6 MACKY HALL PRIMARY ACCESS. The west porch at Macky Hall has been the historical primary entrance. As such, the entrance at the west elevation shall remain operable, even if it is not the primary entrance, with interior access to the main ground floor space. It shall not be permanently closed or partitioned off on the interior. The porch on the east side—which has been altered in the past and is now the accessible entry—shall only be changed to accommodate building occupancy or code requirements. Refer to Figure 2.4 for the primary access to Macky Hall.

DESIGN, MATERIALS, + WORKMANSHIP

2.1.7 MACKY HALL DESIGN, MATERIALS, AND WORKMANSHIP. During any permitted exterior modifications, the design, materials, and workmanship of Macky Hall shall be maintained as recorded in the HRE and the National Register, according to Secretary of the Interior's Standards. Strategies include, but are not limited to:

- Repairing features and materials that can feasibly be retained—instead of replacing them
- Using the same or in-kind materials, colors, and textures
- Maintaining fenestration patterns and style

- Maintaining siding and trim
- Continuing the use of the vernacular or associated architectural style of Macky Hall. Refer to Figure 2.5 for aspects of craft.

2.1.8 MACKY HALL WINDOWS. The windows of Macky Hall shall be permitted to be reglazed if an energy analysis of the building shows that alternative measures prove less effective in reducing energy use. If greater energy or sound performance is needed, the addition of a second interior sash shall be permitted if it aligns with the existing frame and glazing while remaining visually secondary to character-defining features.

2.1.9 MACKY HALL EXTERIOR PAINT. The color scheme of Macky Hall shall be based on historical analysis of the building by a paint conservator. The existing color scheme shall be permitted without study.

2.1.10 CARRIAGE HOUSE DESIGN, MATERIALS, WORKMANSHIP. The following building elements of the Carriage House shall not be altered in the site nor during any relocation of the Carriage House:

- Exterior walls and roof
- Facade composition except for new openings per Guideline 2.1.11
- Architectural details such as siding, brackets, and trim, as shown in Figure 2.5.

2.1.11 CARRIAGE HOUSE NEW OPENINGS. New openings shall be permitted if designed consistently with the historic character of Carriage House in size and trim. New openings shall not interfere with the building's ability to convey retained character-defining features as identified in the HRE. New openings shall be prohibited on the primary building facade (facing south as identified in the HRE). New openings shall be permitted on the largely blank east, north, or west elevations if required by code or for programmatic need, but shall not be more prominent in their design than remaining openings.



Figure 2.4: West porch (historical primary entrance) (above) and east porch to Macky Hall (below)

Multi-gabled roofline
Scalloped shingles

Curved brackets
Double hung wood sash windows
Horizontal wood siding

Wood detailing
Bay window



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Figure 2.5: Character-defining features of Macky Hall per the HRE

A larger opening shall be permitted along the HRE-identified east facade in keeping with the size and design of the Early Estate Period carriage entrance—approximately eight feet wide by eight feet tall, centered on the dormer above—refer to Figure 2.7. New openings shall maintain a relationship between the Carriage House and Macky Hall as described in Guideline 3.1.3.

2.1.12 CARRIAGE HOUSE EXTERIOR PAINT.

The color scheme of Carriage House shall be based on historical analysis of the building by a paint conservator. The paint color of Carriage House shall match the same era of color Macky Hall is painted to avoid a

juxtaposition of historic colors that never occurred. The existing color scheme shall be permitted without study.

2.1.13 CARRIAGE HOUSE INTERIOR PARTITIONS.

Removal of non-structural interior partitions, which were not original to Carriage House, shall be permitted to maintain a large open space floor plan for both floors. Additionally, openings in the floor of the upper level of the building shall be permitted up to one-third of the floor area for internal stairs or double-height space. Unless it is deemed to conform with the Secretary of the Interior's Standards for Rehabilitation or based on documentation of conditions during the

period of significance, the interior shall not be subdivided into spaces smaller than the existing spaces nor shall the second floor be removed.



Figure 2.6: Carriage House during early California College of the Arts Period



Figure 2.7: Carriage House original opening on east facade

2.2 Rehabilitation of California College of the Arts Period Buildings

All 10 buildings constructed during the California College of the Arts Period contribute to district eligibility for the California Register and are identified as CEQA resources. The project proposes the removal of all ten buildings from the California College of the Arts Period. However, the guidelines in this section outline rehabilitation guidance should any of the buildings be retained.

2.2.1 PREFERRED RETAINED STRUCTURES. If additional buildings—beyond Macky Hall and Carriage House—are retained or relocated on site, the buildings identified by the HRE as individually eligible for the California Register (Founders Hall, Martinez Hall, Noni Eccles Treadwell Ceramic Arts Center, and Barclay Simpson Sculpture Studio, depicted in Figure 2.8) shall be prioritized in retention before other California College of the Arts Period buildings are considered. Refer to Guideline 2.2.5 and 3.3.6 for guidance on salvaging and reusing other buildings and/or their elements and additional art within new construction and the open space.

2.2.2 CALIFORNIA COLLEGE OF THE ARTS PERIOD BUILDING RELOCATION. Relocation of existing California College of the Arts Period buildings shall be permitted so long as the relocated buildings do not create a false sense of history in relation to Early Estate Period buildings—Macky Hall and Carriage House—nor to any other retained existing historic resource. Relocation shall be prohibited within the Macky Hall View Corridor, Macky Lawn, and any setback requirements from Macky Hall and Carriage House as identified in Section 2.3. Relocation shall be prohibited within 20 feet of the Broadway Wall. Relocated buildings shall maintain a consistent

orientation to their existing orientation.

2.2.3 CALIFORNIA COLLEGE OF THE ARTS PERIOD BUILDINGS' CHARACTER-DEFINING FEATURES.

Character-defining features that convey its historic significance of rehabilitated and/or relocated California College of the Arts Period buildings shall not be altered. If features are damaged or lost during rehabilitation or relocation, replacement of the features using the same or in-kind materials, colors, textures, and workmanship shall be required.

2.2.4 NEW BUILDINGS SETBACK FROM CALIFORNIA COLLEGE OF THE ARTS PERIOD BUILDINGS.

New buildings shall be setback a minimum of

40 feet from the primary facade (see Figure 2.3) and a minimum of 10 feet from all other facades of any retained and relocated California College of the Arts Period buildings. For minimum setback requirements surrounding Early Estate Period buildings—Macky Hall or Carriage House—see Guidelines 2.3.7 and 2.3.8.

2.2.5 COMMEMORATION OF CALIFORNIA COLLEGE OF THE ARTS PERIOD ARCHITECTURE.

To avoid a false historical representation, any elements repurposed from California College of the Arts Period buildings shall be presented with context, through signage and/or plaques, to understand their original form and significance.



Founders Hall



Martinez Hall



Noni Eccles Ceramic Arts Center



Barclay Simpson Sculpture Studio

Figure 2.8: Preferred California College of the Arts Period buildings for retention

NEW CONSTRUCTION BUILDINGS

The design of new construction buildings on the site are compatible with rehabilitated buildings contributing to the Oakland Landmark, respond to California College of the Arts Period building and landscape qualities, and relate as thoughtful neighbors to adjacent neighborhoods and corridors. Additionally, new buildings establish a relationship with the site's open space, the Broadway and College Avenue commercial corridors, and the sloping hillside topography.

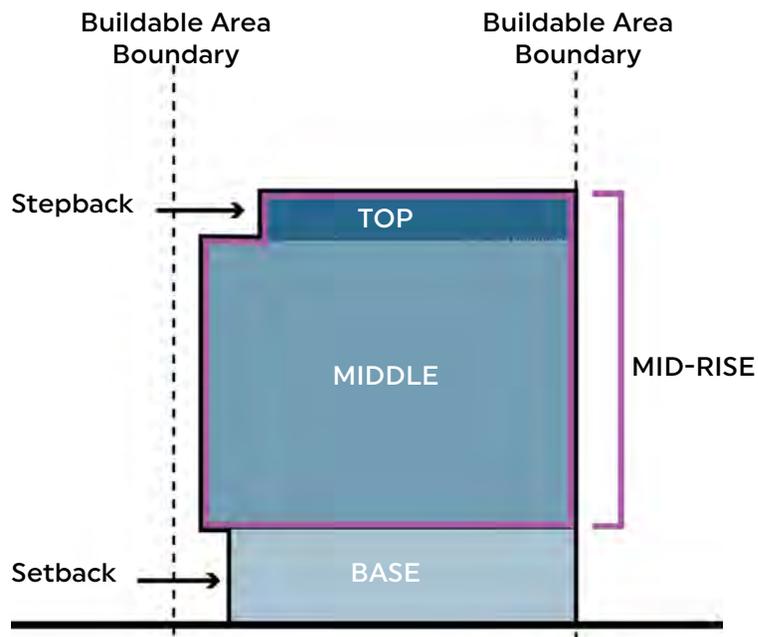


Figure 2.9: Section of building form terms

TERMS:

- **BASE:** The base consists of the levels most directly experienced when walking alongside a building—including the ground floor and second occupiable level. The base requires more detailed consideration around pedestrian scale design elements such as material application, transparency, rhythm through articulation and modulation, and setbacks from the site boundary.
- **MIDDLE:** The middle consists of levels above the base and below the top. The middle establishes the overall scale and rhythm of the building through massing, modulation, and articulation. In mid-rise residential buildings, the middle is generally the largest portion of the facade and plays a key role in architectural composition.
- **TOP:** The top consists of the last two occupiable levels. Building top strategies focus on those perceptible from a more distant vantage point and define the skyline of the site—such as height reductions, stepbacks, and roofline variation.
- **MID-RISE:** The mid-rise consist of all built levels above the base, including the middle and top levels, as described above, up to 95 vertical feet from grade.
- **HEIGHT:** Building height is measured between adjacent exterior finished grade and the top of roof excluding mechanical penthouse, elevator and stair overruns, parapets, or railings, further clarifying the Oakland Municipal Code definition in Section 17.09.040. Maximum heights are established through CC-2 Zoning and the Preliminary Development Plan.

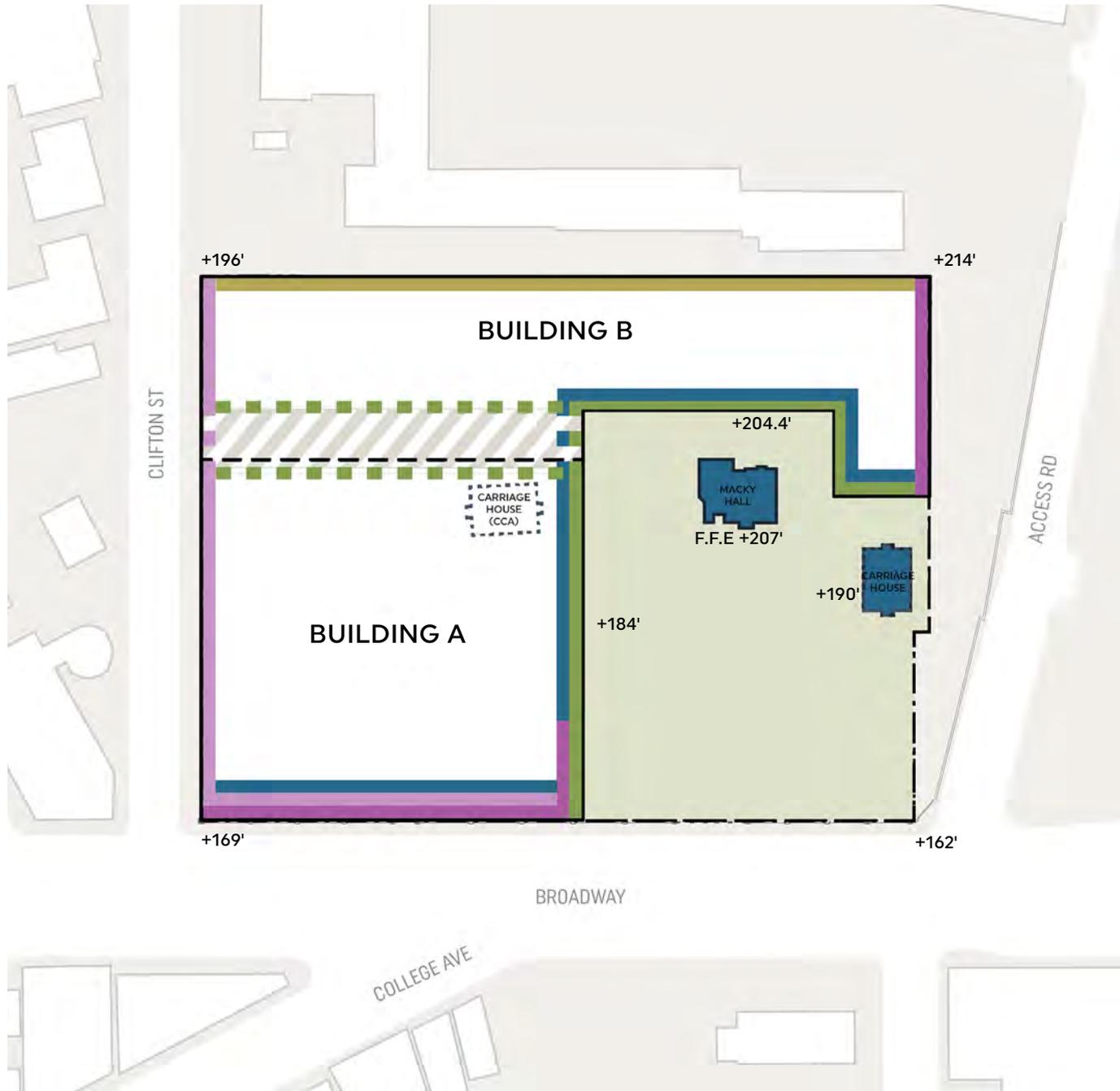


Figure 2.10: New buildings high visibility edges and adjacencies

- Street adjacent
- Open space adjacent
- Residential adjacent
- Historic adjacent
- Landmark buildings
- Highly visible edges
- +X' Above Sea Level
- Approximate Neighborhood Paseo location
- Site boundary

Note: Refer to Guideline 3.4.1 for Neighborhood Paseo size and location

2.3 New Building Form

This section guides new building massing in response to various adjacencies and site conditions, including buildings contributing to the Oakland Landmark, open space, neighborhood context, and topography. This section is organized into the following building massing strategies—see Figure 2.10:

- **BUILDABLE AREA:** Establishes the areas of the site where new buildings may be constructed.
- **SEPARATION + SETBACK:** Establishes the relationships of new buildings to each other and to buildable area.
- **HEIGHT + ROOFLINE:** Establishes hierarchy and variation in building form, considering hillside topography, prominent vantage points of the site, and distant views from the site.
- **STEPBACKS + MODULATION:** Reduces the perceived scale of the building height and length through a variety of strategies, including changes in plane to neighboring properties and buildings contributing to the Oakland Landmark.

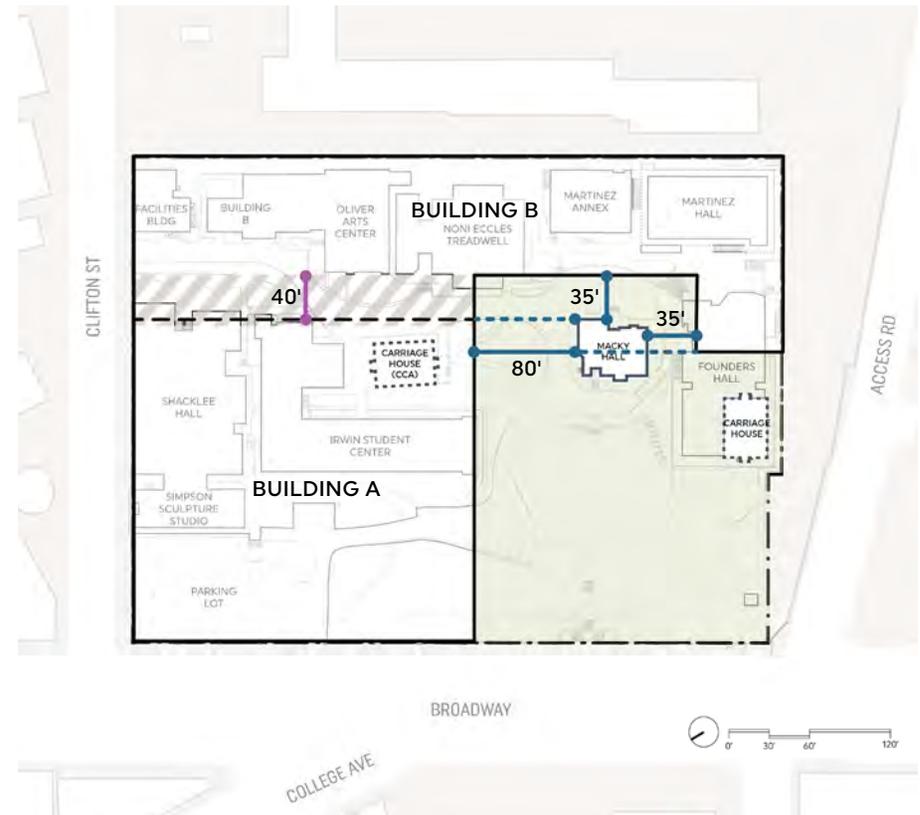


Figure 2.11: Building A and Building B buildable area boundaries over existing siting

- | | | | |
|-----|----------------------------|-------|------------------------------------|
| — | Buildable area boundaries | —●— | Buildable area setback dimensions |
| /// | Approximate Paseo location | —●—●— | Buildable area alignment to datum |
| —●— | Neighborhood Paseo width | — | Existing buildings and parking lot |
| □ | Site boundary | | |

BUILDABLE AREA

2.3.1 CUMULATIVE BUILDING FOOTPRINT. Approximate to the percentage of the existing campus covered by buildings and parking lot, the cumulative building footprint of new buildings and rehabilitated buildings contributing to the Oakland Landmark—Macky Hall and Carriage House—shall not exceed 55 percent of the site area. See Figure 2.11.

2.3.2 NEW BUILDING LOCATIONS. Similar to the siting of California College of the Arts Period building footprints and existing parking lot at the corner of Clifton Street and Broadway, new buildings shall be limited to the site boundaries of Building A and Building B—further described

in Guidelines 2.3.3 and 2.3.4, respectively. See Figure 2.11.

2.3.3 BUILDING A BOUNDARY. The buildable area for Building A shall be limited by the following boundaries generally occupying the footprints of Shaklee Hall, Simpson Sculpture Studio, Irwin Studio, and the campus parking lot at the corner of Clifton Street and Broadway, which enables the building to provide a stronger streetwall along Broadway and better meet the intent of the Corridor Guidelines:

- North: the site boundary at Clifton Street
- East: alignment with the east facade of Macky Hall
- South: a minimum of 80 feet from the north

- facade of Macky Hall
- West: the site boundary at Broadway

See Figure 2.11. Additionally, Building A shall not exceed 250 feet in width. Refer to Guidelines 2.3.7 and 2.3.8 for additional setbacks required to Macky Hall and Carriage House.

2.3.4 BUILDING B BOUNDARY. The buildable area for Building B shall be limited by the following boundaries generally occupying the footprints of campus era buildings located along the east side of the site including the Facilities Building, Building B, Oliver Arts Center, Nonni Eccles, Martinez Annex, Martinez Hall, and part of Founders Hall:

- North, East, and South: site boundary

- West: a minimum of 35 feet from the east facade of Macky Hall, except south of Macky Hall where the west facade of new buildings shall be permitted to extend up to alignment with the southern gable peak of Macky Hall.

See Figure 2.11. Refer to Guidelines 2.3.7 and 2.3.8 for additional setbacks required to Macky Hall and Carriage House.

SEPARATION + SETBACK

2.3.5 NEW BUILDING BASE SEPARATION. A minimum separation of 40 feet at the building base shall be required between Building A and Building B, similar to the siting of buildings in the existing campus—refer to Figure 2.13 and Guideline 3.4.1.

2.3.6 NEW MID-RISE SEPARATION. A minimum separation of 50 feet, for a minimum of 75 percent of the Building A frontage shall be required between Building A and Building B for daylight access into open space between Building A and Building B—refer to Figure 2.13 and Guidelines 3.4.1.

2.3.7 NEW BUILDINGS SETBACKS FROM MACKY HALL. No new buildings shall be permitted

within the following dimensions from the exterior building footprint of Macky Hall—similar to the building separation to the nearest California College of the Arts Period buildings—as shown in Figure 2.12:

- 80 feet minimum to the north
- 35 feet minimum and an average of 40 feet to the east
- 35 feet minimum to the south

New buildings are prohibited to the west of Macky Hall to maintain the existing Macky Hall View Corridor, as described in Guideline 2.3.1.

2.3.8 NEW BUILDINGS SETBACKS FROM CARRIAGE HOUSE. No

new buildings shall be permitted within the following dimensions from the exterior building footprint of Carriage House:

- 25 feet minimum to the west
- 25 feet minimum to the north
- 40 feet minimum to the east
- 100 feet minimum to the south

The above dimensions correspond to the location of Carriage House at the time of the HRE and shall translate to the respective sides of the building if relocated and reoriented (see Guideline 2.1.4). The dimensions listed are consistent with the relationship between Carriage House and the nearest buildings of the

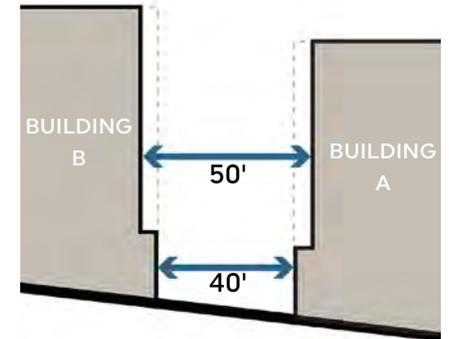


Figure 2.13: Building separation between Buildings A and B

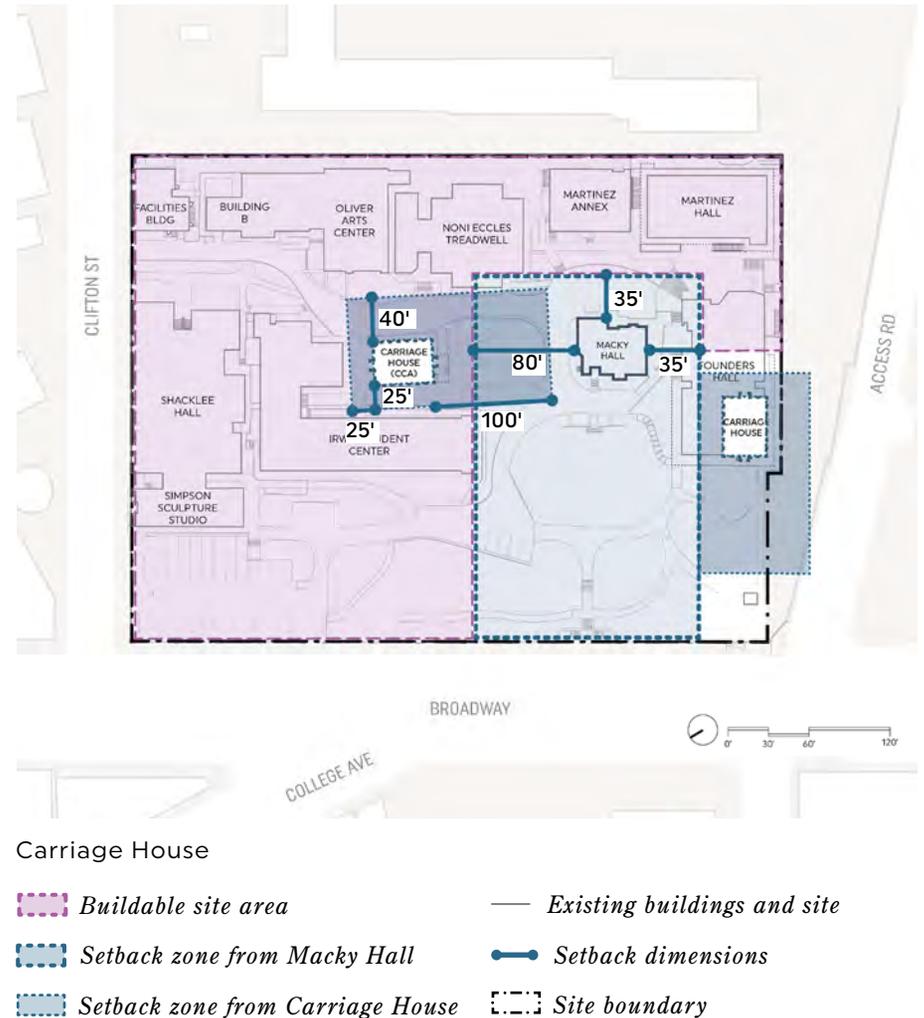
California College of the Arts Period, as shown in Figure 2.12.

2.3.9 BROADWAY WALL NEW BUILDINGS SETBACK.

Building A—including cantilevered floors, bay windows, and balconies—shall be a minimum of three horizontal feet from the east edge of the Broadway Wall's bay component (see Section 3.2). Ground floor residential frontage in Building A shall setback a minimum of three horizontal feet and a maximum of five horizontal feet from the east edge of the Broadway Wall to retain the wall's distinction as a unique site feature, not an architectural element integrated into a building while establishing a strong

streetwall presence on College Avenue. Ground floor commercial frontage in Building A shall be permitted to setback up to 30 feet from the east edge of the Broadway Wall to enable activity on both sides of the wall as it is experienced today. Relocated California College of the Arts period buildings are exempt from this guideline, see Guideline 2.2.2.

Figure 2.12: Setback zones surrounding Macky Hall and Carriage House



HEIGHT + ROOFLINE

2.3.10 PRIORITY HEIGHT

LOCATIONS. Each Building shall establish priority height locations to create a varied roofline and visual interest:

- Building A shall include one to two priority height locations along Broadway or corners facing the open space
- Building B shall include one or two priority height locations along its southern half of its west and east edges

To qualify, priority height locations shall align vertically to commercial uses, building entries, crosswalks, or highest adjacent grade of the building. Priority height locations are established by exceeding the predominant roof height

of the building by a minimum of 10 feet or protruding horizontally from adjacent mid-rise massing levels by a minimum of six feet. Predominant roof height shall be measured within 10 feet of the building footprint to allow for stepbacks while emphasizing the priority height locations as seen from a distance. Priority height locations shall not exceed 60 feet in width to emphasize a prominent vertical orientation nor shall they exceed maximum height requirements identified in the PDP. Refer to Figure 2.14.

2.3.11 REDUCED HEIGHT REQUIREMENTS

SURROUNDING MACKY HALL. For Macky Hall to stand proud on the site, any components of new

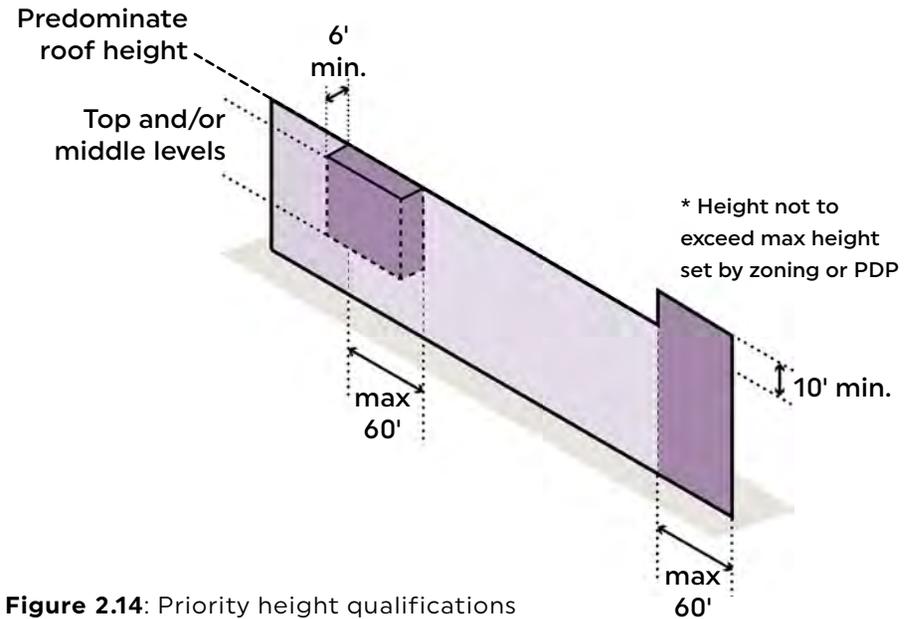


Figure 2.14: Priority height qualifications

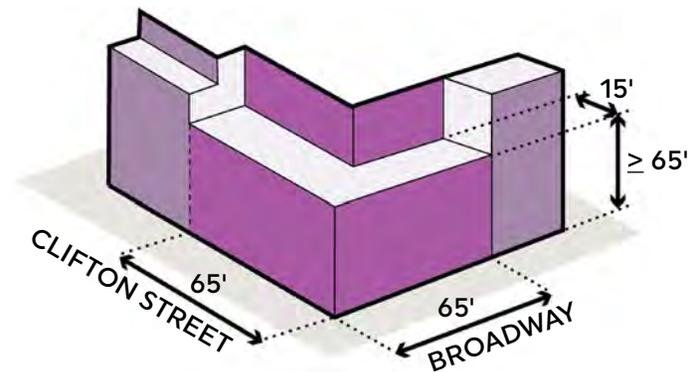


Figure 2.15: Height reduction at the corner of Clifton Street and Broadway

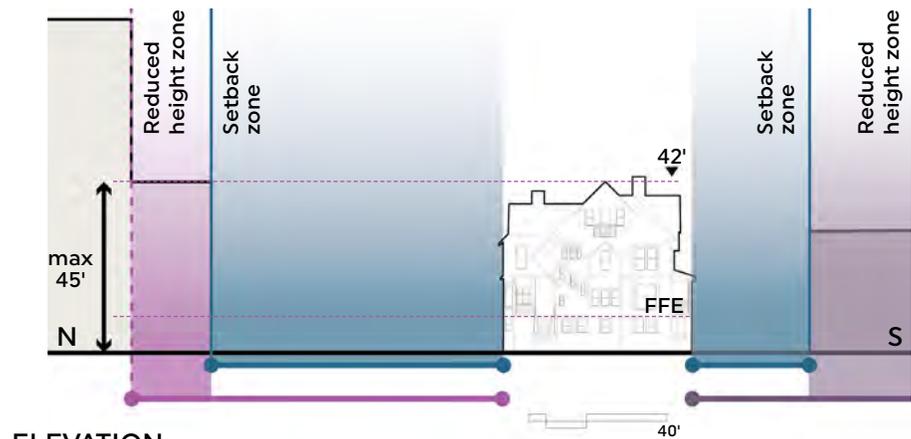
buildings located south of Macky Hall within the Reduced Height Zone (as defined below) shall be limited to 30 vertical feet. Any component of new buildings located east or north of Macky Hall within the Reduced Height Zone shall be limited to 45 vertical feet. Vertical feet is measured from the finished floor elevation (FFE) of the main level to Macky Hall—approximately +207 feet above sea level—to top of roof. Macky Hall is approximately 42 feet tall from finished floor to top of roof.

The Macky Hall height reduction zone is defined by dimensions from the exterior building footprint of Macky Hall—reflected in Figure 2.16:

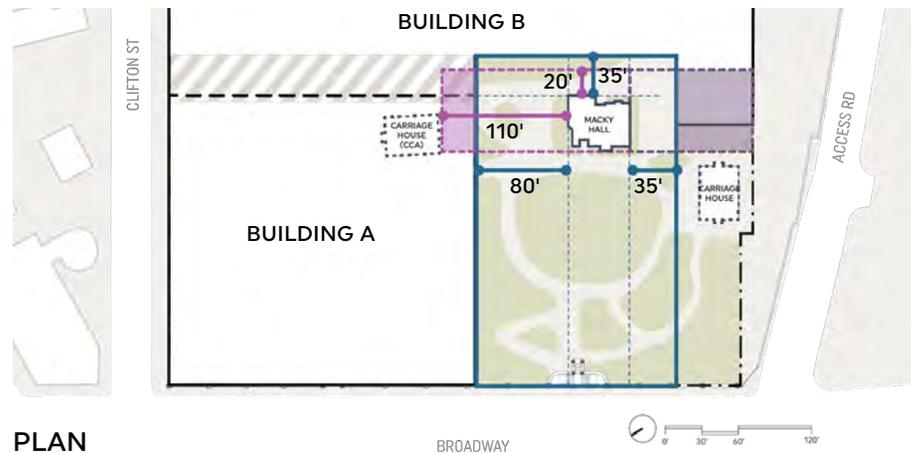
- 110 feet minimum to the north (measuring approximately to the facade of Carriage House)
- 20 feet minimum to the east (measuring approximately to the facade of Noni Eccles Treadwell building)
- Extending to the south site boundary
- Aligned to the west (primary) facade of Macky Hall

2.3.12 BUILDING B HEIGHT REDUCTION.

To provide a transition to both Macky Hall and the adjacent multi-family residential building to the east, new construction within 175 feet of the southern property line shall not exceed 80 feet in height—refer to Figure 2.21.



ELEVATION



PLAN

Figure 2.16: Reduced height zone west elevation of and adjacent to Macky Hall

- Setback zone from Macky Hall*
- Reduced height zone (north)*
- Reduced height zone (south)*

2.3.13 REDUCED HEIGHT AT THE INTERSECTION OF BROADWAY AND CLIFTON STREET. To respond to the scale of nearby multi-family residential buildings along Broadway Terrace which are typically 30 to 60 feet tall, new building facades located within 65 feet of the corner of Broadway and Clifton Street shall stepback above 65 feet in height. Stepbacks shall measure a minimum of 15 feet in depth from the site boundary. Refer to Figure 2.10 and Figure 2.15.

2.3.14 ROOF PROFILE. Roofs of new construction buildings shall be flat or sawtooth profiles referencing the roof profiles of California College of the Arts Period buildings. If

a sawtooth roof is implemented, it shall orient fenestration (skylights) north to capture ambient light.

2.3.15 ARTICULATED ROOFLINES. All building elevations over 70 feet in length—except where a priority height location is already occurring identified in Guideline 2.3.10—shall incorporate roofline articulation to reflect the variety of roofline conditions seen in Rockridge through a minimum of two of the following strategies:

- Varied parapet height with a minimum change of three feet vertically
- A change in material or color at top levels
- Massing projections or recess and horizontal elements that project

beyond the facade a minimum of three feet at the top of a floor

- Stepback top levels for a minimum of five feet deep
- Variation of residential unit form at the topmost occupiable level with distinct dimensions for openings differing from the rest of the mid-rise floors
- Contiguous rooflines (15-degree change in roof slope or flat) not exceeding 30 feet in length.

Refer to Figure 2.17 for illustrative examples of strategies.



© Christopher Payne
Projecting horizontal element



© Eduardo Alvarado
Change in material



© SITELAB urban studio
Variation in residential unit form

Figure 2.17: Examples of articulated roofline

STEPBACKS + MODULATION

2.3.16 SUBDIVIDING MID-RISE VOLUMES. To reduce the perceived scale of new buildings, in keeping with the scale of development along Broadway and Broadway Terrace, mid-rise levels shall be subdivided into smaller legible volumes. New building facades adjacent to streets, open spaces, and adjacent residential, as shown in Figure 2.10, shall be subdivided, at a minimum, into the following number of volumes based on facade length:

- <100 feet in length = one volume
- 100 – 250 feet in length = three volumes
- >250 feet in length = five volumes

To respond to the width of Macky Hall, the southern half of Building B shall require subdivision into a minimum of three of its five or more required mid-rise volumes.

Mid-rise volumes shall be permitted to be oriented vertically or horizontally but shall be a minimum of two stories in height and 40 feet in length. A change in plane with a minimum depth of five feet shall be required from adjacent volumes with the exception of the east edge of Building B, which shall require all change in planes to be a minimum depth of two feet from adjacent volumes. Continuous horizontal volumes shall not exceed 250 feet in length. See Figure 2.18 for a subdivision of volumes diagram.

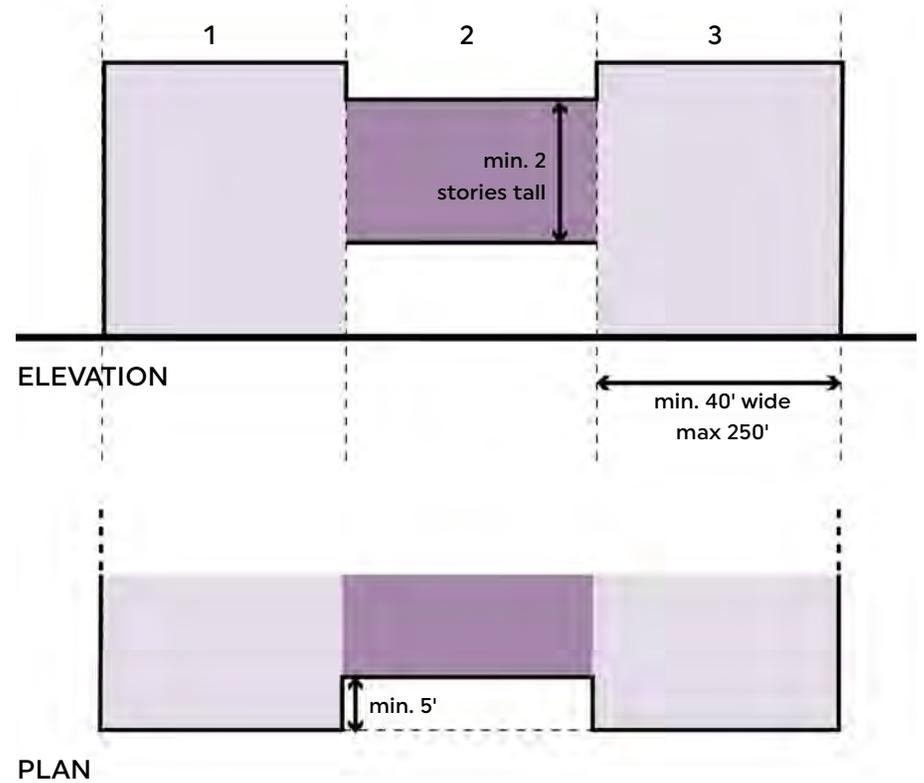


Figure 2.18: Elevation and plan of subdividing the mid-rise; here illustrating minimum subdivisions for facades longer than 250 feet

2.3.17 CLIFTON STREET STEPBACK. To relate to the scale of nearby multi-family residential buildings along Broadway Terrace which are typically 30 to 60 feet, new buildings along the north edge of Buildings A and B along Clifton Street shall stepback an average of 10 feet from the site boundary above 75 feet in height. See Figure 2.19.

2.3.18 OPEN SPACE STEPBACKS. To increase solar access within the open space, the south building elevations facing open space (see Figure 2.10) on Buildings A shall stepback a minimum of 10 feet in depth from the site boundary above 75 feet in height for a minimum cumulative length of 50 percent of the elevation. Refer to

Guidelines 2.3.12, 2.3.11, and 2.3.19 for additional height reductions requirements when adjacent to historic. See Figure 2.20.

2.3.19 WEST FACADE OF BUILDING B STEPBACKS. The west elevation of buildings on Building B shall stepback above 65 feet in height for a minimum cumulative length of 85 percent of the elevation to reduce the perceived height within the Neighborhood Paseo—defined in Guideline 3.4.1—and adjacent to Macky Hall. The stepback shall be a minimum depth of eight feet. See Figure 2.21.

2.3.20 HEIGHT DATUM REFERENCE TO CALIFORNIA COLLEGE OF THE ARTS PERIOD BUILDINGS. Elevations of

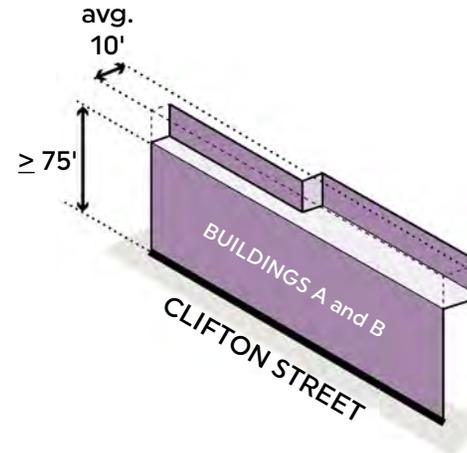


Figure 2.19: Clifton street stepback requirement

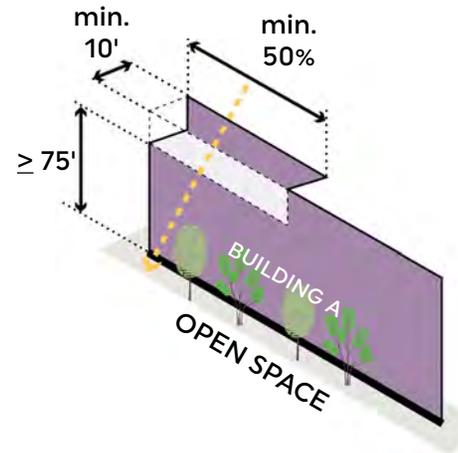


Figure 2.20: Open space stepback requirement

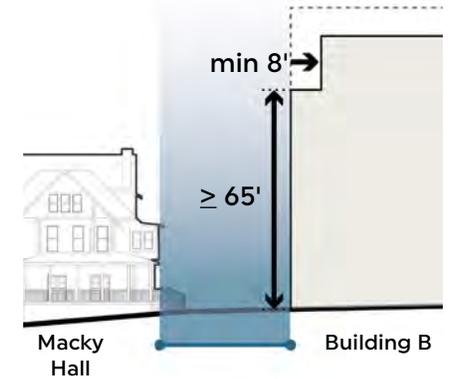


Figure 2.21: West facade of Building B height reduction and stepback requirement for 85% of elevation

Note: Refer to Guideline 2.3.7 regarding Macky Hall setback zone. Refer to Guideline 2.3.12 for height reduction of Building B.

new buildings along the east edge of Building A and west edge of Building B shall relate to California College of the Arts Period architecture by incorporating a minimum of three different height datums between 20 and 45 feet above grade for a minimum cumulative length of 70 percent of each elevation. Height datums shall be a minimum two feet in depth. Strategies include but are not limited to:

- Change in plane, including stepbacks or projections
- Horizontal elements, including awnings or canopies

2.3.21 MID-RISE FACADE RHYTHM. Subdivided mid-rise volumes—see

Guideline 2.3.16—that are greater than 70 feet in width shall establish a rhythm through facade articulation or modulation at intervals relative to their immediate adjacencies. Immediate adjacencies are described below and are shown in Figure 2.10.

- For edges adjacent to Clifton Street, the Neighborhood Paseo (as defined in Section 3.4), Early Estate Period buildings, or California College of the Arts Period buildings a rhythm between 25 and 50 feet in width shall be required to respond to the approximate width of California College of the Arts Period buildings along the east side of the existing campus.

- For edges adjacent to Broadway, Macky Lawn, and the southern site boundary, a rhythm up to 70 feet shall be required to respond to the approximate widths along Broadway. See Figure 2.22

Qualifying facade articulation or modulation strategies for the above conditions—unless otherwise specified—include but are not limited to:

- Change in plane of 2-foot minimum depth
- Change in orientation of greater than 20-degrees
- Architectural elements with greater than 2-foot minimum depth

Subdivided mid-rise volumes that are greater than 70 feet in width on the east side of Building



Figure 2.22: Example of typical facade articulation and modulation widths along Broadway

B shall establish a rhythm up to 25 feet in width to respond to adjacent residential buildings. Qualifying strategies to establish mid-rise facade rhythm on this edge include a change in material or color.

2.4 New Building Base

The base of new buildings make reference in rhythm and scale to the removed California College of the Arts Period buildings, the commercial frontage along College Avenue, and the residential character of Rockridge.

This section includes the following subsections:

- **USE + ENTRIES:** Activate streets and open spaces and provide transitions from public and private spaces.
- **SETBACKS + DEFINITION:** Frames the public realm by establishing a streetwall or creating a landscape buffer.
- **SCALE + RHYTHM:** Engages the facade with the pedestrian experience in the public realm by establishing regular intervals of facade articulation and integrating preferred materials.
- **INTEGRATED FACADE FEATURES:** Guidelines in this section integrate vegetation and artwork within the building base similar to the characteristics of the California College of the Arts Period.

USE + ENTRIES

2.4.1 BUILDING A USE ON BROADWAY. A minimum of 50 percent of the ground floor length along the west elevation of Building A shall be dedicated to commercial use or educational use along Broadway in order to provide continuity along the commercial corridor.

2.4.2 MINIMUM BUILDING ENTRIES. New building facades adjacent to open space (refer to Figure 2.10) shall provide entries to commercial uses, educational uses, or common residential spaces, including courtyards, amenities, and lobbies, at minimum according to the following frequencies, which respond to the approximate lot widths and entries

along College Avenue superseding the City of Oakland's Design Guidelines for Corridors and Commercial Areas Guideline 4.3.2:

- Minimum one entry along elevations less than 70 feet in length
- Minimum two entries along elevations between 70 to 250 feet in length
- Minimum three entries along each elevation greater than 250 feet in length
- No entries are required on the east and south edges of Building B.

2.4.3 EXPRESSED ENTRIES. Primary ground floor entries at commercial, educational, residential amenities, or lobby entries of new buildings shall be differentiated and pronounced

through massing projections, recesses, or extended horizontal elements in keeping with the architecture of the California College of the Arts Period buildings, as shown in Figure 2.23.



Strategies to express entries include but are not limited to:

- Change in wall/window plane in relation to the primary building facade
- Increased percentage of glazing
- Integrated art feature
- Horizontal projections and recesses
- Canopies, shading devices, or awnings
- Visible structural elements



Figure 2.23: Examples of expressed entry

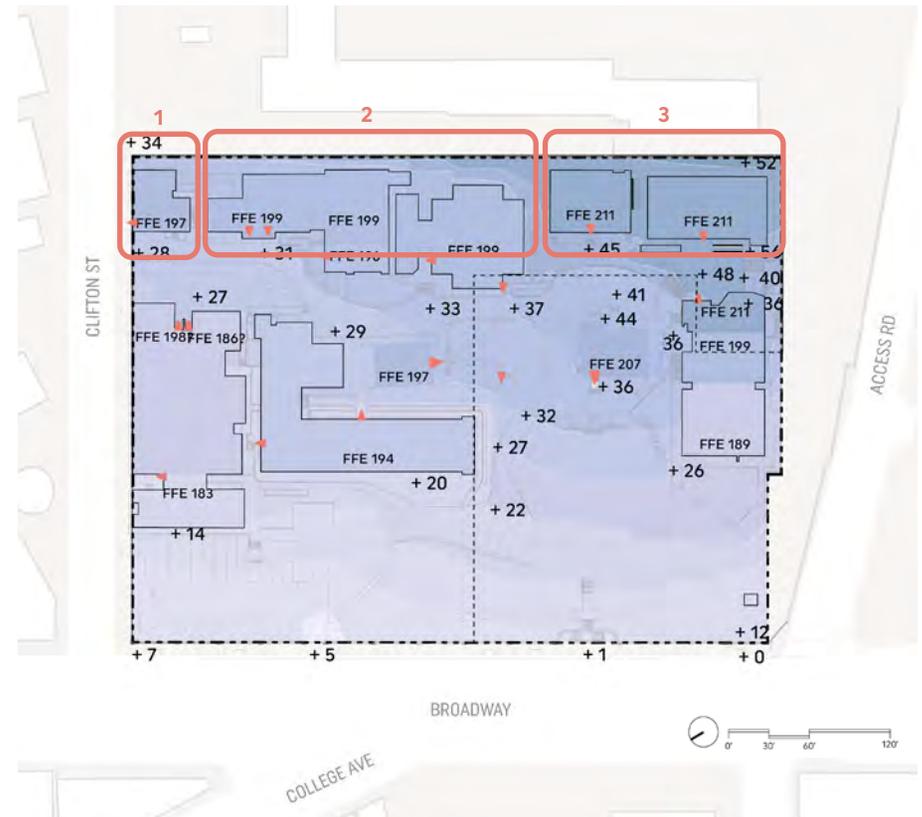


Figure 2.24: Existing building entries and topography



- A change in material or detailing
- Recessed doors or cased openings

Commercial or educational entries shall incorporate two or more of the above strategies to maintain public facing visibility.

2.4.4 REFERENCING HISTORIC ELEVATIONS.

The west edge of Building B shall have finished floor elevations at a minimum of three different heights and ranging a minimum of 10 feet, referencing the variation in finished floor elevations of the California College of the Arts Period Buildings. See Figure 2.24.

2.4.5 ENTRY ALONG HILLSIDE.

Building access or unit entries shall be provided to at least two finished

floor levels elevations along the north and south elevations of Building A, to reflect the hillside topography.

SETBACKS + DEFINITION

2.4.6 DEFINED BUILDING BASE.

All new buildings shall have a defined base to respond to heights represented along College Avenue and California College of the Arts Period buildings. Strategies to define the base include the following:

- Setback or extension of building base from levels above a minimum of two feet in depth
- Rhythm of increased frequency from mid-rise levels. Refer to Guideline 2.4.7 for strategies to create rhythm
- Horizontal elements projecting a minimum depth of two feet
- Difference in facade

articulation—such as visible bays—from levels above with a minimum depth of six inches

SCALE + RHYTHM

2.4.7 BUILDING BASE RHYTHM.

To establish a pedestrian scale relationship along pedestrian paths, new building bases adjacent to open space and streets, as shown in Figure 2.10, shall create a rhythm between 25 and 40 feet in width—similar to that of College Avenue—see Figure 2.25. Rhythm shall be established through articulation strategies including, but not limited to:

- Visible bay structure, structural element, or pilasters of a minimum six inches in depth
- Exposed columns
- Changes in plane of a minimum of one-foot in depth

- Horizontal element or trellis structural element.

2.4.8 BUILDING BASE INTERFACE AT BROADWAY WALL.

Base levels along the west edge of Building A shall appear separate from and visually subsidiary to the Broadway Wall to uphold the Wall's historic integrity in its size and purpose as the edge defining piece of the site.

Architectural elements—such as but not limited to trellises and brise-soleil—are permitted to project from the west edge of Building A to define the height datum of the building base and provide pedestrian-scale experience. These elements shall be permitted to project up to the property line,



Figure 2.25: Example of typical building base widths along College Avenue

unless otherwise noted below. Continuous horizontal elements of a trellis shall be no greater than two-and-a-half feet tall when combined with its brackets or similar structural components. No fascia is permitted on architectural element projections to expose assembly of construction and craftsmanship as described in Guideline

2.5.8.

At the Carriage Entrance—and at minimum up to one bay and pilaster on either side of the Carriage Entrance—architectural elements that define the building base's height datum shall setback from the east edge of Broadway Wall's bay components

for a minimum of five horizontal feet to respond to the Carriage Entrance as a primary entrance.

2.4.9 NEIGHBORHOOD PASEO HORIZONTAL ELEMENTS.

Ground floor unit entries fronting the Neighborhood Paseo as defined in Guideline 3.4.1 shall include architectural elements reflective of Rockridge streetscapes such as horizontal projections and canopies, awnings, trellises, or structural elements made visible with a depth of minimum two feet over stoops and extended porches. These elements shall be modest in scale—framing the entry or individual openings—similar to craftsman style homes in Rockridge.

INTEGRATED FACADE FEATURES

2.4.10 LIMITING BLANK WALLS.

New building elevations shall limit blank walls on the ground floor to no greater than 20 percent of each building elevation adjacent to street or open space—refer to Figure 2.10. Blank walls are continuous stretches of greater than 25 feet without a change-in-plane, opening, vegetation, or integrated art feature between three and 10 feet above grade.

2.4.11 FACADE ART TREATMENTS.

Art shall be applied to new building facades that are greater than 25 feet in length without fenestration and adjacent to open spaces. The rotating mural Martinez Hall

serve as exemplary art application from the California College of the Arts Period. Local artists, Oakland Tech students or alumni, and CCA students or alumni shall be involved in the process of creating the art. See Figure 2.26.



Figure 2.26: Examples of integrating art on blank walls

2.5 New Building Facade Composition

Fenestration composition, material palette and application, and arts integration contribute to the new buildings representing the California College of the Arts Period legacy as a steward of high-quality design. This section includes the following subsections:

- **FENESTRATION:** Defines the character of the building elevation—reflecting the program of the building and emphasizing locations of prominence. Fenestration breaks up the building scale into legible units.
- **MATERIALS + CRAFT:** Highlights of the California College of the Arts Period architecture include the artful demonstration of structural elements, the use of a variety of high quality materials with noteworthy texture, and the use of openings and horizontal elements to create shadow and lines.

FENESTRATION

2.5.1 ORGANIZATION OF FENESTRATION. New building glazing units shall be aligned to clear horizontal and vertical datums to create a fenestration grid consistent with the modernist architecture of the California College of the Arts Period. The rhythm of horizontal and vertical datums shall be permitted to shift across the length or height of the building elevation to provide flexibility in the detailed arrangement of openings. Maximum spacing for horizontal and vertical datums of fenestration grids shall be required on each building elevation as follows:

- Along highly visible edges identified in Figure 2.10,

individual units of the fenestration grid shall not exceed three stories in height nor 35 feet in width to avoid large continuous expanses of glazing similar to structures in the adjacent neighborhood.

- Along historic adjacent edges identified in Figure 2.10, individual units of the fenestration grid shall not exceed two stories in height or 25 feet in width not to exceed the scale of buildings contributing to the Oakland Landmark.
- Along the Neighborhood Paseo, Clifton Street, and existing residential to the east, individual units of the fenestration grid shall not exceed

one story in height nor 15 feet in width similar to the scale of residential architecture in Rockridge.

Fenestration grids shall be defined by a continuous facade material no less than one-foot in width. Fenestration grid requirements shall not apply to the building base. Refer to Figure 2.27 for fenestration organization and proportion.

2.5.2 PROPORTION OF FENESTRATION AT THE BASE. The building base of new buildings shall have a higher proportion of transparency or openings than the mid-rise to support indoor-outdoor connections and visibility between new buildings and open spaces similar

to storefronts along College Avenue and Broadway. Refer to Figure 2.27 for fenestration proportion.

2.5.3 VERTICAL VOLUME EXPRESSION. To accentuate priority height locations or primary building entrances on new buildings, at least two of the following strategies shall be employed:

- Continuous building elevation pattern from mid-rise to base levels
- Vertically oriented architectural features, including louvers, fins, or material application
- Aligned, vertically oriented fenestration patterns
- A larger proportion of openings in the building top than the

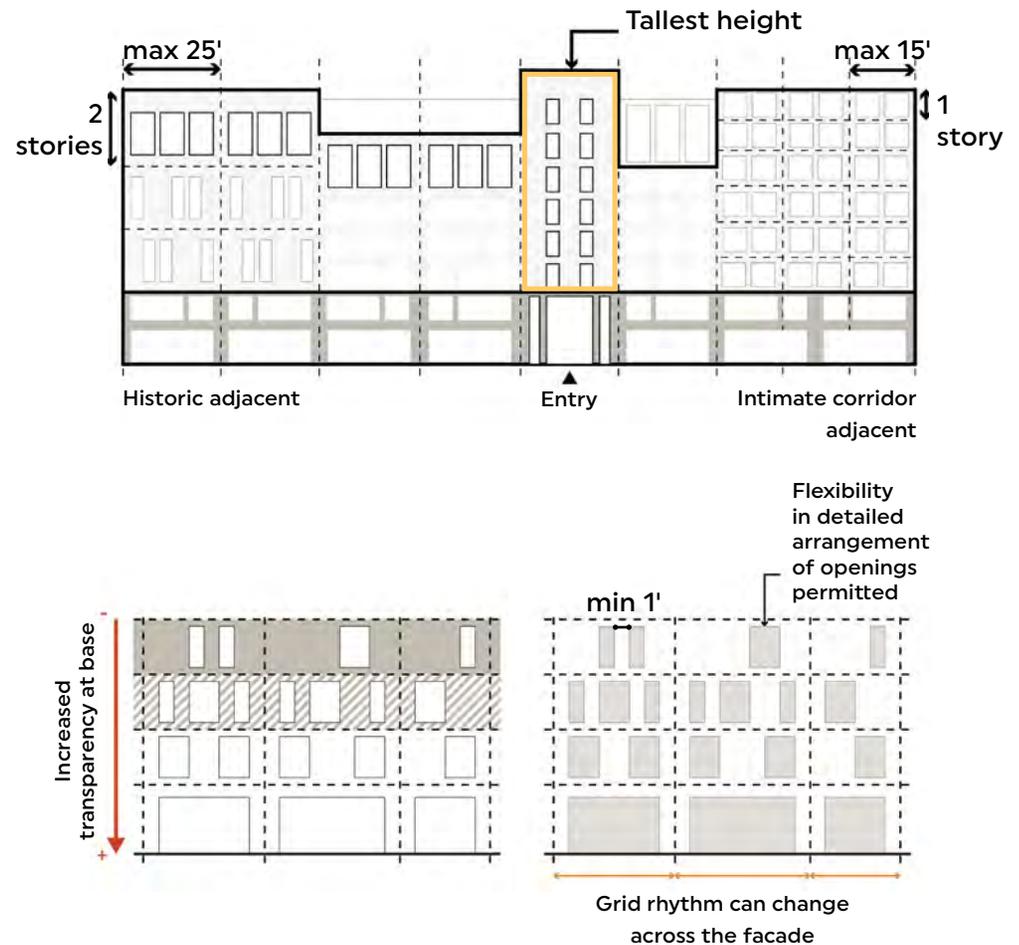


Figure 2.27: Fenestration proportions and organization

middle. Refer to Figure 2.27 for fenestration proportion.

2.5.4 GLAZING UNITS SCALE. Uninterrupted glazing segments in mid-rise levels shall not exceed 24 square feet as a bird-safe design feature and to incorporate the use of mullions for large openings. Mullions shall be designed with regular horizontal spacing similar to other multi-story residential buildings along Broadway Terrace. Expansive segments of curtain wall measuring 30 feet in any direction shall be prohibited as they are not common to the architectural character of Rockridge.

2.5.5 MINIMUM WINDOW DEPTH. All windows in the mid-rise of new buildings shall include

a minimum depth of two inches between the facade edge and glazing panel to produce a shadow line within each opening, a common feature of residential architecture in Rockridge, and add depth to the facade. Contemporary applications of architectural elements that define openings including, but not limited to lintels, sills, frames, or shading devices.

2.5.6 ENHANCED OPENING DEPTH. The opening depth shall exceed the baseline depth for a minimum of 35% of openings in mid-rise levels of priority height locations, as identified in Guideline 2.3.10. Applicable strategies include:

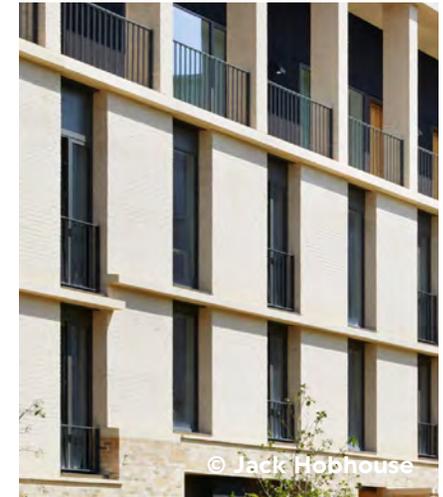


Figure 2.28: Examples of enhanced opening depth

- Recessed openings at a minimum depth of 12 inches between facade edge and glazing panel.
- Additive architectural elements that protrude from the primary facade surface no less than six inches. Appropriate elements include but are not limited to frames, lintels, sills, louvers, awnings, trellises, or shading devices. Elements must be distinguished from the primary facade system by physical separation, exposed joinery, or material change.

Refer to Figure 2.28 for imagery of enhanced opening depth.

MATERIALS AND CRAFT

2.5.7 NEW BUILDING DIFFERENTIATION.

Adjacent and facing new buildings shall reflect different facade systems to reflect the variety found in California College of the Arts Period architecture. At a minimum, facade systems shall vary between all new buildings in at least two of the following ways:

- Material
- Finish/Texture
- Color
- Application
- Scale of rhythm or fenestration 25 percent different
- Opening depth strategy
- Orientation of

openings (horizontal vs. vertical)

Additionally, each building shall incorporate a unique preferred material that the other new buildings do not. See Figure 2.29 for examples.

2.5.8 VISIBLE CRAFTSMANSHIP.

Similar to the California College of the Arts Period buildings, design quality and craftsmanship shall be demonstrated through the exposed assembly of structural elements and material changes. Multiple materials within individual buildings shall be permitted. California College of the Arts Period buildings often exposed joinery detail or utilized structural elements such as beams or columns to demonstrate design

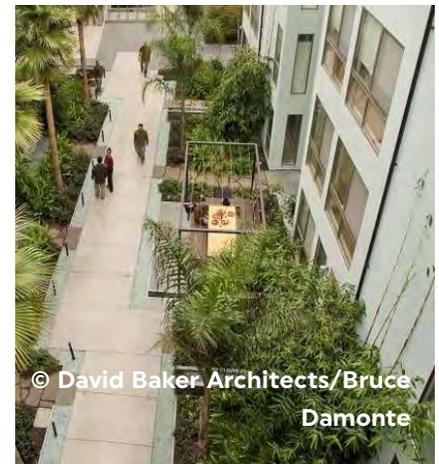


Figure 2.29: Examples of building differentiation

quality, material assembly, and craftsmanship.

A change between preferred materials, as defined by Guideline 2.5.10 and Figure 2.31, shall have a minimum depth of six inches and align with a massing shift, modulation, change in construction type, or define a change in floor or unit. Materials that are exposed for less than 12 inches in their vertical or horizontal dimensions, openings, glazing, and cladding vertically between openings shall be exempt from this guideline. Refer to Guideline 2.5.5 and 2.5.6 for opening depth requirements. See Figure 2.30 for examples.

2.5.9 RESIDENTIAL BALCONIES.
If included along the east edge of

Building B, residential balconies shall project or recess from the primary facade for a minimum cumulative total of 12 inches in depth. Residential balconies allow for more articulation along the east edge of Building B and respond to its adjacent residential buildings.

2.5.10 MATERIAL PALETTE. New buildings shall apply high quality, durable materials familiar to existing California College of the Arts Period buildings at the building base on a minimum cumulative area of 20 percent of all new building elevations facing the street or open space—excluding glazed surfaces—shown in Figure 2.10.

Preferred materials



Figure 2.30: Modern architectural details expressing craft from California College of the Arts Period buildings

include but are not limited to concrete, earthen materials and masonry (including masonry veneer and glass block), wood, ceramics, and metal. These materials were selected because they are building materials found in California College of the Arts Period buildings that age well, express their construction, remain natural in their appearance and expression, and have texture and visual depth. Additional materials beyond those listed shall qualify as preferred materials if they are found in the facade of Early Estate Period or California College of the Arts Period buildings. Flat stucco shall not be considered a preferred material. Refer to Figure

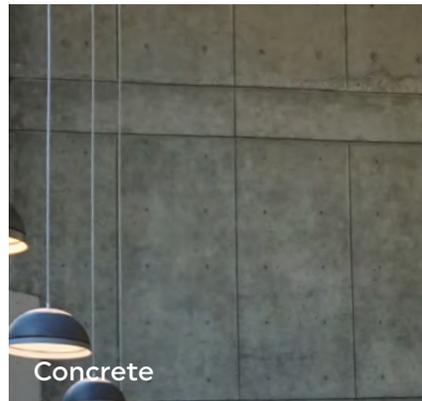
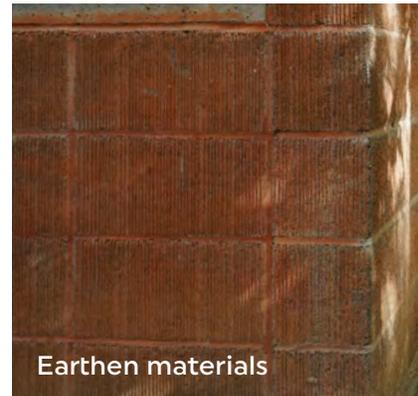
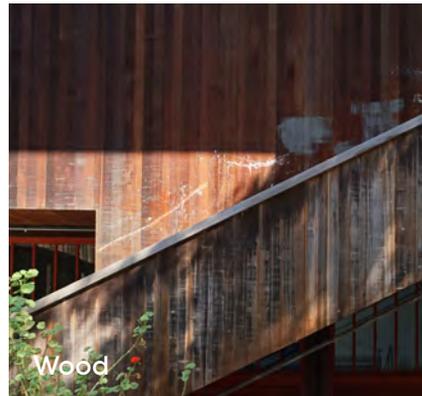


Figure 2.31: Preferred material palette

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2.31 for a preferred material palette.

2.5.11 MID-RISE MATERIAL REFERENCE TO CONTEXTUAL

LANDMARKS. Light-colored materials are preferred within mid-rise levels of new buildings similar to other prominent buildings in the Berkeley Hills, which evolve in their appearance throughout the day and glow in the afternoon sun. This shall not limit using differing material or color to differentiate the two buildings from each other per Guideline 2.5.7, differentiate the new buildings from retained structures, nor limit the application of colorful decorative elements, cladding, and murals in the mid-rise levels.

2.5.12 BUILDING BASE COLOR

PALETTE. To provide visual cohesion within the new construction, the color palette applied to the building base of new construction buildings shall be reflective of and complementary the nature of an arts campus by incorporating decorative moments for colors and murals.

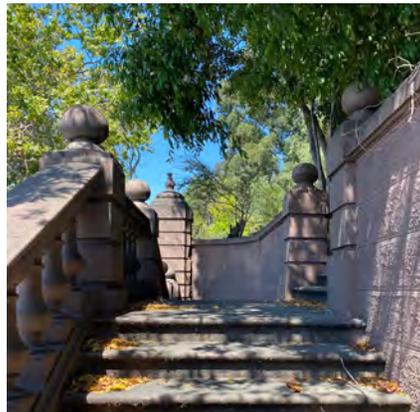
2.5.13 NON-IMITATION

DETAILING. Architectural details in new construction buildings that replicate exact details from architectural elements of the Treadwell Estate, including Macky Hall, Carriage House, and Broadway Wall shall be prohibited to avoid a false representation of the site's architectural history. Contemporary

reflections of architectural details that are compatible with the modernist architecture of the California College of the Arts Period buildings shall be permitted if they do not impair the integrity of the Treadwell Era contributing resources that remain.



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5212 Broadway Open Space:
Qualities of the California
College of the Arts Period
landscape and aspirational
characteristics.

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3

OPEN SPACE DESIGN GUIDELINES

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3.1 Setting of Buildings Contributing to the Landmark.....	59	3.4 Character + Programming.....	69
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This chapter includes guidelines for both the retention and rehabilitation of historic resources as well as direction for how the open space relates to the historic elements and the contextual character of the site. Refer to Design Guidelines' Response Summary in Chapter 1: Vision.

CONTRIBUTING LANDSCAPE FEATURES

These sections provide guidance on the mechanisms for retaining the setting of Macky Hall and Carriage House in the landscape to the Secretary of the Interior's Standards, retention of Historic Resource Evaluation (HRE) identified contributing landscape features shown in Figure 3.1, and treatment to the elements that contribute to their characteristics.

Oakland
Landmark and
National Register
Contributing



Broadway Wall + Stairs



Carnegie Bricks



Macky Hall View Corridor

Area of Primary
Importance (API)
Contributing



Faun Sculpture



Macky Lawn



Stairs with Ceramic Pots



Infinite Faith



Bell Tower



Celebration Pole

Figure 3.1: Landscape features contributing to the Oakland Landmark and to the Area of Primary Importance

3.1 Setting of Buildings Contributing to the Landmark

The guidelines in this section pertain to the landscape design around Macky Hall and Carriage House in keeping with each building's historical significance. Carriage House is retained as secondary in appearance, prominence, and location to Macky Hall, as experienced in both the Early Estate Period and California College of the Arts Period.

MACKY HALL REHABILITATION

3.1.1 PRIMARY FACADE OF MACKY HALL. Open space features shall visually emphasize the western facade of Macky Hall as its primary facade and entrance, while the east facade remains as its secondary entrance—in keeping with the setting of the building during the Early Estate Period and the California College of the Arts Period. The north and south facades shall remain tertiary during redevelopment.

Open space strategies that visually emphasize the western and eastern facades include but are not limited to framing with plantings and primary pedestrian circulation routes (defined in Section 3.4)

leading to Macky Hall's primary and secondary entrances, as seen in Figure 3.2.

3.1.2 PLANTING NORTH AND SOUTH OF MACKY HALL. During the California College of the Arts Period, Macky Hall was experienced more intimately from the north and shielded from the south with Founders Hall, as seen in Figure 3.3. In keeping with this existing condition, the close-range view and experience of Macky Hall's north facade shall be maintained and framed through the planting and retention of heritage trees (defined in Section 3.1.1). The open space directly south of Macky Hall must include plantings to shield this building in a similar manner.

3.1.3 VISUAL CONNECTION BETWEEN MACKY HALL AND CARRIAGE HOUSE.

Macky Hall and Carriage House shall maintain a visual relationship that is stronger than either building has with any other buildings in the site, while Carriage House remains secondary in relation to Macky Hall, similar to their relationship in the Early Estate Period and California College of the Arts Period. This can be achieved through siting of Carriage House (see Section 2.1), layering and/or framing connections with plantings, and grade relationship between the two buildings (defined in Guideline 3.1.6).

3.1.4 GRADE RELATIONSHIP BETWEEN MACKY HALL AND CARRIAGE HOUSE.

Macky Hall's finished floor elevation shall be maintained and remain at a higher topographical position in relation to both Macky Lawn and Carriage House to suggest the building's historical prominence as evident in the Early Estate Period and California College of the Arts Period. Minimal changes are permitted in the surrounding grading except as required for emergency vehicles and ADA access.



East of Macky Hall (view from northeast)



View from southeast



West of Macky Hall (view from southwest)



View from northwest

Figure 3.2: Landscape conditions at west and east facades of Macky Hall

Figure 3.3: Landscape conditions at north and south facades of Macky Hall

CARRIAGE HOUSE REHABILITATION

3.1.5 CARRIAGE HOUSE PLANTING. Carriage House shall maintain its setting embedded in the landscape and plantings as it was in the California College of the Arts Period and the Early Estate Period—refer in Figure 3.4. Strategies include but are not limited:

- Providing access to Carriage House through secondary pathways—given its subsidiary relationship to Macky Hall (see Guidelines 3.1.6 and 3.4.5).
- Surround Carriage House with canopy and understory planting. If there are new buildings or landscaped elements in close

proximity to Carriage House, planting shall be used to separate the two visibly.

- Prioritize layering vegetation, including proposed and existing trees (1) directly between Carriage House and Macky Lawn / Macky Hall, and (2) to minimize prominent views to and from Carriage House from Broadway and the surrounding Oakland area.

3.1.6 CARRIAGE HOUSE CIRCULATION. Secondary pedestrian paths (as defined in Section 3.4) shall be provided to Macky Lawn and to Macky Hall from Carriage House, similar to paths during the California College of the Arts Period. Refer to Figure 3.4 for existing

landscape character surrounding Carriage House.

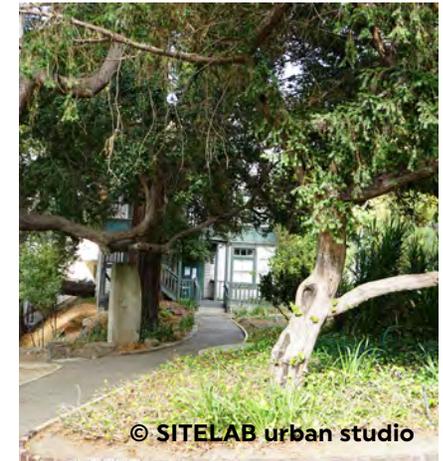


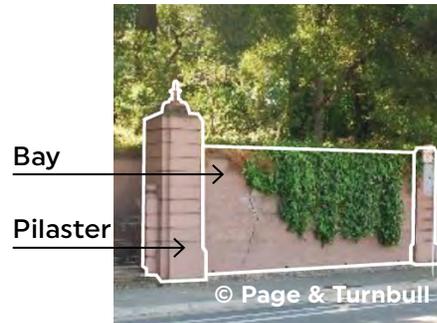
Figure 3.4: Landscape character surrounding Carriage House

3.2 Broadway Wall + Stairs

The Broadway Wall demarcates the western edge of the site for both the Early Estate Period and the California College of the Arts Period, and remains a link between those eras. The Broadway Stairs serve as the primary entrance and have historically maintained their role as the campus centerline directing visitors towards Macky Hall.

The guidelines in this section allow for minor intervention in the Broadway Wall limited to changes that improve accessibility to the site and its publicly-accessible open spaces, pedestrian experience along Broadway, and acknowledgment of the history this feature held in both eras.

TERMS



- **BAY:** Volume of wall between the pilasters.
- **PILASTER:** Rectangular columns, typically taller than the bays, that generally connect two bays or work as framing mechanisms for an entrance or opening of the wall.
- **CARRIAGE ENTRANCE:** The only vehicle entrance, originally designed for carriages, along the Broadway Wall. Currently made up of two pilasters similar to those along

the rest of the Broadway Wall—though taller and are connected by a metal arch (installed in the 90s to replace the circa 1950s wood sign), metal plaques, and original two-leaf wrought iron gates.

- **CARRIAGE GATES:** The original two-leaf wrought iron gates that open and close at the Carriage Entrance.
- **BROADWAY STAIRS:** The formal pedestrian entrance into the once residential estate located along the southern half of the Broadway Wall.

BROADWAY WALL COMPONENTS

3.2.1 BROADWAY WALL RETENTION AND REHABILITATION.

The Broadway Wall and Stairs, and their components, with limited exceptions as noted in the following guidelines, shall be retained. All parts of the retained Broadway Wall and Stairs shall be rehabilitated in compliance with the Secretary of the Interior's Standards. The original design of the remaining bays, pilasters, Broadway Stairs, and Carriage Entrance shall be maintained where not in conflict with the below guidelines nor modifications to meet the minimum code compliance and repair requirements.

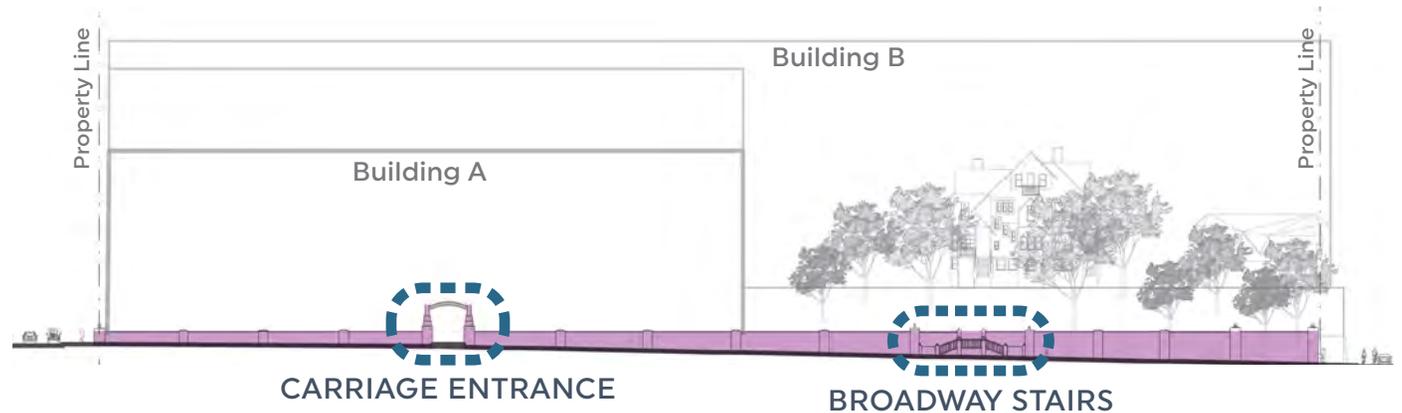


Figure 3.5: Broadway Wall and Stairs, and their components

3.2.2 BROADWAY WALL OPENINGS. The current openings along the Broadway Wall—those of the Broadway Stairs and the Carriage Entrance—must remain as means of access into the site.

3.2.3 CARRIAGE ENTRANCE. The Carriage Entrance character defining features shall not be altered at the time the

Carriage Entrance is refurbished. Character defining features of the entrance include the concrete pilasters, CCAC plaques, and wrought iron gates, as illustrated in Figure 3.6. The metal posts and adjoining metal arch are not original to the design of the entrance and shall be permitted to be removed or replaced. If replacing the metal posts and adjoining metal arch,

only the wood sign used during the 1950s through 1970s shall be permitted. The existing width of the Carriage Entrance opening shall be maintained.

3.2.4 CARRIAGE ENTRANCE SIGN. The wood sign used to mark the Carriage Entrance to the California College of the Arts and Crafts in the 1950s to 1970s shall be rehabilitated if reused within the site.

BROADWAY WALL INTERVENTIONS

3.2.5 NEW OPENINGS IN THE BROADWAY WALL.

One new opening in the Broadway Wall for access to the publicly-accessible open space in accordance with the Americans with Disabilities Act (ADA) shall be created required. Up to one additional opening shall be permitted in the Broadway Wall to allow for access to Building A.

New openings shall be no more than one foot wider than required by codes, laws, and regulations, and must be visibly narrower than the Carriage Entrance.

3.2.6 COMMEMORATION OF REMOVED BROADWAY WALL SEGMENTS.

The footprint of any

removed portions of the Broadway Wall shall be commemorated.

Examples of commemoration methods include in-place markings, changes in material or pattern, or installation of a new feature, such as flush lighting at grade.

3.2.7 BROADWAY WALL PILASTER RETENTION.

The original spacing and rhythm of the pilasters are to be retained. If a pilaster must be removed to achieve a permitted intervention to the Broadway Wall and its elements, its location must be commemorated in conjunction with Guideline 3.2.6.

3.2.8 BROADWAY WALL BAY MODIFICATIONS.

Alterations to the height of the Broadway Wall

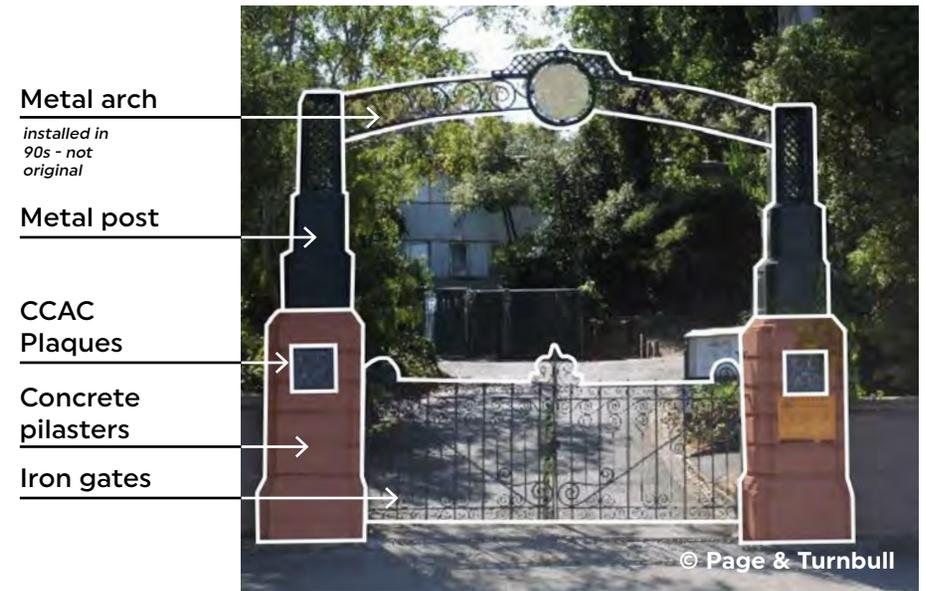


Figure 3.6: Carriage Entrance and its components

north of the Broadway Stairs shall be permitted for a maximum of 25 percent of its length to incorporate seating elements and/or to lower the bay height for visibility and safety of pedestrians on the east side of the wall (such as instances where

ADA access is being provided on the east side of the wall and the wall exceeds eye level). Seat wall interventions may be combined with other Broadway Wall interventions and shall maintain complementary, nonobtrusive materials

and may be combined with other Broadway Wall interventions. Refer to Guideline 3.2.10 for appropriate materials.

3.2.9 VISUAL PROMINENCE OF THE BROADWAY WALL.

Design of new openings or seating elements in the Broadway Wall shall be visually secondary to the Broadway Wall itself.

MATERIALS AND VEGETATION

3.2.10 BROADWAY WALL INTERVENTION MATERIALS.

The material(s) used in interventions or modifications to the Broadway Wall and Stairs should be cohesive or complementary. Concrete is preferred, but earthen materials, wood or metal, such as Corten steel, are also permitted.

3.2.11 BROADWAY WALL VISIBILITY AND GREENING LIMITS.

Planting shall be permitted on the east edge of the Broadway Wall in the form of planters, vines, or as ground cover. Refer Guideline 3.1.1 for suitable planting. Overhanging vines from the eastern side to the

western side shall be permitted, however, 50 percent of the overall length of the western edge of the Broadway Wall must be clear of any planting. Planting shall not be allowed to block any access paths or entrances, including the Carriage Entrance, Broadway Stairs, or any additional openings.

3.2.12 BROADWAY WALL INTERFACE.

Planting and circulation shall be permitted adjacent to the east side of the Broadway Wall. Due to the grade change between the open spaces and the sidewalk on Broadway. Appropriate strategies include grading and guardrails that provide safe pedestrian experiences within the publicly-accessible open

spaces. If included, guardrails shall not be an opaque plaque that appears to extend the height of the Broadway Wall or hover over it.

3.3 Additional Historic Landscape Features

Guidelines in this section address retaining and siting of contributing landscape features, for both the API and the Oakland Landmark, respectively. These features are outlined in Chapter 1: Vision and include Macky Lawn, Macky Hall View Corridor (View Corridor), Faun Sculpture, Stairs with Ceramic Pots, Infinite Faith, Bell Tower, and Celebration Pole.

3.3.1 MACKY LAWN RETENTION. Macky Lawn shall be maintained as a gradually sloping, open grass lawn at roughly 8,000 square feet—the approximate size of the existing Macky Lawn. Additional trees and smaller plantings shall be permitted along the perimeter of Macky Lawn to frame this open space and maintain its role as the front lawn to Macky Hall and the main social space within the site, in keeping with landscaping of the California College of the Arts Period landscape. Refer to Section 3.5 for additional guidelines on planting requirement considerations for Macky Lawn.

3.3.2 MACKY HALL VIEW CORRIDOR. The View Corridor shall be retained during the

redevelopment of the site—as described in the HRE as an 80-foot-wide corridor centered on Macky Hall’s primary western entrance and extending to Broadway intended to maintain views of Macky Hall from Broadway and College Avenue. The View Corridor contributes to Macky Hall as the primary structure on site and the Broadway Stairs as the primary pedestrian entrance on site.

3.3.3 MACKY HALL APPROACH. Open space design between the Broadway Stairs, Macky Lawn, and Macky Hall, shall emphasize the main entry and porch of Macky Hall and the main entrance to the site at the Broadway Stairs—as evident in the Early Estate Period and the

California College of the Arts Period. No new structures or buildings shall impede physical or visual connection from the Broadway Stairs to Macky Hall.

3.3.4 RETENTION OF API CONTRIBUTING LANDSCAPE FEATURES.

A minimum of three of the five remaining API contributing landscape features listed in the HRE—the Faun Sculpture, Stairs with Ceramic Pots, Infinite Faith, Bell Tower, and Celebration Pole—shall remain within the publicly-accessible open space of the site. If relocated, historic landscape features shall be sited in keeping with their setting—including visibility and relationship to surrounding plantings—during the California College of

the Arts Period. Refer to Figure 3.1 for imagery of contributing landscape features.

3.3.5 RETENTION OF CARNEGIE BRICKS.

Carnegie Bricks shall be retained as a contributing landscape feature to the Oakland Landmark in a similar setting as originally used during the Early Estate Period. If retained, Carnegie Bricks shall be permitted to be relocated within the site.

3.3.6 ADDITIONAL ART RETENTION.

A minimum of four additional art and artifacts shall be retained in the publicly-accessible open space of the site, in addition to those required in Guidelines 3.3.1, 3.3.5, and 2.4.11. Examples of art and artifacts include but are not limited to found sculptures from

the California College of the Arts Period, machinery used for art creation, new sculptures or murals (as a feature in the landscape or on adjacent building elevations), landscape installations, and salvaged building elements from California College of the Arts Period buildings—refer to Guideline 2.2.5. For retained found sculptures, consultation with the original creator (if possible) and/or an art conservator shall be required.

3.3.7 EUCALYPTUS ROW.

The five remaining Eucalyptus trees that make up the Eucalyptus Row, as identified in the Historic Resource Evaluation, shall be permitted to be removed if new trees are planted that line

a primary pedestrian pathway between Broadway and Macky Hall outside of the View Corridor. This is in keeping with the character of the original Eucalyptus Row which framed a pedestrian experience and views along a path. Primary pedestrian pathways are illustrated in Figure 3.11. Refer to Guideline 3.3.2 for maintaining the View Corridor. Refer to Guidelines 3.4.4, 3.4.5, 3.4.6, 3.5.2 and 3.5.3 for additional guidance on framing views and landscape elements lining pathways.

3.3.8 COMMEMORATION OF SITE HISTORY.

The site shall include a publicly-accessible indoor or outdoor space to display and exhibit the site's history.

OPEN SPACE ELEMENTS

The site is providing a publicly-accessible open space for the surrounding North Oakland communities. The guidelines in the following sections speak to the open space design response to the contextual and historic influences of the site, previously outlined in Chapter 1: Vision.

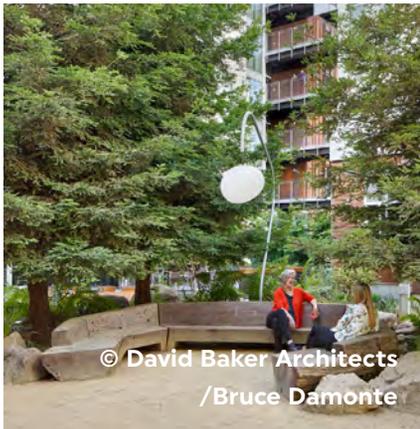
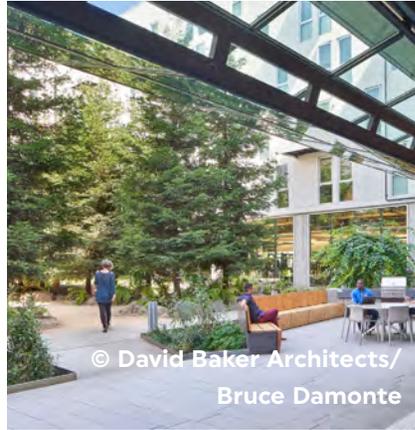


Figure 3.7: Examples of open space characteristics and programming

3.4 Character + Programming

The section is organized into the following open space elements:

- **PROGRAM AREAS:** Primary open space functions that respond to the characteristics of the California College of the Arts Period landscape.
- **CONNECTIONS + VIEWS:** Maintaining a circulation network that is well connected to main entrances and open space program areas and emphasizes important visual connections to and from the site.
- **ARTS + EDUCATION:** Honoring the monumental role of the California College of the Arts in expanding the arts and crafts education to California and aims to maintain that legacy in the next century through programming and design of the open spaces.

PROGRAM AREAS

3.4.1 OPEN SPACE PROGRAM AREAS. In addition to retaining Macky Lawn and the Macky Hall View Corridor (Section 3.3), the project also requires the following open space program areas which support the characteristics of the California College of the Arts Period:

- Neighborhood Paseo is a primary pedestrian connection between Clifton Street and Macky Hall and Macky Lawn. Similar to the California College of the Arts Period landscape, the connection shall provide access from Clifton Street to Macky Hall and shall be a minimum of 40 feet wide. Refer to Figure 3.8. Emergency

vehicle access shall be permitted through the connection from Clifton Street to the northeast corner of Macky Hall, including a turnaround to allow emergency vehicles to return to Clifton Street.

- Central Plaza is between primary entrances to Buildings A and B and the east entrance to Macky Hall, similar to the California College of the Arts Period plaza east of Macky Hall. It shall be located adjacent to Macky Hall and shall have a minimum size of 5,000 square feet. Refer to Figure 3.9.

3.4.2 NATURE DISCOVERY AND PLAY. To provide programming for education, similar to how the site performed during the California

College of the Arts Period, a play area of a minimum size of 1,200 square feet shall be provided within the publicly-accessible open space. The play area shall be prohibited within 30 feet of the Carriage House, which historically was not surrounded by activity. The use of natural materials shall be required—as described in Guideline 3.5.9—to provide sensory learning and education of the local ecology through the integration of play and nature.

3.4.3 TRANSITION SPACE AT RESIDENTIAL ENTRANCES. Where ground level private residential unit entries are provided at interfaces with publicly-accessible open space or public



Figure 3.8: Examples of paseos



Figure 3.9: Examples of plazas

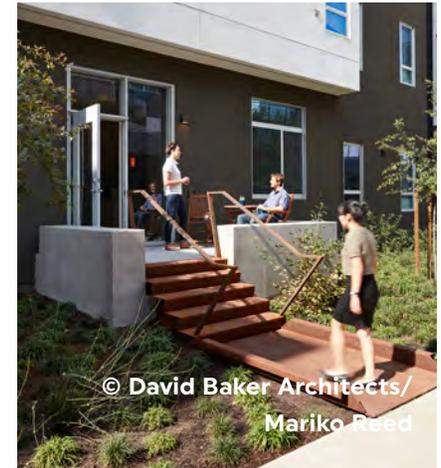


Figure 3.10: Transition space at residential entrance examples

streets, a transition space ranging from four to eight feet in depth shall be provided. Design features—such as stoops, porches, trellises, or gardens—shall be required to define residential entries within these transition spaces, similar to the design elements of Rockridge architecture. See Figure 3.10 for examples of such spaces.

CONNECTIONS + VIEWS

3.4.4 PRIMARY PEDESTRIAN PATHS. A network of primary paths shall serve as the main circulation route through the publicly-accessible open spaces, generally in keeping with the primary circulation patterns in the California College of the Arts Period landscape. Primary paths shall have a minimum width of 8 feet and connect site entrances, primary building entrances, and open spaces described in Guideline 3.4.1.

A primary pedestrian path shall be required in the following locations in keeping with the California College of the Arts Period primary pedestrian paths:

- Connecting north

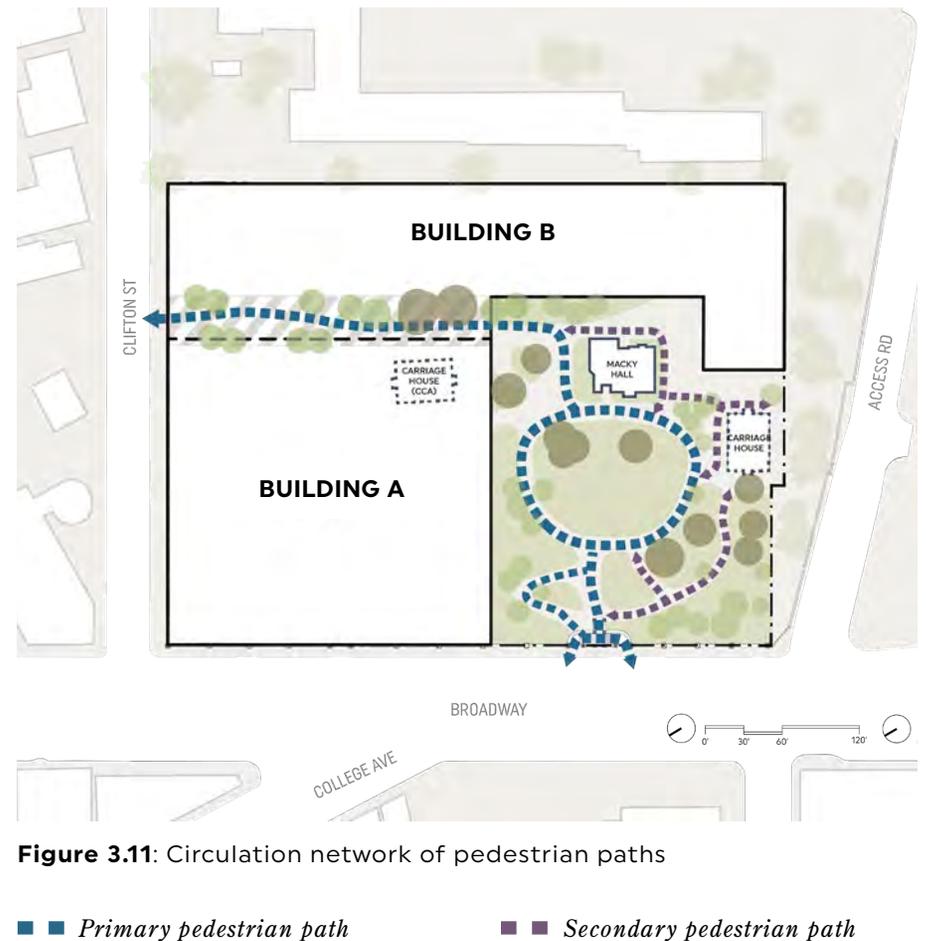


Figure 3.11: Circulation network of pedestrian paths

- ■ *Primary pedestrian path*
- ■ *Secondary pedestrian path*

to south within the Neighborhood Paseo from Clifton Street to Macky Hall and have a minimum unobstructed width between 10 and 20 feet

- Connecting west to east from the Broadway Stairs, around Macky Lawn, and connecting to the primary west-facing entrance to Macky Hall. Refer to Figure 3.11.

3.4.5 SECONDARY PEDESTRIAN PATHS. A network of secondary paths shall provide small scale connections that meander through the landscape—a characteristic of the California College of the Arts Period described in the HRE. Secondary paths shall have a maximum width to 8 feet. Appropriate connections include

secondary entrances of Buildings A and B, the Carriage House, Macky Hall, and through the heritage trees, plantings, and art displays. Refer to Figure 3.11.

3.4.6 FRAMED VISTAS. A minimum of two framed vistas shall be provided in the publicly-accessible open space. The site offers prominent vistas of Downtown Oakland, Berkeley, College Avenue, and the Bay. Vistas shall be framed with tree canopies and/or shrubs.

3.4.7 VEHICULAR ACCESS AND DROP-OFF. Vehicular access shall be restricted to the north edge of the site, to retain a car-free neighborhood paseo and core—surrounding Macky Hall and Macky Lawn—similar to the existing campus.

ARTS + EDUCATION

3.4.8 ARTS AND EDUCATIONAL PROGRAMMING. Arts and educational programming within the site—including existing or new buildings or publicly-accessible open space—shall be required in keeping with the teaching, making, and learning activities of the California College of the Arts Period. Permanent or rotating programming exhibits shall be permitted to meet this requirement.

3.4.9 EDUCATIONAL SIGNAGE. Signage highlighting the site's California College of the Arts Period history and significance shall be included throughout the landscape. Appropriate locations for signage include but are not limited to locations

where historic buildings stand or stood (such as Macky Hall, Carriage House, Founders Hall, Noni Eccles Treadwell Ceramic Arts Studio, Martinez Hall, and Barclay Simpson Sculpture Studio).

3.5 Performance and Planting

The guidelines in this section respond to the California College of the Arts Period landscape and contextual influences of the neighborhood and are organized into the following categories:

- **ECOLOGY + PLANTING:** Maintaining layered planting in keeping with the California College of the Arts Period landscape. Sustainability measures are also provided in response to the local ecology.
- **CAMPUS HERITAGE TREE RETENTION:** Retaining and reusing long standing trees that give a sense of the history of the California College of the Arts Period landscape.
- **OPEN SPACE MATERIALS:** Landscape materials create an overall cohesive character to the site and are influenced by materials of the California College of the Arts Period landscape.

ECOLOGY + PLANTING

3.5.1 PRIORITY PLANTING ZONES. A concentration of plantings—such as denser planting relative to the overall planting plan or a group of large trees—shall be located in the following areas, as seen in Figure 3.12, to accentuate the presence of new open space from key vantage points, increase shade and wind protection, and buffer traffic noise from Broadway Avenue similar to the California College of the Arts Period landscape:

- Open space visible from College Avenue
- The southwest corner of the site visible from Broadway
- Tree canopy coverage south and west of Macky Lawn

- Either side of the Macky Hall View Corridor to frame its view from College Avenue and Broadway

Refer to Guidelines 3.1.2 and 3.1.5 for further guidance on planting along the south edge of the site next to Macky Hall and Carriage House.

3.5.2 PLANT SPECIES FOR ENHANCED REGIONAL ECOLOGICAL SYSTEMS.

Any proposed trees and plantings on the site shall be composed exclusively of native species or drought-adapted, non-invasive species. These species relate to the retained plantings from the California College of the Arts Period and respond to the local context to aid in the expansion of adjacent habitat patches.

3.5.3 PREFERRED TRELLIS PLANTING. Planting, particularly vines, shall be permitted along areas with trellises and other secondary structures along open space to provide a vegetated transition in scale and privacy to new buildings and ground floor residential units, similar to the character of transitions in Rockridge architecture. Refer to Guideline 3.5.9.

3.5.4 LIMITED LAWN. The use of lawn as groundcover shall be prohibited in the publicly-accessible open areas of the site, except in Macky Lawn—the primary social commons of the site (see Section 3.3), in keeping with the California College of the Arts Period landscape. Groundcover in other areas shall utilize native

and/or drought-tolerant, non-invasive species.

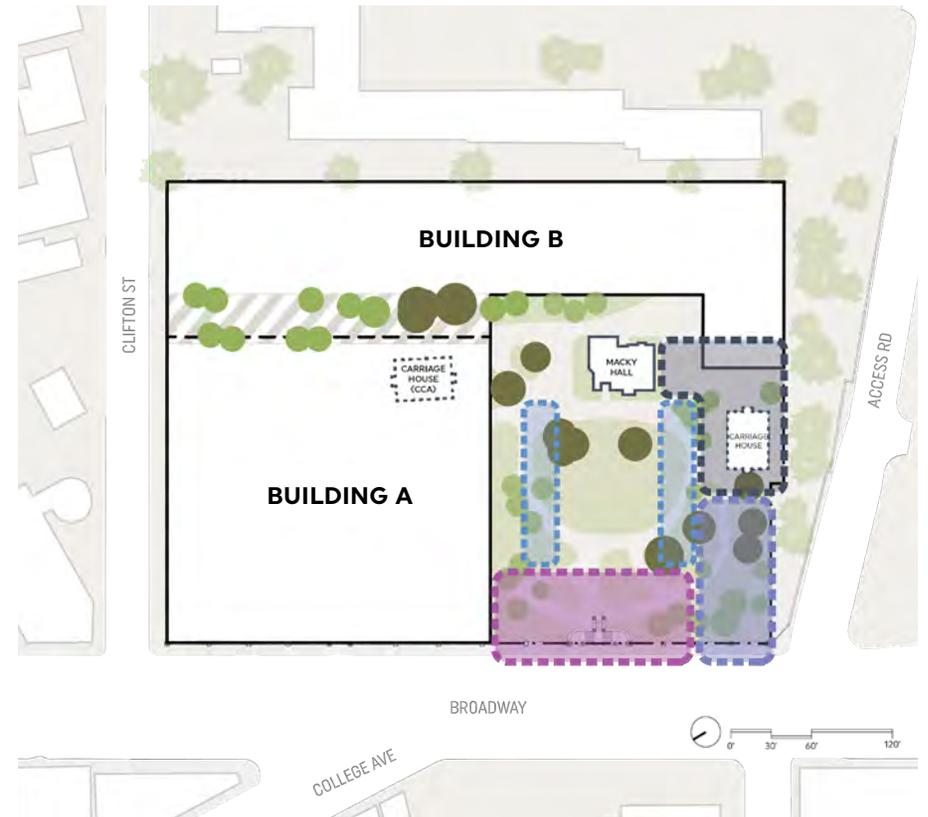


Figure 3.12: Priority planting zones

-  *Planting zone visible from College Avenue*
-  *Planting zone in southwest corner*
-  *Planting zone surroundings Macky Hall and Carriage House*
-  *Planting zone on either side of View Corridor*

CAMPUS HERITAGE TREE RETENTION

3.5.5 CAMPUS HERITAGE TREES. Healthy and mature trees on site—as recorded by an arborist—that do not impede new construction activity shall be incorporated in the planting plan as heritage trees. All trees that are preserved on site are noted in the PDP. Campus heritage trees provide a sense of the long-standing history of the site and contribute to the characteristics of framing Macky Lawn, Macky Hall, and the associated View Corridor.

3.5.6 NEW BUILDINGS SETBACK FROM CAMPUS HERITAGE TREES. Any newly constructed building shall be setback a

minimum of 12 feet from the dripline of preserved campus heritage trees, except where an arborist provides written approval of strategies to protect tree health during construction.

3.5.7 REUSE OF REMOVED SEQUOIA TREES. Once contributing landscape features to the Early Estate Period, the two Sequoia stumps—resulting from tree removal due to poor health in 2019—shall be reused on site. Appropriate examples of reuse include but is not limited to using materials for furnishings or landscape features to reference their history on site through educational signage, or interpretive markings.

MATERIAL PALETTE

3.5.8 OPEN SPACE HARDSCAPE MATERIAL PALETTE. Open space hardscape material palette shall include but is not limited to concrete paving and pavers, masonry (new or salvaged), wood decking, planted geoblocks, and decomposed granite (bonded and loose). Wood chips, Fibar, or a similar material for its natural appearance shall be permitted within the play area. Additional materials shall be permitted as open space hardscape materials if they are found within the California College of the Arts landscape.

While present during the California College of the Arts Period, asphalt shall be a prohibited material within the site to reduce

the urban heat island effect.

3.5.9 COLOR PALETTE. The open space hardscape color palette shall be limited to natural and earthen tones—except for areas dedicated to the display of arts and artifacts, which shall be permitted to use alternative tones and colors as accents. This is in keeping with the color palette of the California College of Arts Period landscape.

3.5.10 MATERIAL APPLICATION. In reference to the variety of materials and paving patterns layered into the California College of the Arts Period landscape, materials within the landscape shall incorporate a change in material applications where pathways, open

space program areas, and other open space elements intersect or meet. Change in material application shall be achieved through at least one of the following: material, color, rhythm, or pattern.

3.5.11 PREFERRED MATERIALS FOR NATURE AND DISCOVERY PLAY.

Equipment and furnishings in the play area defined in Guideline 3.4.2 shall incorporate natural materials, such as but not limited to rope, wood, and earthen materials such as rocks or stone.

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CALIFORNIA COLLEGE OF THE ARTS
OAKLAND CAMPUS SITE

IMPLEMENTATION CHECKLIST

FEBRUARY 2023

Implementation Checklist Purposes:

1. Identify which Design Guidelines address the specific Design Review Criteria required in the following City of Oakland Planning Code Sections:
 - a. 17.136.075 C, 3: Regulations for Demolition or Removal of any structure in an API: Section (a), and Section (b) Criteria i through Criteria vi
 - b. 17.136.070 C: Special Regulations for Designated Landmarks, Criteria 1 through Criteria 3
2. Provide a summary of design intent for each Design Review Criteria demonstrating how the Design Guidelines address the relevant requirements. Cross references to the Appendix A: References are provided (through superscripts:^A) as further documentation of existing conditions related to historic elements and contextual character of the site as summarized in Chapter 1: Vision.
3. Provide an analytical tool to review a Planned Development Permit (PDP). The Design Guidelines ensure that a new project is implemented within the framework of the required Design Review Criteria. The Implementation Checklist provides a summary format that can be used to evaluate whether a project is consistent with the Design Guidelines.

17.136.075 C, 3: Regulations for demolition or removal of any structure in an API:

a: The design quality of the replacement structure is equal/superior to that of the existing structure:

The Design Guidelines summarized below require new construction to demonstrate equal or superior design quality of the replacement structure:

- Demonstrate spatial relationships as seen in existing buildings, ^{F, G, H} including:
 - Differentiate new buildings through difference in material or fenestration rhythm, depth, or orientation ^F
 - Setback new construction from Macky Hall and Carriage House similar to their relationship to California College of the Arts Period buildings ^G
 - Provide separation between buildings to maintain similar spacing of existing buildings ^J
 - Provide various finished floor and entry elevations on sloped topography in keeping with the existing campus ^I
 - Reduce height surrounding Macky Hall to respond to the scale and relationship of nearby of California College of the Arts Period buildings and visually frame Macky Hall ^K
- Demonstrate an equal design quality to the twelve existing buildings, ^L including:
 - Massing adjacent to Macky Hall responds to its width, and frames the retained building as the primary building on site ^{AA}
 - Create defined building bases in new building elevations similar to the one to three story existing buildings through change in planes, horizontal elements, or material change ^J
 - Organize fenestration composition in linear grids consistent with the modernist architecture of the California College of the Arts Period architecture ^{N, O}
 - Increase the depth of key openings to accentuate building details and generate stronger shadow lines consistent with existing buildings ^O
 - Reference the California College of the Arts Period architecture through the facade material palette and color ^{P, O}
 - Demonstrate an intensity of detailing and craftsmanship through visible structural elements and material transitions to accentuate the beauty in construction assembly, similar to the California College of the Arts Period architecture ^R
- Improve campus relationship to the public realm by continuing the strong street presence of College Avenue by holding the streetwall at the Broadway and Clifton

Street intersection and activating the street frontage through commercial or educational programming "

Applicable Guidelines:

G #	GUIDELINE	COMPLIANCE SUMMARY
2.3.6	New mid-rise separation	
2.3.7	New buildings setbacks from Macky Hall	
2.3.8	New buildings setbacks from Carriage House	
2.3.9	Broadway Wall new buildings setback	
2.3.11	Reduced height requirements surrounding Macky Hall	
2.3.13	Reduced height at the intersection of Broadway and Clifton Street	
2.3.17	Clifton Street stepback	
2.3.20	Height datum reference to California College of the Arts Period buildings	
2.4.1	Building A use on Broadway	
2.4.3	Expressed entries	
2.4.6	Defined building base	
2.4.7	Building base rhythm	
2.5.1	Organization of fenestration	
2.5.2	Proportion of fenestration at the base	
2.5.4	Glazing units scale	
2.5.5	Minimum window depth	
2.5.6	Enhanced opening depth	
2.5.7	New building differentiation	
2.5.8	Visible Craftsmanship	
2.5.9	Residential Balconies	
2.5.10	Material palette	

17.136.075 C, 3: Regulations for Demolition or Removal of Potentially Designated Historic Properties:

b: The design of the replacement project is compatible with the character of the district, and there is no erosion of design quality at the replacement project site and in the surrounding area. This includes, but is not necessarily limited to, the following additional findings:

Criteria i: The replacement project is compatible with the district in terms of massing, siting, rhythm, composition, patterns of openings, quality of material, and intensity of detailing;

The Design Guidelines summarized below demonstrate compatibility with the district:

- Any proposed rehabilitation of Macky Hall will be within its existing footprint and will be in accordance with the Secretary of the Interior's Standards
- If moved, Carriage House will be sited in a similar orientation, separation, and elevation from Macky Hall, and its setting will be similar to its setting in the existing campus. Any proposed rehabilitation to Carriage House will be in accordance with the Secretary of the Interior's Standards

The Design Guidelines summarized below require new construction compatibility with the district:

- Site new buildings similar to the location of existing California College of the Arts period building footprints and surface parking lot, ^A such as:
 - The buildable area boundary for Building A generally occupies the footprint of Shaklee Hall, Simpson Sculpture Studio, Irwin Studio, and the campus parking lot at the corner of Clifton Street and Broadway, which enables the building to better address Broadway and the intent of the Corridor Guidelines ^{B, C}
 - The buildable area boundary for Building B generally occupies the footprint of campus era buildings located along the east side of the site including the Facilities Building, Building B, Oliver Arts Center, Nonni Eccles, Martinez Annex, Martinez Hall, and part of the Founders Hall footprint ^C
 - Vehicular access is maintained along Clifton Street. The existing Broadway Carriage Entrance is maintained for pedestrian access only ^D
- Orient new construction inward—similar to the existing California College of Arts Period campus orientation—by maintaining the existing primary pedestrian access and circulation that guides pedestrians from the Broadway Stairs as well as from Clifton

Street's northeast pedestrian entrance towards the center of the site's Macky Hall and Macky Lawn ^E

- Demonstrate spatial relationships as seen in existing buildings, ^{F,G,H} including:
 - Differentiate new buildings through difference in material or fenestration rhythm, depth, or orientation ^F
 - Setback new construction from Macky Hall and Carriage House similar to their relationship to California College of the Arts Period buildings ^G
 - Provide separation between buildings to maintain similar spacing of existing buildings ^J
 - Provide various finished floor and entry elevations on sloped topography in keeping with the existing campus ^I
 - Reduce height surrounding Macky Hall to respond to the scale and relationship of nearby of California College of the Arts Period buildings and visually frame Macky Hall ^K
- Demonstrate an equal design quality to the twelve existing buildings, ^L including:
 - Massing adjacent to Macky Hall responds to its width, and frames the retained building as the primary building on site ^{AA}
 - Create defined building bases in new building elevations similar to the one to three story existing buildings through change in planes, horizontal elements, or material change ^J
 - Organize fenestration composition in linear grids consistent with the modernist architecture of the California College of the Arts Period architecture ^{N,O}
 - Increase the depth of key openings to accentuate building details and generate stronger shadow lines consistent with existing buildings ^O
 - Reference the California College of the Arts Period architecture through the facade material palette and color ^{P,O}
 - Demonstrate an intensity of detailing and craftsmanship through visible structural elements and material transitions to accentuate the beauty in construction assembly, similar to the California College of the Arts Period architecture ^R
- Reference Rockridge architecture by limiting the scale of glazing and enhancing opening depths to avoid flat facades and provide shadow lines ^{PP}

Applicable Guidelines:

G #	GUIDELINE	COMPLIANCE SUMMARY
2.1.3	Macky Hall location	

2.1.4	Carriage House relocation	
2.1.5	Carriage House structural improvements for relocation	
2.3.1	Cumulative building footprint	
2.3.2	New building locations	
2.3.3	Building A boundary	
2.3.4	Building B boundary	
2.3.5	New building base separation	
2.3.6	New mid-rise separation	
2.3.7	New buildings setbacks from Macky Hall	
2.3.8	New buildings setbacks from Carriage House	
2.3.11	Reduced height requirements surrounding Macky Hall	
2.3.12	Building B height reduction	
2.3.16	Subdividing mid-rise volumes	
2.3.20	Height datum reference to California College of the Arts Period buildings	
2.4.3	Expressed entries	
2.4.6	Defined building base	
2.4.9	Neighborhood Paseo horizontal elements	
2.5.1	Organization of fenestration	
2.5.2	Proportion of fenestration at the base	
2.5.4	Glazing units scale	
2.5.5	Minimum window depth	
2.5.6	Enhanced opening depth	
2.5.7	New building differentiation	
2.5.8	Visible Craftsmanship	
2.5.9	Residential Balconies	
2.5.10	Material palette	
3.1.1	Primary facade of Macky Hall	
3.4.4	Primary pedestrian paths	

3.4.7	Vehicular access and drop-off	
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Criteria ii: New street frontage includes forms that reflect the widths and rhythm of the facades on the street and entrances that reflect the patterns on the street;

The Design Guidelines summarized below require new construction that reflect the widths and rhythms of the facades on the street and entrances that reflect the patterns on the street:

- Reference ground floor rhythms and materials of California College of the Arts Period buildings for new building facades facing the center of the site
- Create defined building bases along new building elevations similar to the one to three story existing campus buildings through change-in-planes, horizontal elements, or material change ^J
- Transition to context is expressed through upper level stepbacks, facade rhythm, and residential stoops, including:
 - Reducing perceived height near neighboring buildings through upper floor stepbacks and trellises ^{MM}
 - Articulate rhythm of ground floor and mid-rise facades facing context relate to rhythm and scale along College Avenue and Broadway Terrace ^{NN}
 - Incorporate residential stoops and horizontal elements at ground level transitions ^{OO}
 - Encourage primary building entrances along streets and open spaces
- Provide building base rhythm similar to College Avenue and continues active uses along Broadway:
 - Reduce perceived scale of bulk and massing in mid-rise volumes and design facades to reflect widths of nearby residential mid-rise buildings ^{GG}
 - Use horizontal elements along Broadway and Clifton Street in response to lower scale context and with a rhythm that responds to pedestrian activity similar to College Avenue ^{HH}
 - Continue a streetwall on Broadway and Clifton Street corner with limited setbacks ^I
 - Continue ground floor commercial activity along Broadway near College Avenue

Applicable Guidelines:

G #	GUIDELINE	COMPLIANCE SUMMARY
2.3.9	Broadway Wall new buildings setback	
2.3.13	Reduced height at the intersection of Broadway and Clifton	

	Street	
2.3.16	Subdividing mid-rise volumes	
2.3.17	Clifton Street stepback	
2.3.19	West facade of Building B stepbacks	
2.3.21	Mid-Rise Facade Rhythm	
2.4.1	Building A use on Broadway	
2.4.2	Minimum building entries	
2.4.6	Defined building base	
2.4.7	Building base rhythm	
2.4.8	Building base interface at Broadway Wall	
2.5.1	Organization of fenestration	
2.5.12	Building Base Color Palette	
3.4.3	Transition space at residential entrances	

Criteria iii: The replacement project provides high visual interest that either reflects the level and quality of visual interest of the district contributors or otherwise enhances the visual interest of the district;

The Design Guidelines summarized below demonstrate high visual interest that reflects or enhances the level and quality of the district:

- Any proposed rehabilitation to the exterior and interior architectural designs of Macky Hall and Carriage House is in accordance with to the Secretary of the Interior's Standards ^{Y,Z}
- In the event California College of the Arts Period buildings are rehabilitated, their location, siting, and setting are protected
- Retain contributing landscape features (Macky Lawn, Stairs with Ceramic Pots, Faun Sculpture, Infinite Faith sculpture, Bell Tower, and Celebration Pole), such as: ^S
 - Maintain the slope, planting characteristics, and size of Macky Lawn ^{T,U}
 - Any retained contributing landscape features within the open space are to be sited in a familiar context to their setting in the existing California College of the Arts landscape ^{V,W}

The Design Guidelines summarized below require new construction to demonstrate high visual interest that reflects or enhances the level and quality of the district:

- Demonstrate differentiation and spatial relationships as seen in existing buildings through: ^{F,G,H}
 - Differentiation between new buildings through material or fenestration rhythm, depth, or orientation ^F
 - Provide various finished floor and entry elevations on sloped topography limiting blank facades in keeping with the existing campus ^I
- Reference the facade material palette and color of California College of the Arts Period architecture ^{P,Q}
- Demonstrate intensity of detailing and craftsmanship through visible structural elements and material transitions that accentuate beauty in construction assembly, similar to the California College of the Arts Period architecture ^R
- Provide priority height locations that add visual interest to the roof profile ^J
- Maintain access and visual interest of the public realm:
 - Maintain Broadway Stairs as the primary entrance to the site ^{BB,CC}
 - Reestablish Macky Hall View Corridor providing views from Broadway to Macky Hall view maintained from College Avenue to Macky Hall ^{DD}

- Rehabilitate the Broadway Wall and Stairs according to Secretary of the Interior’s Standards while providing accessible entrance to the site ^{BB, CC}
- Maintain vehicular access along Clifton Street and maintain the existing Broadway Carriage Entrance as pedestrian access ^D
- New construction maintains and repurposes open spaces such as Macky Lawn and the north-south primary pedestrian path (Neighborhood Paseo) from Clifton Street to Macky Hall as publicly accessible open spaces ^{T, U}
- Maintain existing contributing landscape features ^{V, W}
- Integrate art or educational signage into the landscape or on facades facing publicly accessible open space
- Preserve existing long-standing trees and new plantings signal the new publicly accessible open space as a green terminus to the lively College Avenue ^{JJ}

Applicable Guidelines:

G #	GUIDELINE	COMPLIANCE SUMMARY
2.1.7	Macky Hall design, materials, and workmanship	
2.1.8	Macky Hall windows	
2.1.9	Macky Hall exterior paint	
2.1.10	Carriage House design, materials, workmanship	
2.1.11	Carriage House new openings	
2.1.12	Carriage House exterior paint	
2.1.13	Carriage House interior partitions	
2.2.1	Preferred retained structures	
2.2.2	California College of the Arts Period building relocation	
2.2.3	California College of the Arts Period buildings’ character-defining features	
2.2.4	New Buildings setback from California College of the Arts Period buildings	
2.3.10	Priority height locations	
2.4.5	Entry along hillside	
2.4.10	Limiting blank walls	

2.5.7	New building differentiation	
2.5.8	Visible Craftsmanship	
2.5.10	Material palette	
2.5.12	Building Base Color Palette	
3.1.2	Planting north and south of Macky Hall	
3.1.3	Visual connection between Macky Hall and Carriage House	
3.1.4	Grade relationship between Macky Hall and Carriage House	
3.1.5	Carriage House planting	
3.1.6	Carriage House circulation	
3.2.1	Broadway Wall retention and rehabilitation	
3.2.5	New openings in the Broadway Wall	
3.3.1	Macky Lawn retention	
3.3.2	Macky Hall View Corridor	
3.3.3	Macky Hall approach	
3.3.4	Retention of API contributing landscape features	
3.3.5	Retention of Carnegie Bricks	
3.3.6	Additional art retention	
3.3.8	Commemoration of site history	
3.4.4	Primary pedestrian paths	
3.4.6	Framed vistas	
3.4.7	Vehicular access and drop-off	
3.4.8	Arts and educational programming	
3.5.1	Priority planting zones	
3.5.5	Campus heritage trees	

Criteria iv: If the design contrasts the new to the historic character, the replacement project enriches the historic character of the district;

The Design Guidelines summarized below require new construction and open space to enrich the historic character of the district:

- Improve campus access and relationship to the public realm to establish a superior design quality that enriches the character of the California College of the Arts campus, through:
 - Provide new publicly accessible open space in the redevelopment of the site
 - Continue a strong street presence of College Avenue by holding the streetwall in new construction at the Broadway and Clifton Street intersection and activating the street frontage through commercial or educational programming "
- Enhance the open space while honoring the legacy of arts and education that took place during the California College of the Arts Period, including:
 - Any proposed retention of additional art and artifacts in the open space will maintain their setting
 - Integrate murals and artwork on facades facing the open spaces
 - New play area within the publicly accessible open space encourages discovery, education, and stewardship
 - Commemorate site histories through displays or installations

Applicable Guidelines:

G #	GUIDELINE	COMPLIANCE SUMMARY
2.2.5	Commemoration of California College of the Arts Period architecture	
2.3.9	Broadway Wall new buildings setback	
2.4.11	Facade art treatments	
3.2.6	Commemoration of removed Broadway Wall segments	
3.3.6	Additional art retention	
3.3.8	Commemoration of site history	
3.4.1	Open Space Program Areas	
3.4.2	Nature discovery and play	
3.4.8	Arts and educational programming	

3.4.9	Educational signage	
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Criteria v: The replacement project is consistent with the visual cohesiveness of the district. For the purpose of this item, visual cohesiveness is the architectural character, the sum of all visual aspects, features, and materials that defines the district. A new structure contributes to the visual cohesiveness of a district if it relates to the design characteristics of a historic district. New construction may do so by drawing upon some basic building features, such as the way in which a building is located on its site, the manner in which it relates to the street, its basic mass, form, direction or orientation (horizontal vs. vertical), recesses and projections, quality of materials, patterns of openings and level of detailing. When a combination of some of these design variables are arranged in a new building to relate to those seen traditionally in the area, but integral to the design and character of the proposed new construction, visual cohesiveness results

The Design Guidelines define visual cohesiveness as a compatibility measure of the sum of the whole (the campus) rather than each individual building, landscape feature, or incorporated art feature. Compatibility with the neighborhood is also achieved through transitions at the edges of the site.

The Design Guidelines summarized below require new construction and open space to demonstrate visual cohesiveness of the district:

- Use visually compatible (instead of contrasting) materials in new buildings ^{P,Q}
- Create defined building bases in new building elevations similar to the one to three story (~20 to ~60 feet tall) existing buildings through change in planes, horizontal elements, or material changes ^J
- Demonstrate spatial relationships as seen in existing buildings by maintaining various finished floor and entry elevations on sloped topography limiting blank facades in keeping with the campus ^I
- Use the sloped topography to frame vistas from the publicly-accessible open space through planting and circulation routes
- Transition to context is expressed through upper level stepbacks and facade rhythm, such as:
 - Reduce perceived height near neighboring buildings through upper floor stepbacks and trellises ^{MM}
 - Articulate rhythm of ground floor and mid-rise facades facing adjacent neighborhood to relate to rhythm and scale of buildings along College Avenue and Broadway Terrace ^{NN}

- Maintain the site as a green terminus at the intersection of Broadway and College Avenue: ^{JJ}
 - Maintain the Broadway Wall as the primary edge and provide an accessible entry and a concentration of planting at the southwest corner to invite access by the community ^{JJ}
 - Preserve, protect, and expand the planting palette present in Rockridge
- Retain characteristics of the existing campus landscape, including:
 - Retain long standing campus heritage trees (as identified in the PDP) that contribute to the framing of Macky Hall, Macky Lawn, and Macky View Corridor
 - Retain scale, orientation, views, materials, and programmatic components of the existing campus ^{T, u, v, w, x}
 - A network of open spaces and meandering paths contribute to the existing campus’s landscape of discovery ^{v, w, x}
- Provide meandering, informal network of circulation routes through the site similar to the California College of Arts Period campus, with improved pedestrian accessibility, including:
 - Provide secondary pedestrian paths as alternate routes through the site allowing the discovery of existing buildings, vistas, and contributing landscape features similar to the California College of the Arts Period campus ^{v, w, x}
 - Provide a variety of elevations for building entries across the site—consistent with the various levels of building access in the campus ^{A, I}

Applicable Guidelines:

G#	GUIDELINE	COMPLIANCE SUMMARY
2.3.10	Priority height locations	
2.3.13	Reduced height at the intersection of Broadway and Clifton Street	
2.3.14	Roof Profile	
2.3.15	Articulated rooflines	
2.3.16	Subdividing mid-rise volumes	
2.3.17	Clifton Street stepback	
2.3.18	Open space stepbacks	
2.3.19	West facade of Building B stepbacks	
2.3.21	Mid-Rise Facade Rhythm	

2.4.4	Referencing historic elevations	
2.4.5	Entry along hillside	
2.4.6	Defined building base	
2.4.7	Building base rhythm	
2.5.3	Vertical volume expression	
2.5.10	Material palette	
2.5.11	Mid-rise material reference to contextual landmarks	
2.5.12	Building Base Color Palette	
3.2.4	Carriage Entrance Sign	
3.5.5	Campus heritage trees	
3.5.6	New buildings setback from campus heritage trees	
3.5.7	Reuse of removed sequoia trees	
3.4.5	Secondary pedestrian paths	
3.4.6	Framed vistas	
3.5.1	Priority planting zones	
3.5.2	Plant species for enhanced regional ecological systems	
3.5.3	Preferred trellis planting	
3.5.4	Limited lawn	
3.5.8	Open space hardscape material palette	
3.5.9	Color palette	
3.5.10	Material application	
3.5.11	Preferred materials for nature and discovery play	

Criteria vi: The replacement project will not cause the district to lose its current historic status.

This Criteria will be addressed in a variance.

17.136.070 C: Special Regulations for Designated Landmarks

Proposals involving designated landmarks that require Regular design review approval may be granted only upon determination that the proposal conforms to the Regular design review criteria set forth in Section 17.136.050 and to the additional criteria set forth below in Subdivisions 1, 2 and 3 or to one or both of the criteria set forth in Subdivision 4:

Criteria 1: That the proposal will not adversely affect the exterior features of the designated landmark nor, when subject to control as specified in the designating ordinance for a publicly-owned landmark, its major interior architectural features;

The Design Guidelines summarized below demonstrate that exterior features of the designated landmark will not be adversely affected:

- Any proposed rehabilitation to the exterior and interior architectural designs of Macky Hall and Carriage House is in accordance with to the Secretary of the Interior’s Standards ^{Y,Z}
- Retain or reference contributing landscape features (Broadway Wall & Stairs, Carnegie Bricks, Eucalyptus Row, and Macky Hall View Corridor) in the following manner: ^{CC}
 - Retain the entire length of Broadway Wall as the western boundary of the site with limited modifications
 - Retain Broadway Stairs as the primary entrance to the site ^{BB, CC}
 - Maintain and define Macky Hall View Corridor through planting and programming ^{DD}
 - Site the Carnegie Bricks in a familiar context to their setting within the campus ^{EE}
 - Remove the remaining Eucalyptus Row and reference its character referenced in new plantings lining and framing primary pathways and views

Applicable Guidelines:

G #	GUIDELINE	COMPLIANCE SUMMARY
2.1.1	Rehabilitation requirements for retained buildings contributing to the Oakland Landmark	
2.1.2	Review of rehabilitation drawings	
2.1.7	Macky Hall design, materials, and workmanship	
2.1.8	Macky Hall windows	

2.1.9	Macky Hall exterior paint	
2.1.10	Carriage House design, materials, workmanship	
2.1.11	Carriage House new openings	
2.1.12	Carriage House exterior paint	
3.2.1	Broadway Wall retention and rehabilitation	
3.2.2	Broadway Wall openings	
3.2.3	Carriage Entrance	
3.2.5	New openings in the Broadway Wall	
3.2.8	Broadway Wall bay modifications	
3.2.11	Broadway Wall visibility and greening limits	
3.2.12	Broadway Wall interface	
3.3.5	Retention of Carnegie Bricks	
3.3.7	Eucalyptus Row	

Criteria 2: That the proposal will not adversely affect the special character, interest, or value of the landmark and its site, as viewed both in themselves and in their setting;

The Design Guidelines summarized below demonstrate that the landmark and site will not be adversely affected in their setting:

- Any proposed rehabilitation to the exterior and interior architectural designs of Macky Hall and Carriage House is in accordance with to the Secretary of the Interior’s Standards ^{Y,Z}
 - Maintain Macky Hall as the primary contributing building on site through the siting of Carriage House and new construction response to Macky Hall ^Y
 - Carriage House maintains a subsidiary relationship to Macky Hall through its spatial relationship to and similar finished floor elevation at or below Macky Hall ^Z

The Design Guidelines summarized below require new construction to demonstrate that the landmark and site will not be adversely affected in their setting:

- Provide height reductions, setbacks, and transitions to Macky Hall and Carriage House, and contributing landscape features, such as:
 - Limit height surrounding Macky Hall ^{AA}
 - Setback new buildings from Macky Hall and Carriage House similar to their relationship to campus buildings ^J
 - Massing adjacent to Macky Hall responds to its width and frames it as the primary building on site ^{AA}
 - Setback new buildings from the Broadway Wall
- Retain the entire length of Broadway Wall as the western boundary of the site with limited modifications ^{BB,CC}

Applicable Guidelines:

G #	GUIDELINE	COMPLIANCE SUMMARY
2.1.3	Macky Hall location	
2.1.4	Carriage House relocation	
2.1.5	Carriage House structural improvements for relocation	
2.1.6	Macky Hall primary access	
2.3.7	New buildings setbacks from Macky Hall	
2.3.8	New buildings setbacks from Carriage House	

2.3.9	Broadway Wall new buildings setback	
2.3.11	Reduced height requirements surrounding Macky Hall	
2.3.12	Building B height reduction	
2.3.16	Subdividing mid-rise volumes	
2.3.19	West facade of Building B stepbacks	
2.4.8	Building base interface at Broadway Wall	
2.5.13	Non-imitation Detailing	
3.1.1	Primary facade of Macky Hall	
3.1.2	Planting north and south of Macky Hall	
3.1.3	Visual connection between Macky Hall and Carriage House	
3.1.4	Grade relationship between Macky Hall and Carriage House	
3.1.5	Carriage House planting	
3.1.6	Carriage House circulation	
3.2.9	Visual prominence of the Broadway Wall	
3.3.2	Macky Hall View Corridor	
3.3.3	Macky Hall approach	

Criteria 3: That the proposal conforms with the Design Guidelines for Landmarks and Preservation Districts as adopted by the City Planning Commission and, as applicable for certain federally related projects, with the Secretary of the Interior's Standards for the Treatment of Historic Properties;

The Design Guidelines summarized below demonstrate conformance with the Secretary of the Interior's Standards:

- In keeping with the Secretary of the Interior's Standards, any proposed rehabilitation of Macky Hall will be within its existing footprint and any proposed moving of Carriage House will be sited in a similar orientation, separation, and elevation from Macky Hall. In both instances, their settings will be maintained as during California College of the Arts Period
- Any proposed rehabilitation to the exterior and interior architectural designs of Macky Hall and Carriage House is in accordance with to the Secretary of the Interior's Standards ^{y,z}
 - Maintain Macky Hall as the primary contributing building on site through the siting of Carriage House and new construction response to Macky Hall ^y
 - Carriage House maintains a subsidiary relationship to Macky Hall through its spatial relationship to and similar finished floor elevation at or below Macky Hall ^z

Applicable Guidelines:

G #	GUIDELINE	COMPLIANCE SUMMARY
2.1.1	Rehabilitation requirements for retained buildings contributing to the Oakland Landmark	
2.1.2	Review of rehabilitation drawings	
2.1.4	Carriage House relocation	
2.1.5	Carriage House structural improvements for relocation	
2.1.7	Macky Hall design, materials, and workmanship	
2.1.8	Macky Hall windows	
2.1.9	Macky Hall exterior paint	
2.1.10	Carriage House design, materials, workmanship	
2.1.11	Carriage House new openings	

2.1.12	Carriage House exterior paint	
2.1.13	Carriage House interior partitions	
3.2.1	Broadway Wall retention and rehabilitation	
3.2.6	Commemoration of removed Broadway Wall segments	
3.2.7	Broadway Wall pilaster retention	
3.2.10	Broadway Wall intervention materials	
3.3.8	Commemoration of site history	

REFERENCES

Documentation of historic elements and contextual character of the site
for 5212 Broadway Design Guidelines' Response in Chapter 1: Vision

^A Page & Turnbull, *California College of the Arts Oakland Campus 5212 Broadway Historic Resource Evaluation* (Oakland Planning & Building Department, 2019), “Character-defining features of CCA Historic District”, bullet 4, pg 179

^B City of Oakland, *Design Guidelines for Corridors and Commercial Areas*, (Oakland Planning & Building Department, Adopted 2013), pgs 6-10, 84-89



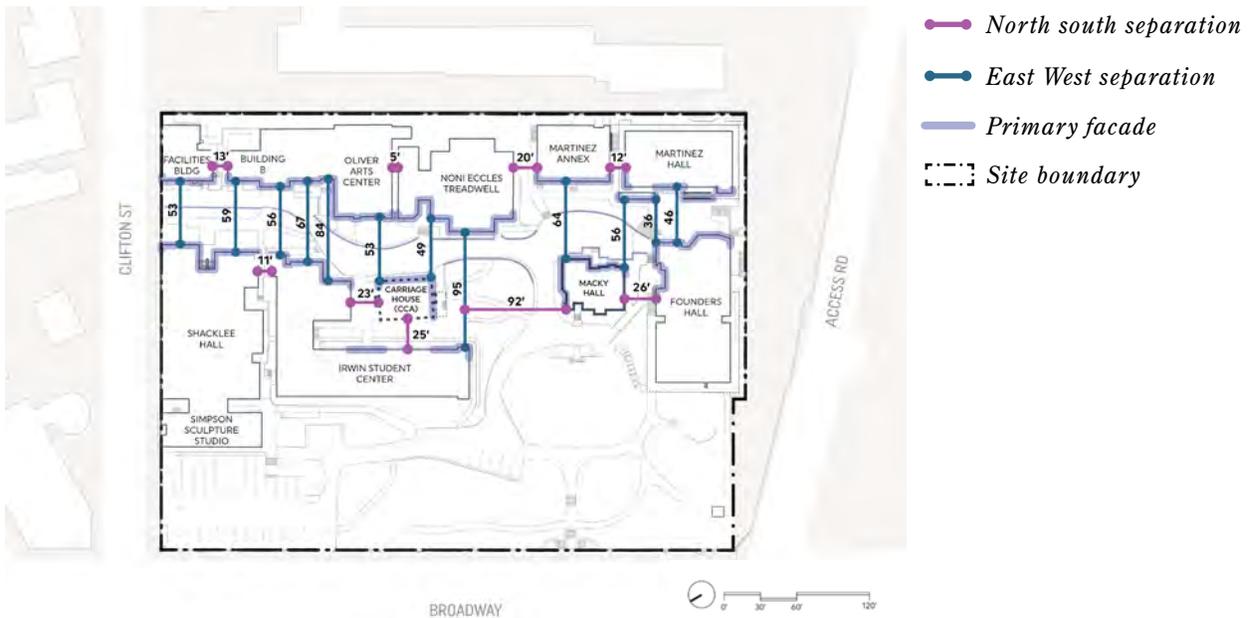
^C Allowable new building buildable area in relation to existing California College of the Arts buildings, parking lot, and landscape

^D Page & Turnbull, *Historic Resource Evaluation* (2019), “Character-defining features of CCA Historic District”, bullet 6, pg 179

^E Page & Turnbull, *Historic Resource Evaluation* (2019), “Character-defining features of CCA Historic District”, bullet 7, pg 179

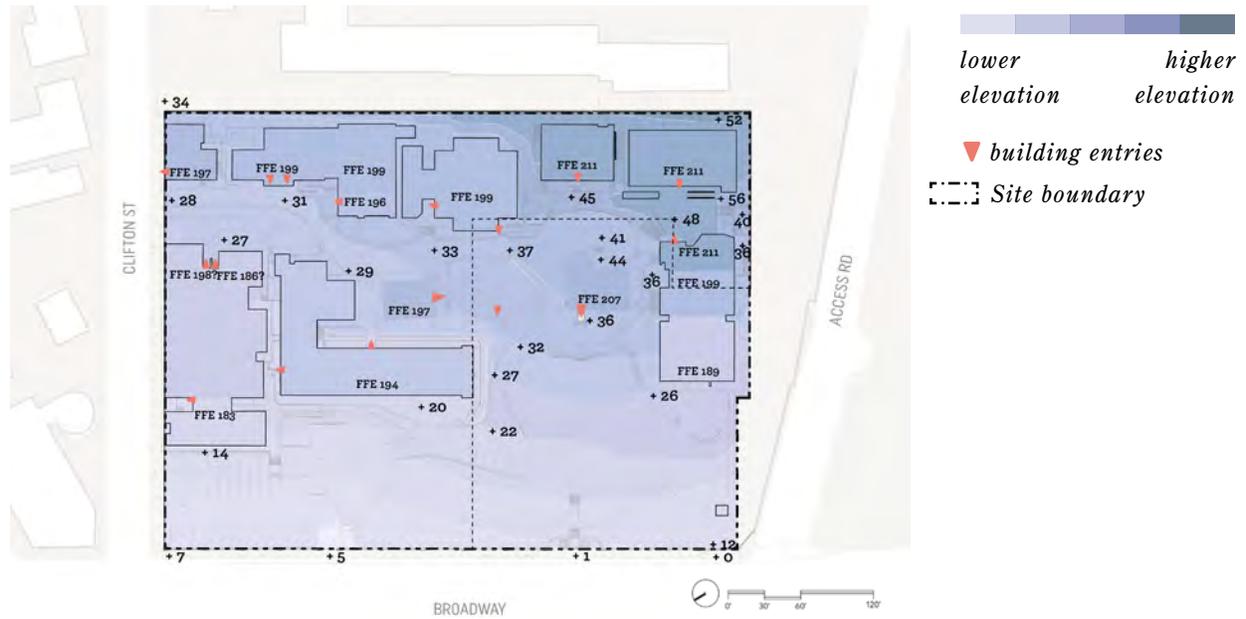


^F Examples of differentiation on the California College of the Arts campus



^G Spatial relationship and separation of California College of the Arts Period buildings

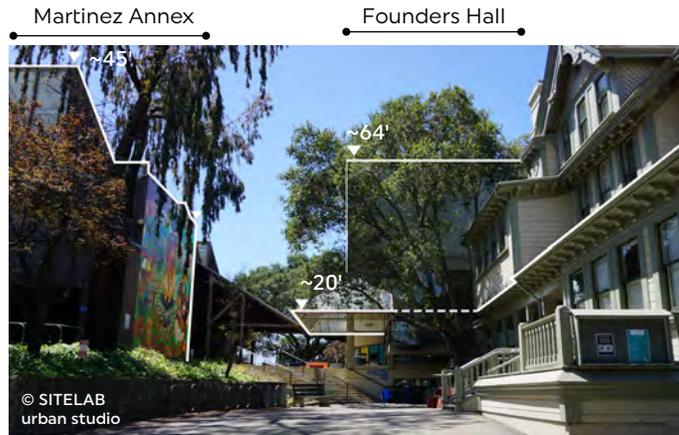
^H Page & Turnbull, *Historic Resource Evaluation* (2019), "Character-defining features of CCA Historic District", bullet 3, pg 179



¹ Topographic site plan with Finished Floor Elevations (FFE) of California College of the Arts campus buildings

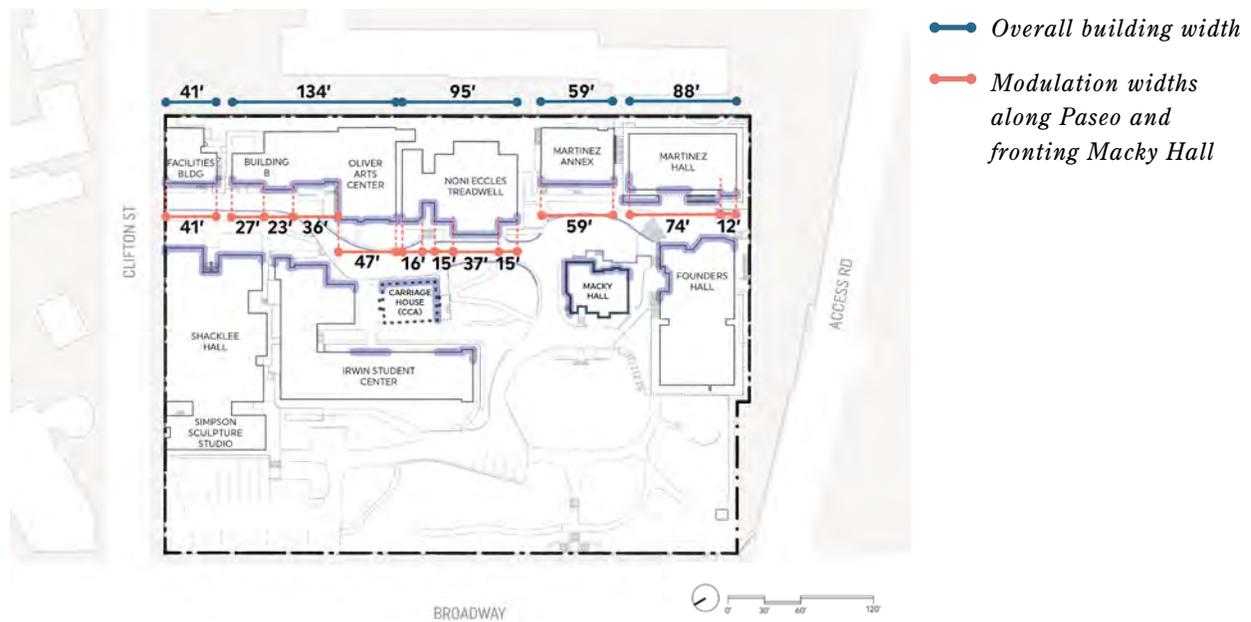


¹ California College of the Arts Period buildings height and setbacks surrounding Macky Hall and Carriage House



^k Heights adjacent to Macky Hall (heights measured from each building's FFE)

^l Page & Turnbull, *Historic Resource Evaluation* (2019), "Character-defining features of CCA Historic District", bullet 1, pg 179



^m Diagram of California College of the Arts Period buildings' width

ⁿ Page & Turnbull, *Historic Resource Evaluation* (2019), "Architectural Styles: Third Bay Tradition, Brutalism, and New Modernism", 126-127

opening
depth

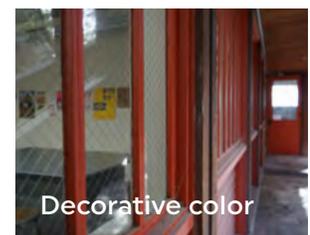


fenestration
pattern



© SITELAB
urban studio

° *Examples of facade composition reference California College of the Arts Period architecture: fenestration patterns and opening depths*



© SITELAB urban studio

Campus material
palette

Campus color
and murals

° *Examples of facade composition reference California College of the Arts Period architecture: colors and materials*

° *Page & Turnbull, Historic Resource Evaluation (2019), see 'Materials' for each building, pg 150-170*

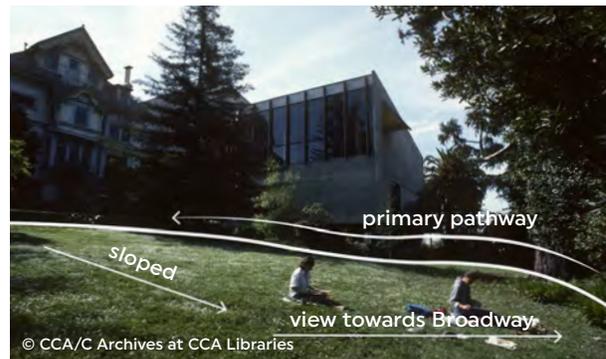


^R *Examples of facade composition reference California College of the Arts Period architecture: intensity of detailing and visible craftsmanship*

^S *Page & Turnbull, Historic Resource Evaluation (2019), “Character-defining features of CCA Historic District”, bullet 2, pg 179*



© CCA/C Archives at CCA Libraries
Macky Lawn flexible uses for ceremonies and events



© CCA/C Archives at CCA Libraries
Macky Lawn sloped facing Broadway with tree lined edges

^T *Existing landscape metrics and character: Macky Lawn programming and views*

^U *Page & Turnbull, Historic Resource Evaluation (2019), “Location of landscape features on CCA campus”, Figure 148, pg 75; “Macky Lawn”, pg 77*

^V *Page & Turnbull, Historic Resource Evaluation (2019), “Character-defining features of CCA Historic District”, bullet 5, pg 179*



Primary pathway from Clifton Street to Macky Hall (Neighborhood Paseo)



Framing Macky Hall and adjacent hardscaped open space

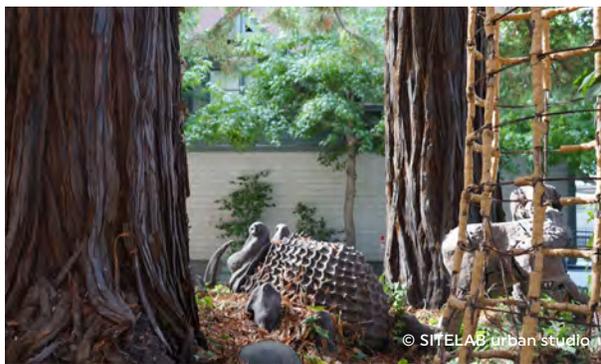


Macky Hall View Corridor framing and character

^w Existing landscape metrics and character: scale and orientation



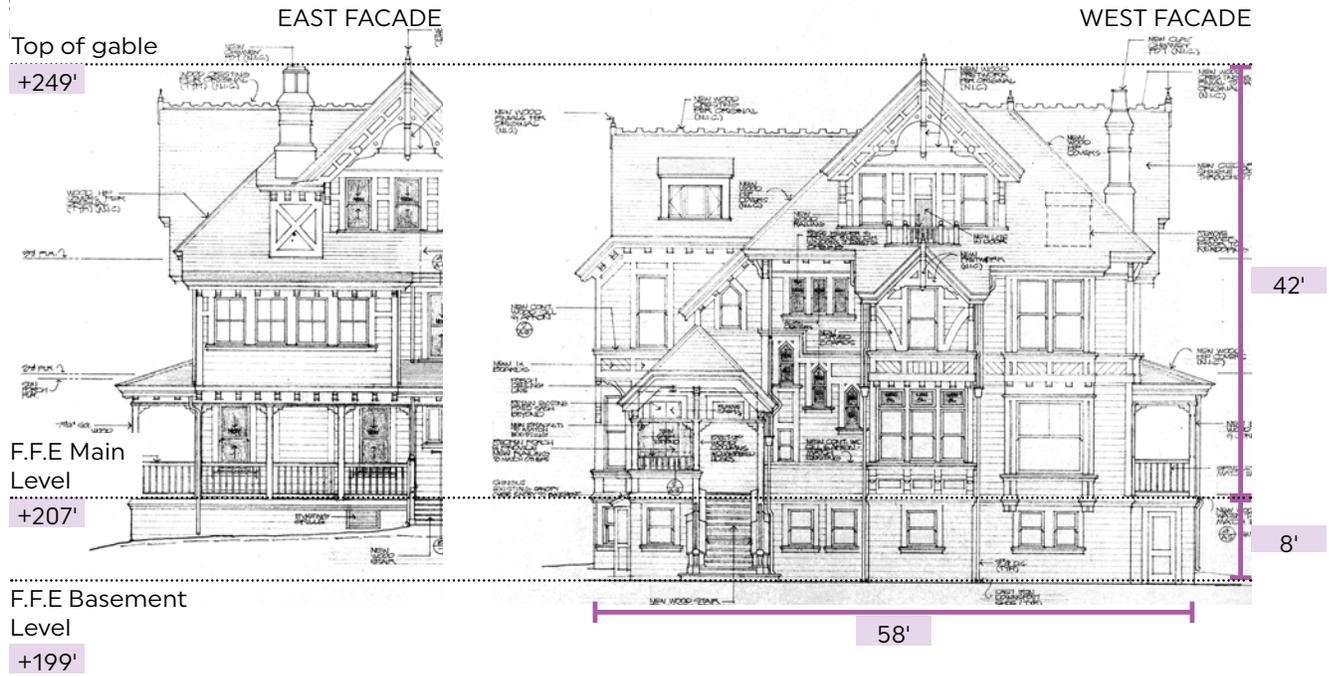
Contributing landscape features and existing art and artifacts along secondary pedestrian pathways



^x Existing landscape metrics and character: views and programming along secondary pathways

^y Page & Turnbull, *Historic Resource Evaluation* (2019), "Macky Hall", pg 18-22

^z Page & Turnbull, *Historic Resource Evaluation* (2019), "Carriage House", pg 23-27



AA Width and height of Macky Hall



Broadway Wall and Stairs



BB Existing landscape metrics and character: Broadway Wall function as the edge and primary entrance into the site

CC Page & Turnbull, *Historic Resource Evaluation* (2019), "Broadway Wall and Stairs", pg28

DD Page & Turnbull, *Historic Resource Evaluation* (2019), "City of Oakland Landmarks", Quoted text from the Oakland Landmark nomination, pg 9

EE Page & Turnbull, *Historic Resource Evaluation* (2019), "Carnegie Bricks", pg 76



FF *Typical rhythm and widths of building base along College Avenue*



GG *Typical facade articulation and modulation in the mid-rise in nearby mid-rise residential buildings*



HH *Horizontal elements along College Avenue*



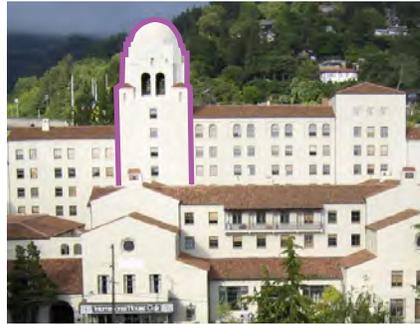
^{II} Aerial image of College Avenue streetwall



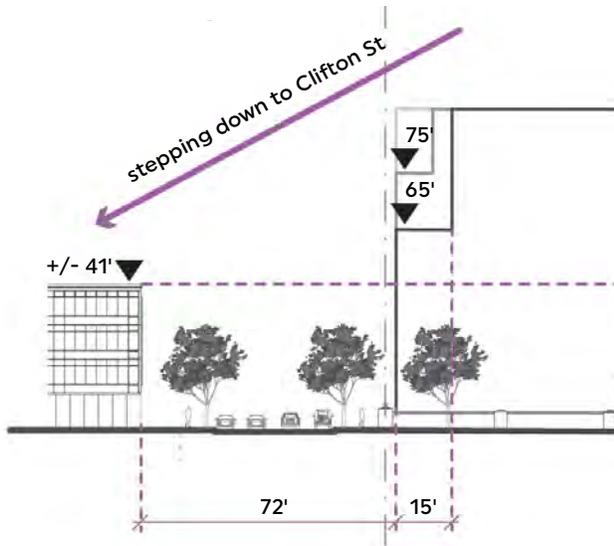
^{JJ} Existing green terminus of College Avenue as it intersects Broadway



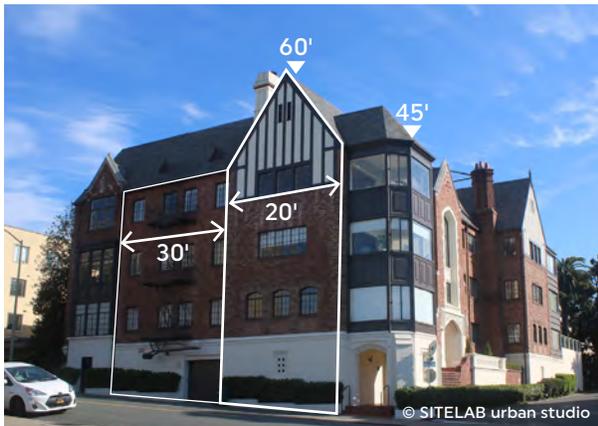
^{KK} Examples of buildings responding to sloped topography



LL *Examples of East Bay buildings breaking down perceived scale and using moments to display height*



MM *Diagram and examples of nearby new buildings transitioning to adjacent heights*



NN *Typical widths and height of mid-rise buildings along Broadway Terrace*



°° Residential stoops transition to street in Rockridge neighborhood



PP Examples of Rockridge architectural features

Land acknowledgement:

5212 Broadway is located on the territory of Xučyun, Huichin, (Oakland) —the homeland of the Ohlone people. Development activity at 5212 Broadway must acknowledge the discrimination and violence that has been and is presently enforced upon Indigenous peoples, including forced dispossession and harm to their communities and culture. Indigenous settlements of the Huichin and Jalquin tribes of the Ohlone people predated any arrival of Spanish settlers by more than one thousand years in the City of Oakland and have made innumerable contributions to Oakland and the greater Bay Area. The Ohlone peoples lived along the banks of the Temescal Creek and the neighborhood of Rockridge may have been named for the outcropping of rock at the northern end of the long shutter ridge formed by the Hayward Fault. 5212 Broadway is the ancestral and unceded territories of the Chochenyo-speaking Ohlone people who have continuously lived upon this land since time immemorial.



52
12
BROADWAY

CALIFORNIA COLLEGE OF THE ARTS
OAKLAND CAMPUS SITE
REDEVELOPMENT PLAN



Attachment B:

Preliminary Planned Unit Development Plan Set Updated March 3, 2023



California College of the Arts, Oakland, CA Preliminary Development Plan Application

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PROJECT INFORMATION & DESCRIPTION

PROJECT TEAM

Project Location	5212 Broadway Avenue Oakland, CA 94618	Architect	Mithun 660 Market St, #300 San Francisco, CA 94104 Contact: Anne Torney Phone: 415 489 4851
Owners	Emerald Fund 235 Montgomery Street, 27/F San Francisco, CA 94104 Contact: Marc Babsin Phone: 415 489 1329	Landscape Architect	CMG 444 Bryant St. San Francisco, CA 94107 Contact: Kevin Conger Phone: 415 495 3070
Urban Design & Design Guidelines	SITELAB Urban Studio 660 Mission St, #200 San Francisco, CA 94105 Contact: Laura Crescimano Phone: 415 852 6940	Civil Engineer	BKF Engineers 1646 N. California Blvd., #400 Walnut Creek, CA 94596 Contact: Eric Swanson Phone: 925 940 2253

PROJECT DESCRIPTION

The applicant proposes to develop the CCA Oakland Campus property with the following plan elements:

1. Change in Land Use and Zoning:

- General Plan: A General Plan Amendment from Institution Land Use to Community Commercial Land Use.
- Rezoning: A Rezoning from Mixed Housing Residential Zone 3 and CN-1 to CC-2.
- Height: A change from a 35-foot Height Area to a 90-foot Height Area.

2. Redevelopment of the California College of Arts and Crafts campus including the following proposal:

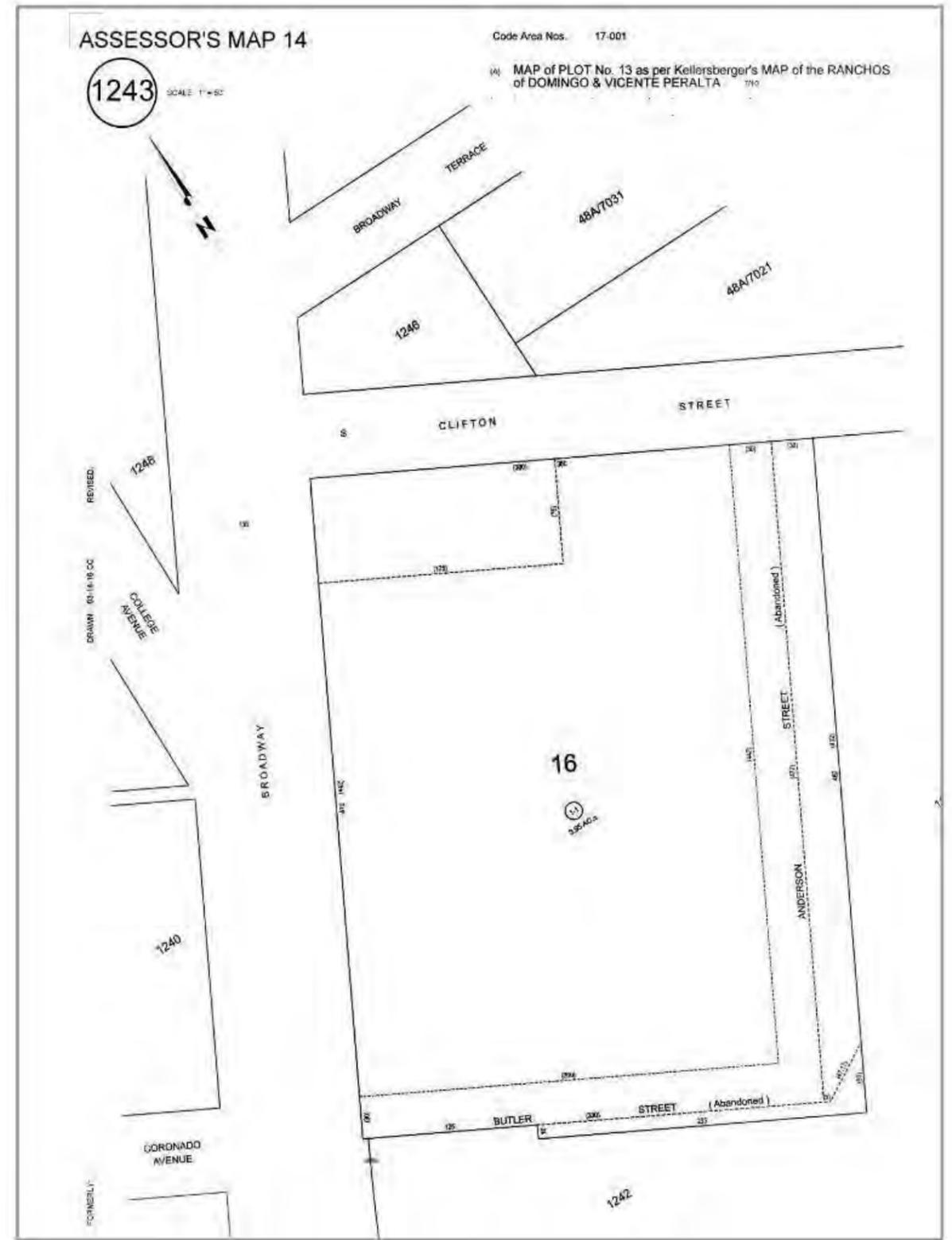
- Preservation and renovation of two landmarked buildings, Macky Hall and Carriage House; the historic Broadway wall and gate; the historic entry staircase; the Treadwell Estate View Corridor; and several historic landscape features. Carriage House to be relocated on the site.
- Preservation of 38 trees (15 on site and 23 within 10' of property line) including: 10 Redwoods, 3 Coastal Live Oaks, and 1 Magnolia. The remainder of the vegetation is to be removed. All removed trees will be replaced by new trees.
- Demolition of 10 of the existing buildings on the campus.

- Development of:
 - Two perimeter residential buildings ranging in height from 45' to 90', with a few locations of minor exceedance
 - 448 residential units
 - 14,391 square feet of commercial space comprised of 7,760 square feet in Macky Hall and 6,631 square feet on the ground floor of a new building along Broadway.
 - 10,718 of Community Assembly Civic space at Macky Lawn; 1,290 sq ft of Community Assembly Civic space on the ground floor of Carriage House; and 1,414 sq ft of Community Assembly Civic space on the Carriage House Terrace. (Macky Lawn, Carriage House and Carriage House Terrace are intended to serve the on-site residents and local community from time to time. Macky Lawn and the Carriage House Terrace would be available to be used for civic activities including community or cultural performing arts by non-profit groups. The ground floor of Carriage House would be available to be used for civic activities including community meetings.)
 - 98,141 square feet of open space comprised of: 41,193 square feet of POPOS; 24,892 square feet of public plaza; 18,036 square feet of group usable open space for exclusive use of residents; and 14,020 square feet of private usable open space
 - 237 automobile parking spaces in one garage at Building A
 - 476 bicycle parking spaces, project wide

EXISTING CONDITIONS

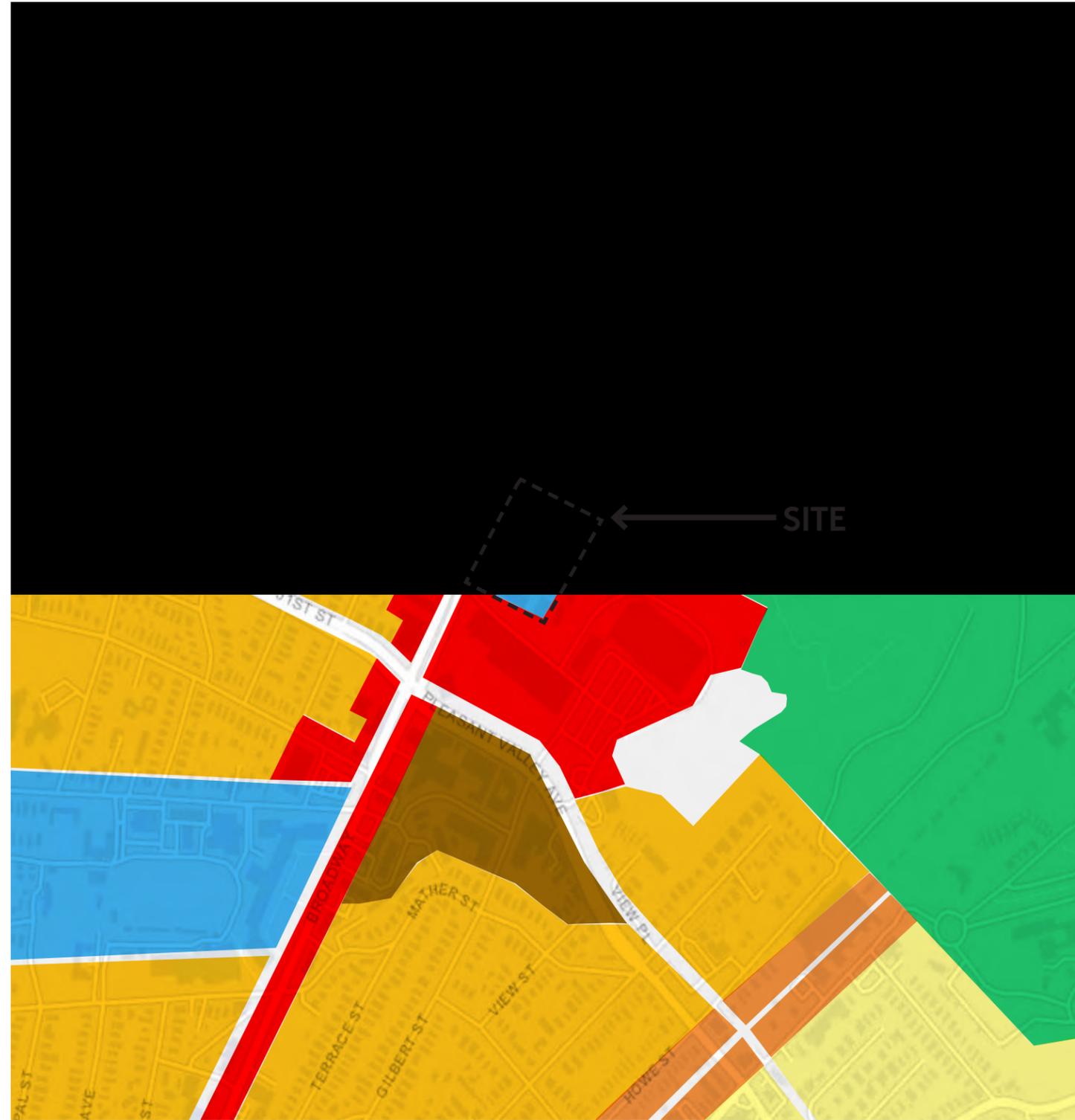
VICINITY MAP & ASSESSOR'S PARCEL MAP

Current Zoning	Mixed Housing Type Residential Zone 3 (RM-3) & Neighborhood Commercial Zone (CN-1)
Proposed Zoning	Community Commercial (CC-2)
APN	14-1243-1-1
Lot Area	174,240 square feet

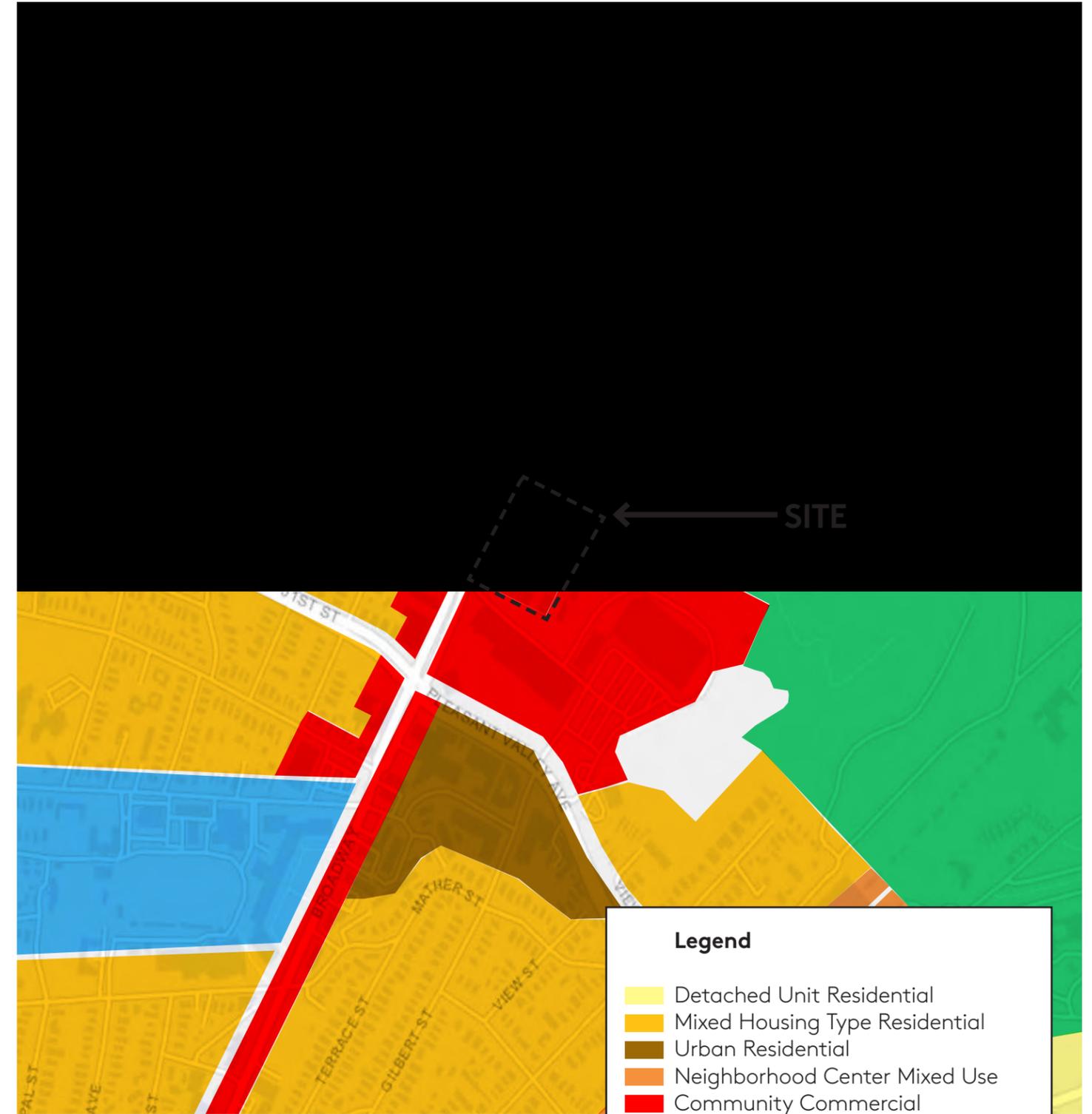


GENERAL PLAN DESIGNATION MAP

EXISTING GENERAL PLAN USE
Institutional



PROPOSED GENERAL PLAN USE
Community Commercial

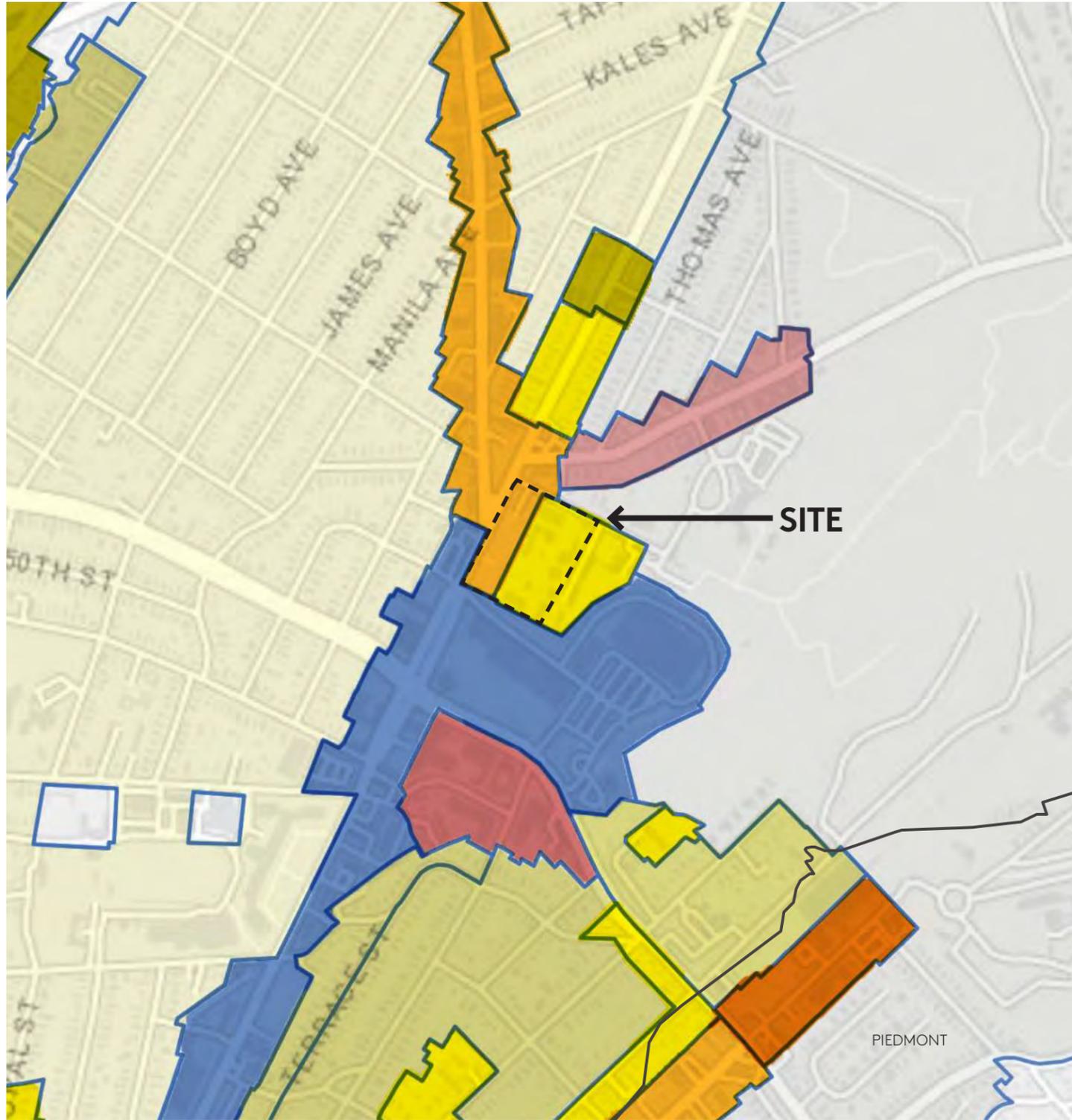


Legend

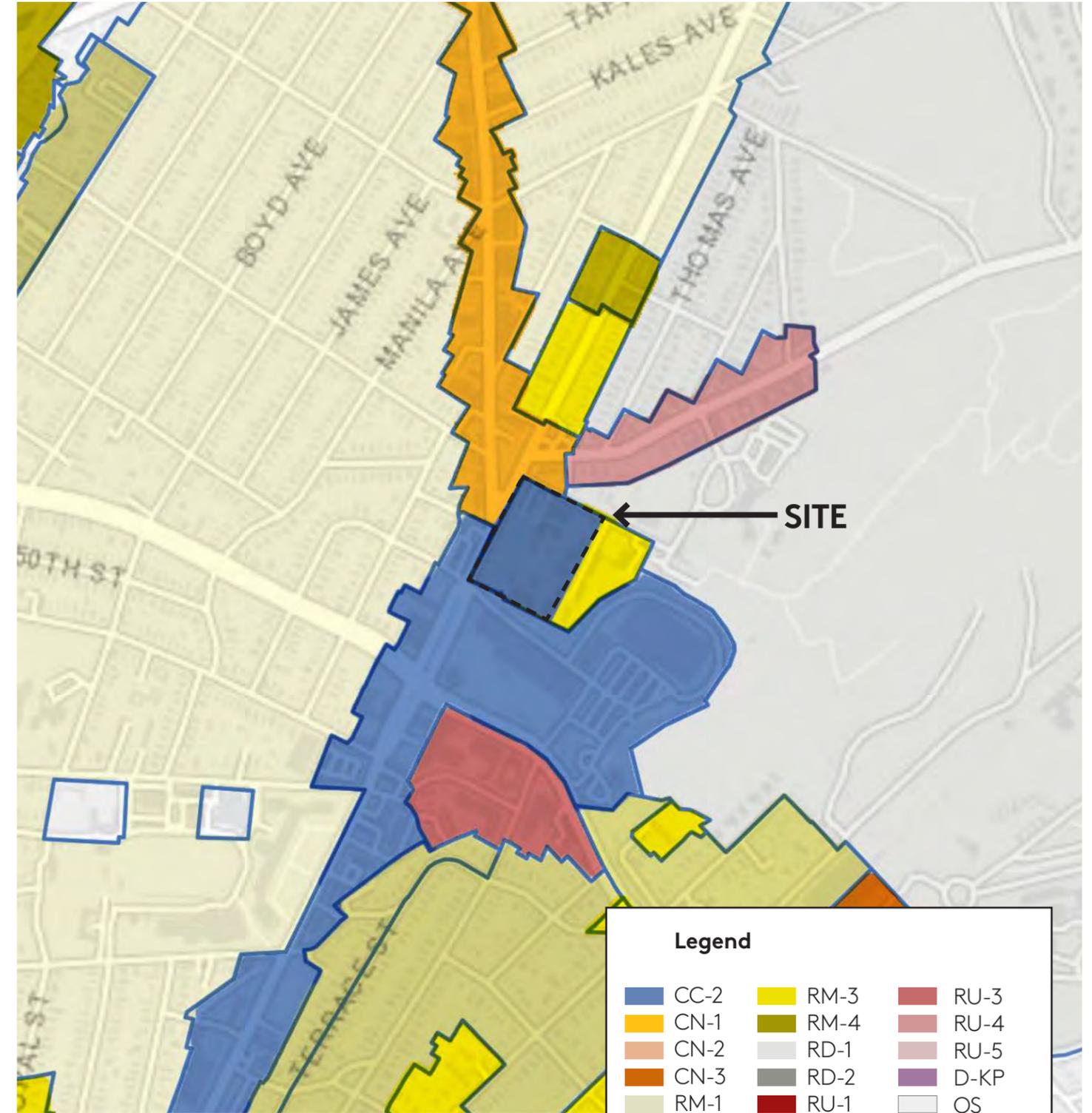
- Detached Unit Residential
- Mixed Housing Type Residential
- Urban Residential
- Neighborhood Center Mixed Use
- Community Commercial
- Institutional

ZONING MAP

CURRENT ZONING
RM-3 AND CN-1



PROPOSED ZONING
CC-2



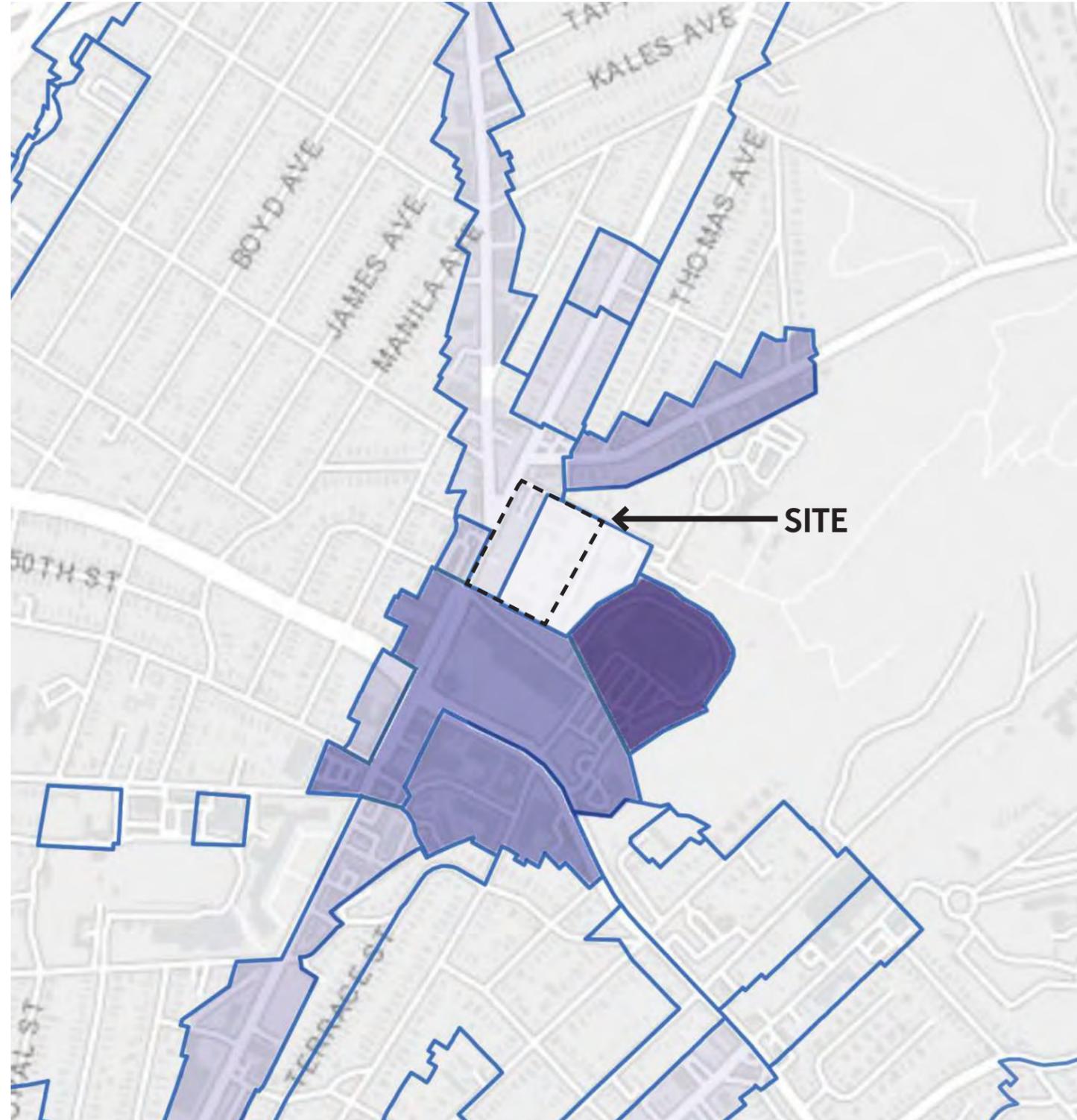
Legend

CC-2	RM-3	RU-3
CN-1	RM-4	RU-4
CN-2	RD-1	RU-5
CN-3	RD-2	D-KP
RM-1	RU-1	OS
RM-2	RU-2	

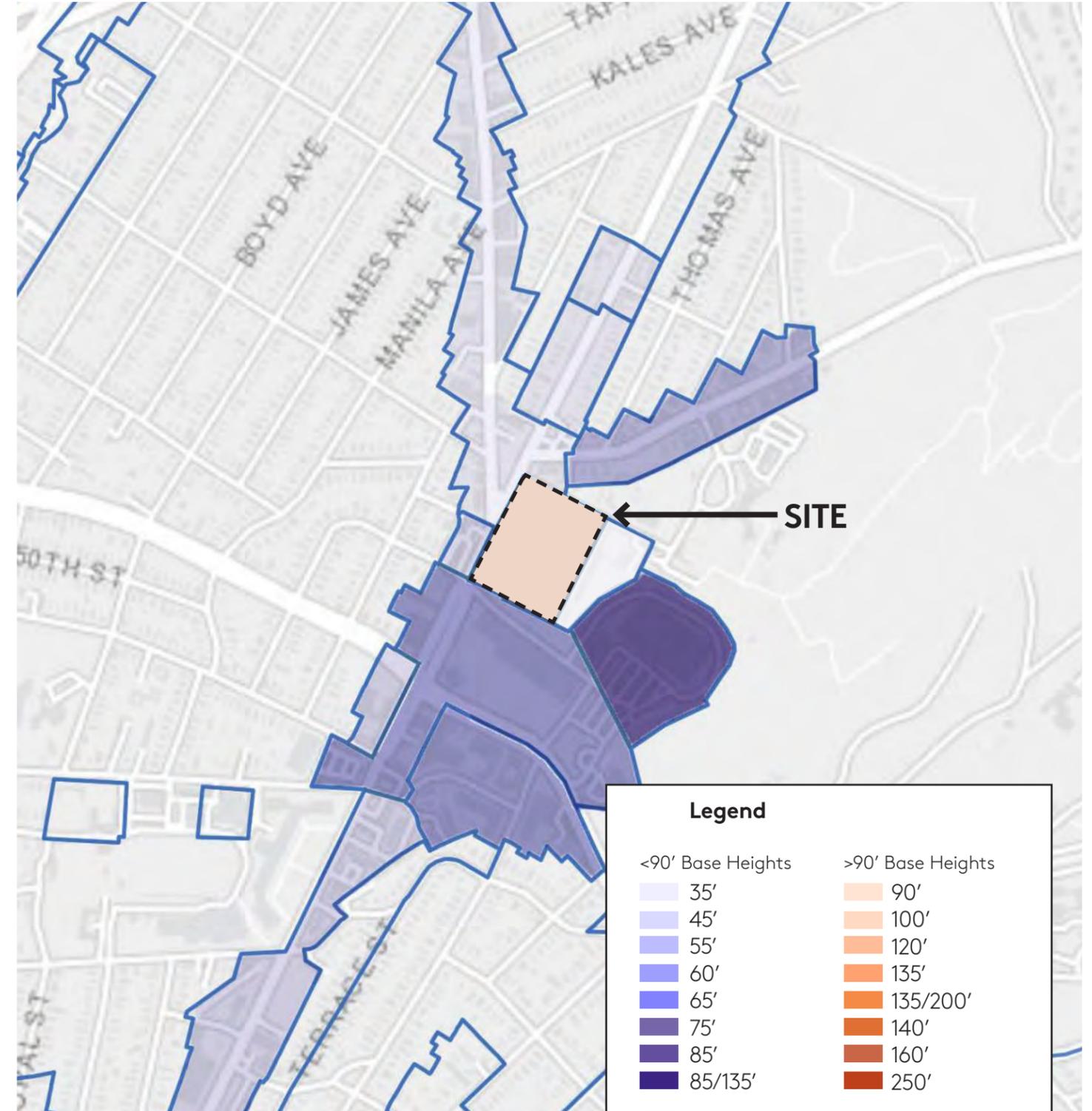


HEIGHT AND AREA BOUNDARY MAP

EXISTING HEIGHT AREA BOUNDARIES



PROPOSED HEIGHT AREA BOUNDARIES



CONTEXT PHOTOS: CCA CAMPUS SITE



01 | Macky Hall, East



04 | Carriage House



06 | Facilities Building on Clifton



09 | Broadway Wall



02 | Macky Hall, West



07 | Macky and Founders Hall



10 | Broadway Gate



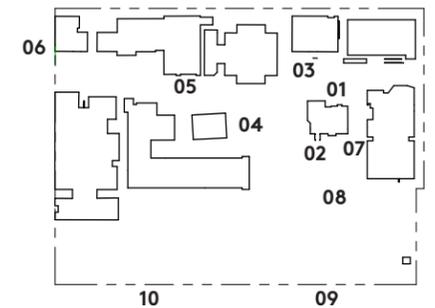
03 | Access East of Macky Hall



05 | Existing Redwoods



08 | Macky Lawn



Existing Site | Key Plan

CONTEXT PHOTOS: CCA SURROUNDINGS



01 | View of Site Across Broadway



04 | Site View from Clifton & Broadway Corner



07 | Merrill Gardens Senior Living on Broadway



10 | CCA Student Housing on Clifton



02 | View of Site and Access Road from Southwest



05 | Broadway Retail, West



08 | College Ave and Broadway Intersection



03 | View of Site and Access Road from Southeast



06 | Existing Housing Complex, East of Site



09 | Future Development Site, South



Key Plan

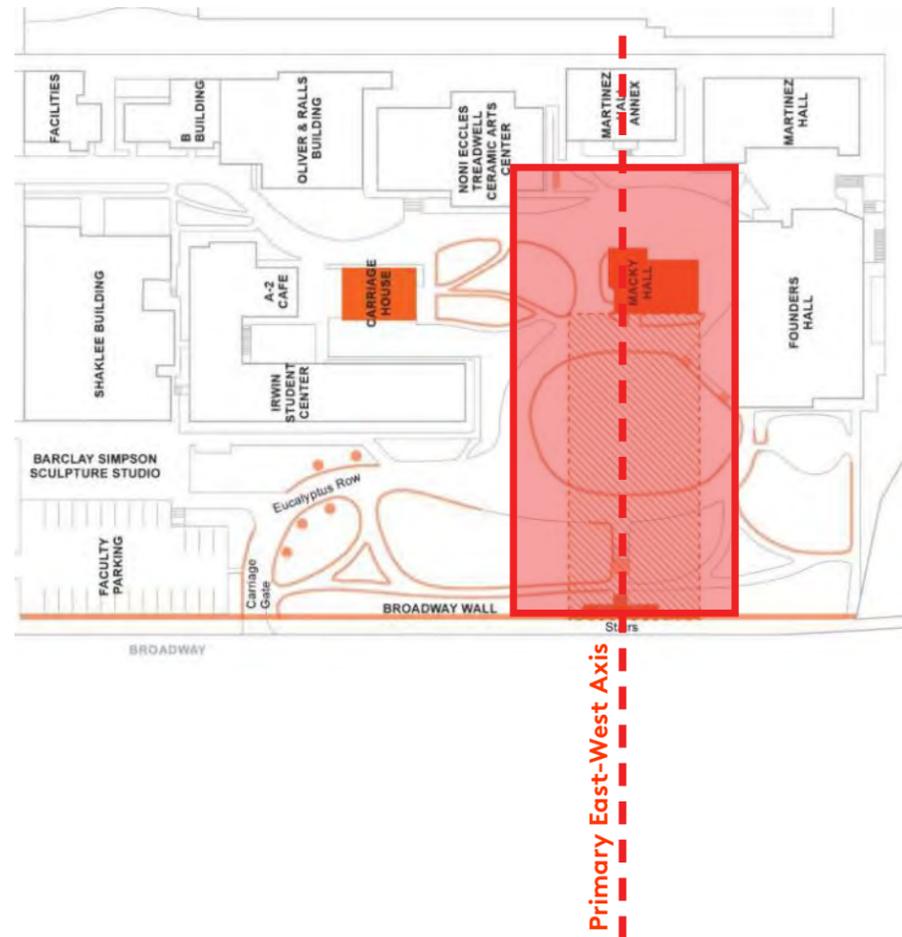
PROJECT SUMMARY

CONTEXT MAP & ADJACENT HEIGHTS

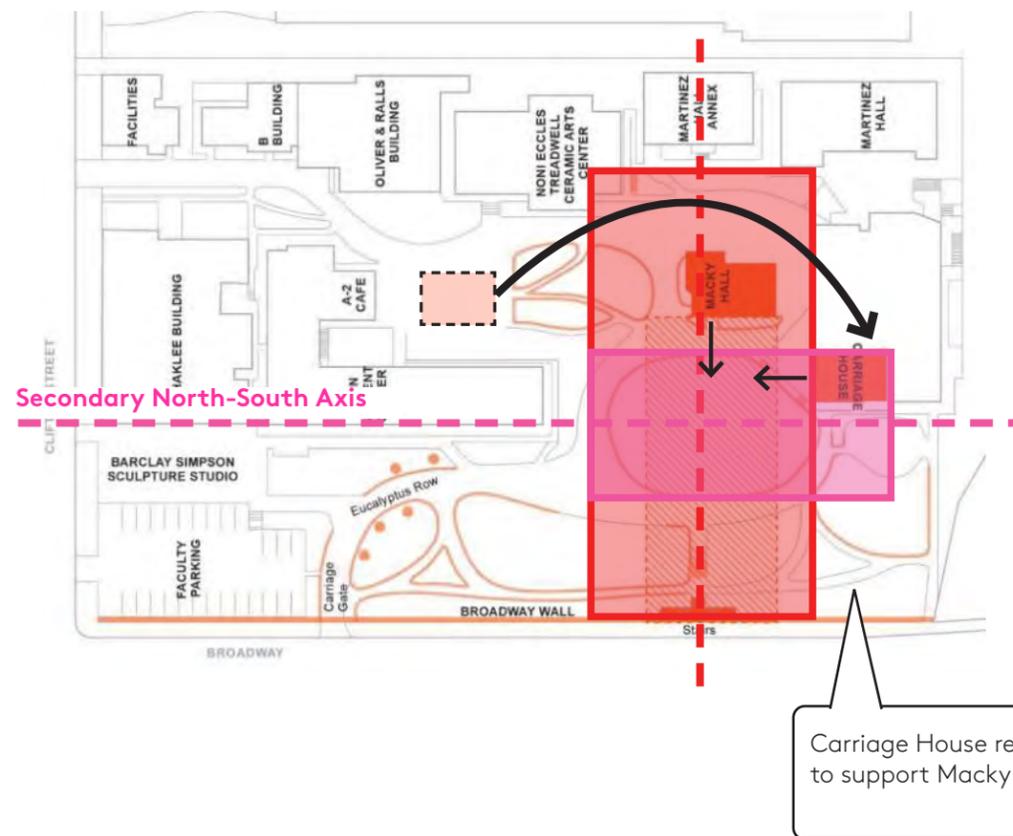


PROJECT CONCEPT OVERVIEW

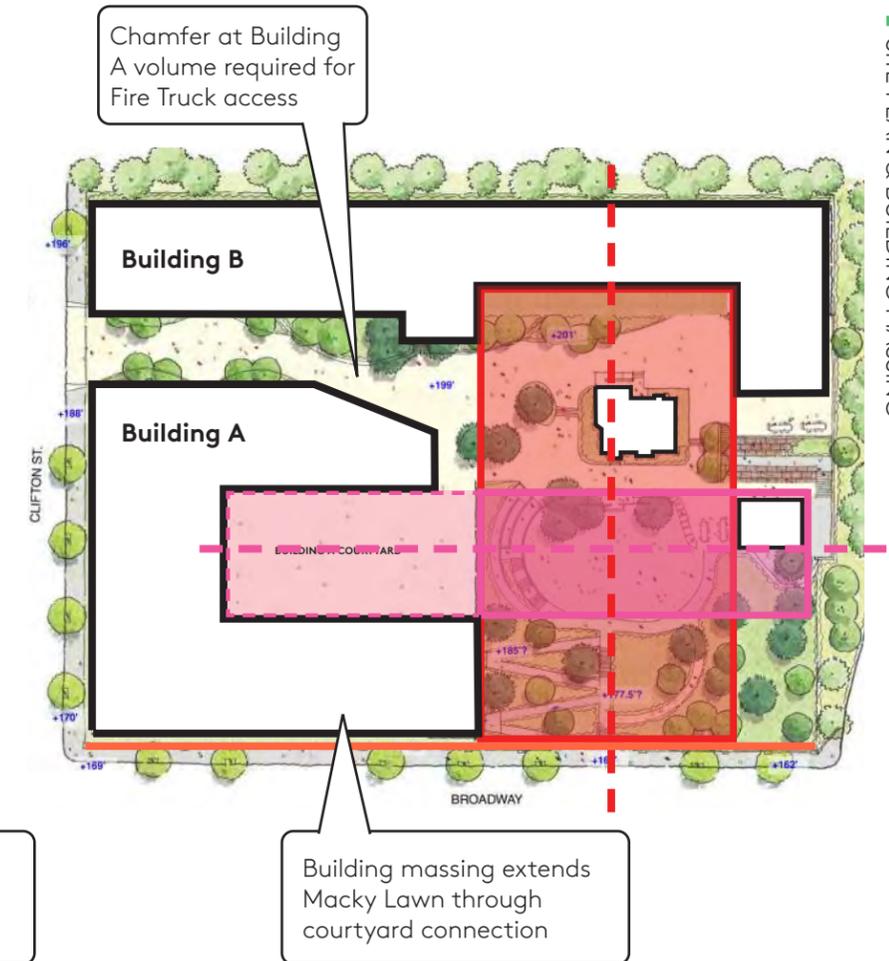
TREADWELL ESTATE / MACKY HALL VIEW CORRIDOR



MACKY LAWN & CARRIAGE HOUSE RELOCATION



BASE SITE PLAN DIAGRAM



PROJECT SUMMARY: AREA & UNIT COUNT

CCA Project Data Summary Dated: 02/17/23

	RESIDENTIAL NET	INTERIOR AMENITY, LOBBY, LEASING NSF	BOH, MECH, CORRIDOR GSF	RESIDENTIAL GSF	EXTERIOR AMENITY & PRIVATE DECKS	PARKING GSF	COMMERCIAL GSF	COMMUNITY SPACE GSF	TOTAL GSF	UNIT COUNT	BUILDING HEIGHT*	VEHICLE PARKING	BICYCLE PARKING**
Floor													
Building A (highrise/current design)	177,691	14,259	56,164	248,114	26,172	31,300	6,631		307,788	229	90' *	237	242
Building B (midrise/current design)	176,593	9,579	44,127	230,299	6,702	10,356			260,242	219	85'	-	230
Macky							7,760		7,760				4
Carriage		1,332		1,332					2,622				
TOTALS	354,284	25,170	100,291	479,745	32,874	41,656	14,391	1,290	578,412	448		237	476

*Refer to Elevational drawings for areas of building height exceedance above 90'.

**Refer to Building Plans for long term bike parking locations. Refer to Site Plan for Short Term bike parking locations.

CCA - UNIT MIX SUMMARY Dated: 01/20/23

	STUDIO	1 JR	1 BR	1 BR D	2 BR E	2 BR	LOFT	TOWNHOUSE	TOTAL
	470SF	550SF	700SF	800SF	950SF	1100SF	1000SF	1400SF	
BUILDING A	27	12	75	22	36	54	1	2	229
BUILDING B	35	0	84	18	12	61	0	9	219
TOTAL	62	12	159	40	48	115	1	11	448
TOTAL UNIT MIX	14%	3%	35%	9%	11%	26%	0%	2%	100%

CCA - OPEN SPACE

Open Space Provided	
POPOS	41,193 SF
Public Plaza	24,892 SF
Group Usable Open Space	18,036 SF
Private Usable Open Space	14,020 SF
Open Space Area Total	98,141 SF
Group Usable Open Space Analysis	
Open Space / Unit (SF)	
Minimum	100 SF / Unit
Substitution of Private Space for Group Space*	
*Per Table 17.35.04	
	Units Area Required
100 SF / Unit	448 44,800 SF
Private Open Space Substitution (x2)	-28,040 SF
TOTAL GROUP USABLE OPEN SPACE REQUIRED	16,760 SF
TOTAL GROUP USABLE OPEN SPACE PROVIDED	18,036 SF

SUMMARY: VEHICLE PARKING, BIKE PARKING, DENSITY, SITE COVERAGE

VEHICLE PARKING - Residential				
Required Residential Parking*				
*Per Oakland Planning Code Section 17.117.060				
Base Calculation for Residential Parking				
Per OPC 17.116.060.A.1 Minimum Required Parking: One (1) space per dwelling unit				
Per OPC 17.116.110.B.1 Affordable Housing Reduction: One-half (½) space per affordable housing unit if within a Transit Accessible Area				
Standard Parking Spaces				
		Market Rate	Affordable	Total
		1 space per dwelling unit	.5 space per dwelling unit	
	Units			
Building A				
Market Rate	206	206		
Affordable	23		12	
Subtotal - Building A				218
Building B				
Market Rate	197	197		
Affordable	22		11	
Subtotal - Building B				208
Subtotal	448	403	23	
Total Required Residential Spaces (Base Calculation)				426
Reduction - Transit Accessible Area (30% Reduction)				
Per OPC 17.116.060.C.1: Transit Accessible Areas. A project that is within a Transit Accessible Area receives a thirty percent (30%) reduction in the parking requirement. This reduction cannot be applied to the parking ratio for affordable housing that already receives a reduction under B.1 Transit Accessible Areas. A project that is within a Transit Accessible Area receives a thirty percent (30%) reduction in the parking requirement. This reduction cannot be applied to the parking ratio for affordable housing that already receives a reduction under B.1., above.				
Reduction - On Site Public or Private Car Share (20% Reduction)				
Per OPC 17.116.110.C.2.A - The provision of on-site car-share spaces at the level and standards described in the table below reduces the parking requirement by twenty percent (20%).				
		Parking Reductions		
		Market Rate	Affordable	
Total Project Parking - Base		403	23	
Total Reduction				
Transit + Car Share 50%		202		
Car Share Only 20%			18	
Total Required Residential Spaces with Reductions				220

VEHICLE PARKING - Commercial				
Required Commercial Parking*				
*Per Oakland Planning Code Section 17.117.110				
Existing Parking - Proportionality Factor				
		Existing Site Condition		
		Parking Spaces	Building Area (sf)	
		41	78,672	
Existing Parking Ratio (sf / existing parking)				1919
Proposed Parking				
Historic re-use				
per OPC 17.116.110.F				
		Area (sf)		
Macky Hall		7,760		
Carriage House		2,622		
	Total	10,382		
Proposed Parking (retained area / existing parking ratio)				6
New Commercial				
per OPC 17.116.080				
1 space per 600 sf at the ground floor				
Building A		6,982		11
Total Required Commercial				17
Total Required Parking Spaces				237
Total Provided Parking Spaces				237

BICYCLE PARKING				
Required Residential Bicycle Parking*				
*Per Oakland Planning Code Section 17.117.090				
		Long Term	Short Term	Total
		1 space per 4 dwelling units	1 space per 20 dwelling units	
OPC Min. Required	Units			
Building A	229	58	11	69
Building B	219	55	11	66
Total Required Residential		113	25	138
Required Commercial Bicycle Parking*				
*Per Oakland Planning Code Section 17.117.110				
		Long Term	Short Term	Total
		1 space per 10,000 SF (2 min)	1 space per 20,000 SF (2 min)	
OPC Min. Required	Area (SF)			
Building A	6,982	2	2	4
Building B	N/A	0	0	0
Macky Hall	7,760	2	2	4
Carriage House	2,622	TBD	TBD	0
Total Required Commercial		4	4	8
Total Required Bicycle Parking Spaces				146
Provided Bicycle Parking				
Building A		229	13	242
Building B		219	11	230
Macky Hall			4	4
Total Provided Bicycle Parking Spaces				476
Definitions				
Oakland Planning Code Section 17.117.050	<p>Long-term Bicycle Parking: Each long-term bicycle parking space shall consist of a locker or locked enclosure providing protection for each bicycle from theft, vandalism and weather. Long-term bicycle parking is meant to accommodate employees, students, residents, commuters, and others expected to park more than two hours.</p> <p>Short-term Bicycle Parking: Short-term bicycle parking shall consist of a bicycle rack or racks and is meant to accommodate visitors, customers, messengers, and others expected to park not more than two hours.</p>			

MAXIMUM RESIDENTIAL DENSITY	
Maximum Residential Density*	
*Per Section 17.74.120	
Permitted Density:	
One dwelling unit per 209 square feet of lot area	
CCA Site Area	171,942 SF
Less	
POPOS Area	- 41,193 SF
Public Plaza	- 16,240 SF
Density Site Area	114,509 SF
Maximum	547.9 Units
(Density Site Area / Permitted Density)	
Provided	448 Units

SITE COVERAGE	
CCA Site Area (SF)	171,942 SF
Building A	50,448 SF
Building B	36,600 SF
Building Footprint (new)	87,048 SF
Macky Hall (existing)	2,083 SF
Carriage House (existing)	1,409 SF
Building Footprint (existing)	3,492 SF
Total Building Footprint	90,540 SF
Site Coverage	53%

ZONING COMPLIANCE

CCA ZONING COMPLIANCE			
Code Compliance for CC-2 Zone, Height Area 90 (From OPC Table 17.35.04)			
	CC-2 REQUIREMENT	PROJECT	COMPLIANT?
Permitted Height Maximum	90'	85' - 90'	PUD Exemption*
Maximum Residential Density			
<i>Net SF of Site Area per Dwelling Unit</i>	209	241	YES
Maximum Non-residential FAR	4.5	0.08	YES
Maximum Number of Stories	8	10 (A) / 8 (B)	PUD Exemption
Code Compliance for Section 17.108.120 - Minimum court between opposite walls on same lot.			
Living Room Windows	16' separation, plus 4' for each story about the level of the court, but not greater than 40' sep	16' or greater (See Diagram)	YES
Other Habitable Room Windows	10' separation	10' or greater (See Diagram)	YES

* See height diagrams on following pages for areas of building that exceed 90'.

ADDITIONAL DETAIL, SECTION 17.108.120

Minimum court between opposite walls on same lot.

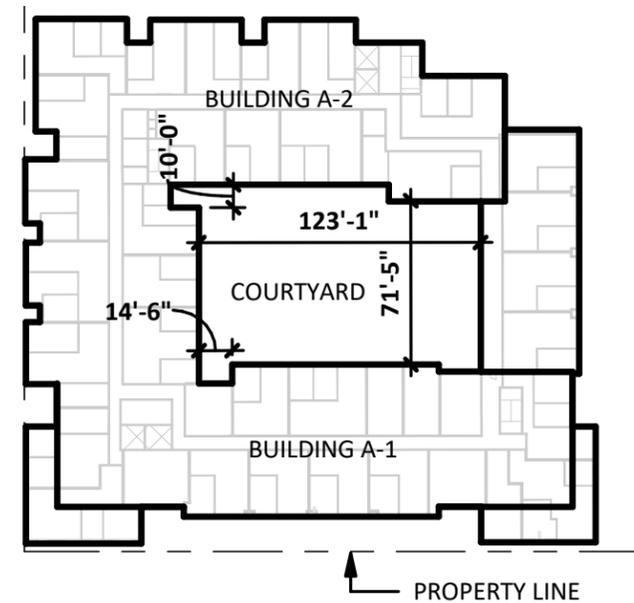
On each lot containing Residential Facilities with a total of two (2) or more living units, except in the case of a One-Family Dwelling with Secondary Unit, courts with the minimum depths prescribed hereinafter between opposite exterior walls, or portions thereof, of the same or separate buildings on such lot. Courts are not required on other lots or in other situations. The aforesaid walls shall be considered to be opposite one another if a line drawn in a horizontal plane perpendicularly from any portion of any of the legally required windows referred to hereinafter, or from any point along the wall containing such window, or any extension of such wall on the same lot, on the same story as and within eight (8) feet in either direction from the centerline of said legally required window, intersects the other wall. The courts required by this Section shall be provided opposite each of the legally required windows referred to hereinafter and along the wall containing such window, and along

any extension of such wall on the same lot, for not less than eight (8) feet in both directions from the center line of such legally required window, and at and above finished grade or the floor level of the lowest story containing such a window, whichever level is higher.

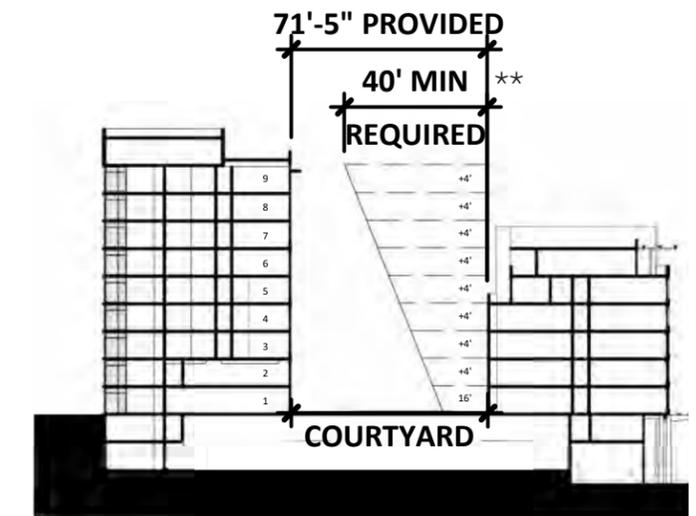
A. Legally Required Living Room Windows in Either or Both Walls. If either or both such opposite walls contain any legally required window of any living room in a Residential Facility, a court shall be provided between such walls with a minimum horizontal depth equal to sixteen (16) feet, plus four (4) feet for each story above the level of the aforementioned court, but shall not be required to exceed forty (40) feet.

B. Other Legally Required Windows in Both Walls. If both such opposite walls contain legally required windows of any habitable rooms, other than living rooms, in a Residential Facility, a court shall be provided between such walls with a minimum horizontal depth of ten (10) feet.

SECTION 17.108.120 COMPLIANCE DIAGRAM



Plan Diagram



** Per code, requirement is not greater than 40'.

Section Diagram

PUD BONUS EXCEPTION - BUILDING HEIGHT 90' EXCEEDANCE

HEIGHT DIAGRAMS FOR ROOF AREAS ABOVE 90' : BUILDING A



ELEVATION - BUILDING A EAST
1" = 40'-0"

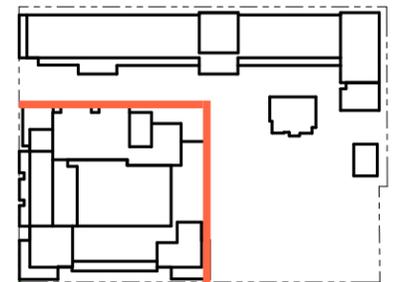


ELEVATION - BUILDING A SOUTH
1" = 40'-0"

LEGEND

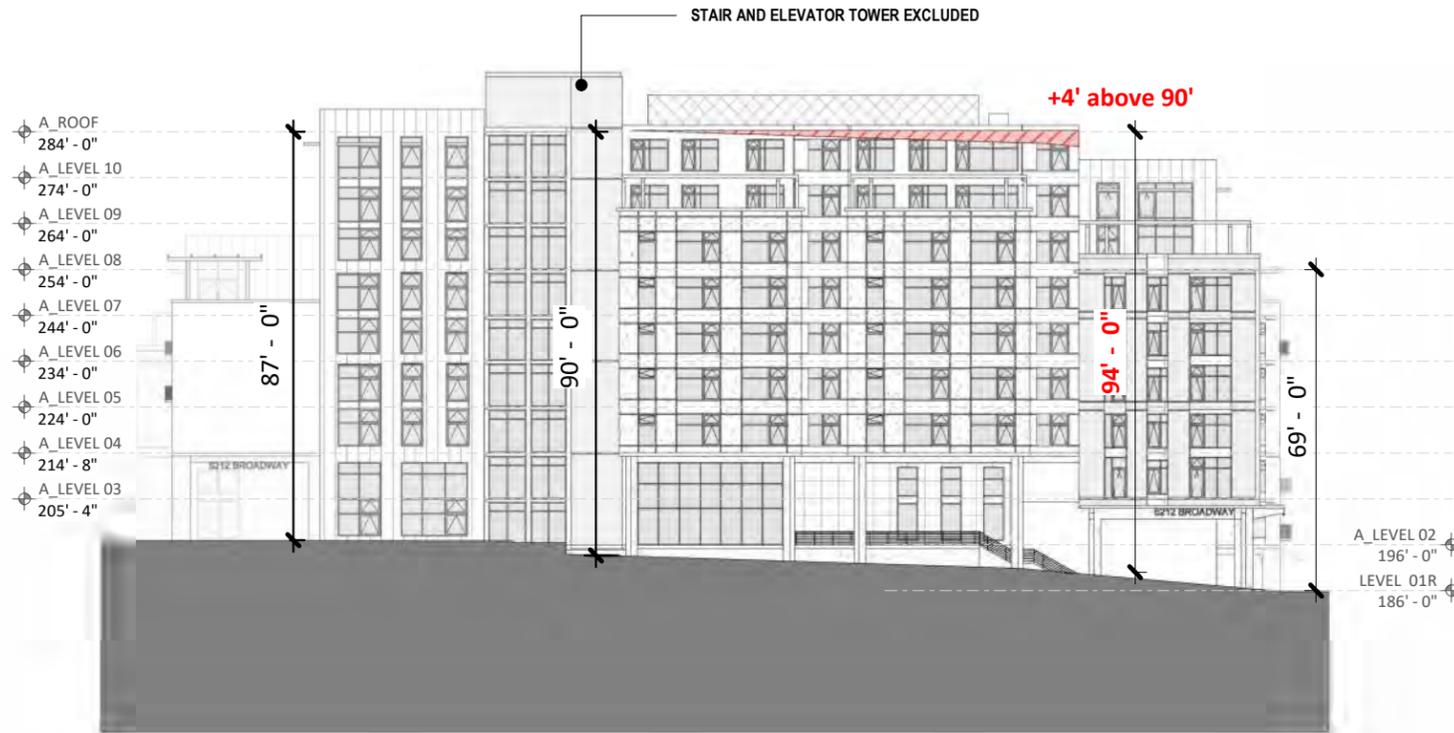
XX' - X" MEASUREMENTS TO TOP OF ROOF FROM ADJACENT GRADE EXCEEDING 90'

 PORTIONS OF ROOF ABOVE 90' FROM ADJACENT GRADE



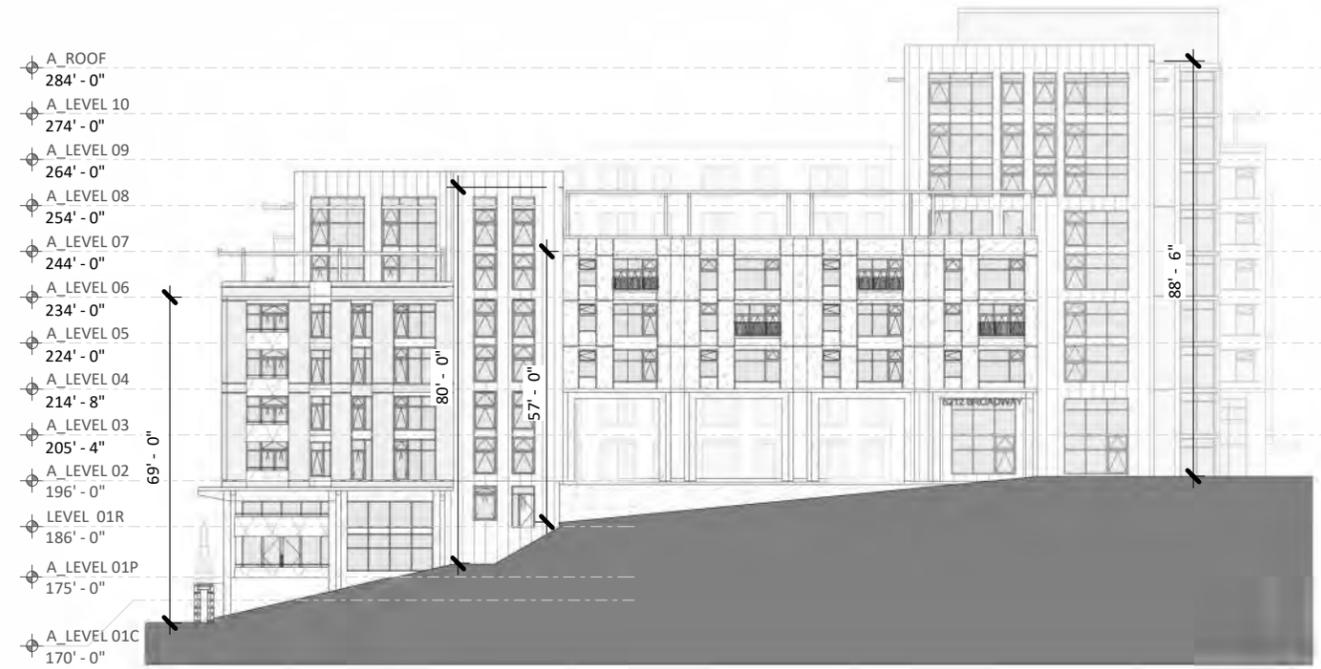
PUD BONUS EXCEPTION - BUILDING HEIGHT 90' EXCEEDANCE

HEIGHT DIAGRAMS FOR ROOF AREAS ABOVE 90' : BUILDING A



ELEVATION - BUILDING A EAST

1" = 40'-0"



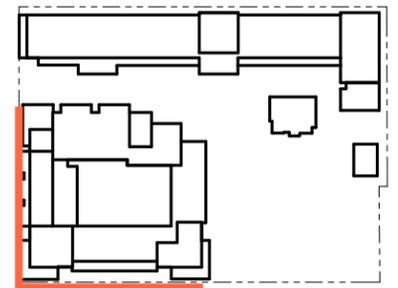
ELEVATION - BUILDING A SOUTH

1" = 40'-0"

LEGEND

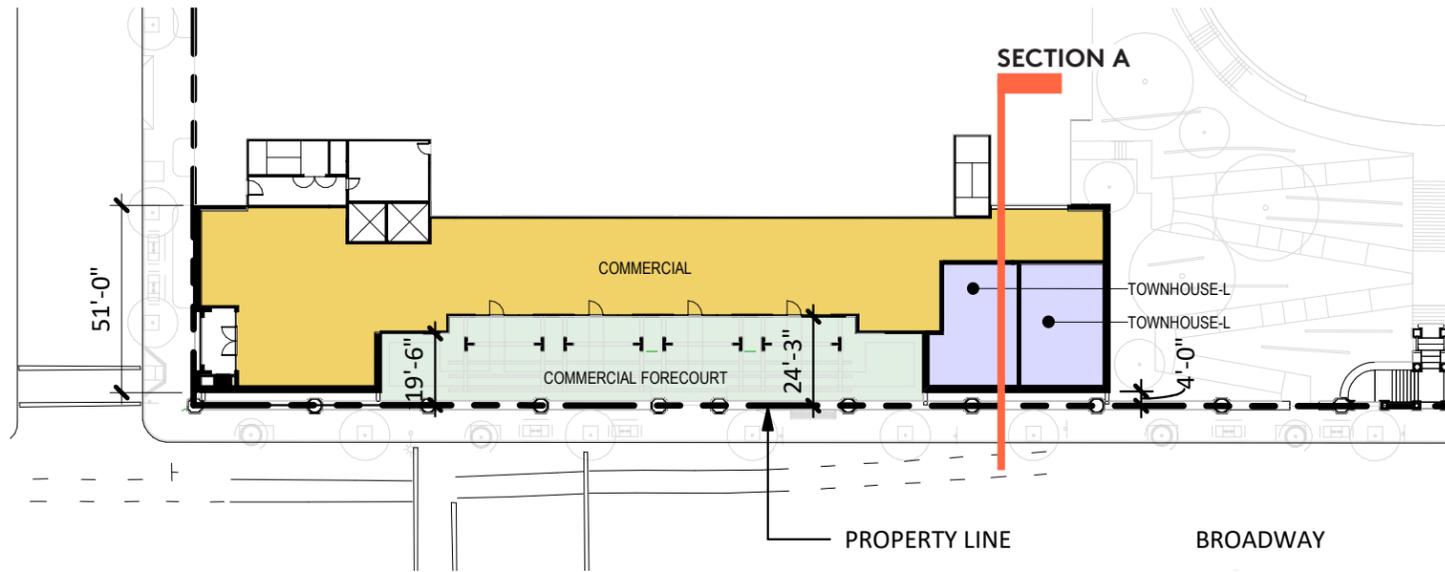
XX' - X" MEASUREMENTS TO TOP OF ROOF FROM ADJACENT GRADE EXCEEDING 90'

 PORTIONS OF ROOF ABOVE 90' FROM ADJACENT GRADE

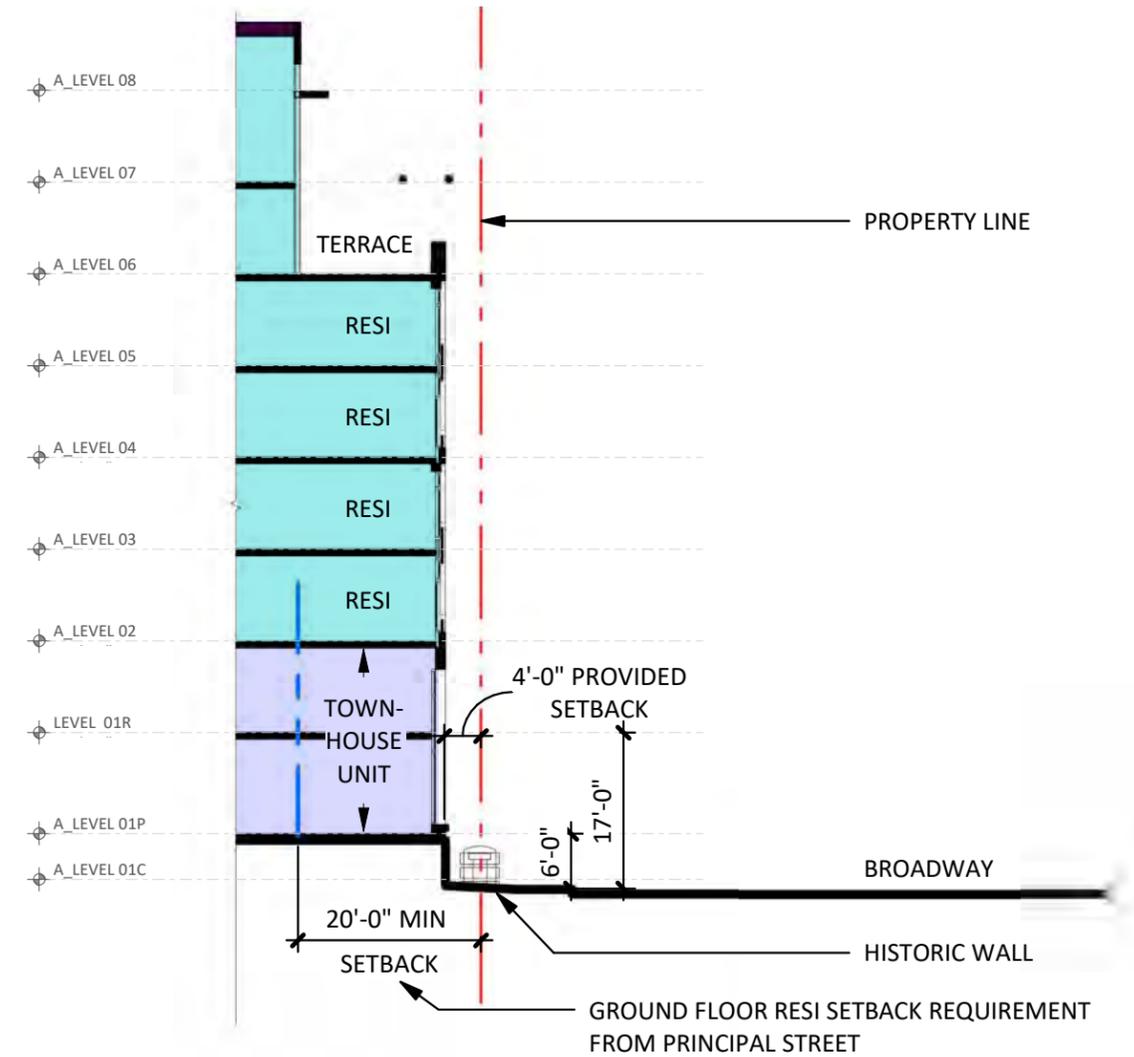


PUD BONUS EXCEPTION - MINIMUM GROUND FLOOR RESIDENTIAL DISTANCE FROM PRINCIPAL STREET

TABLE 17.35.02 NOTE L3(A)



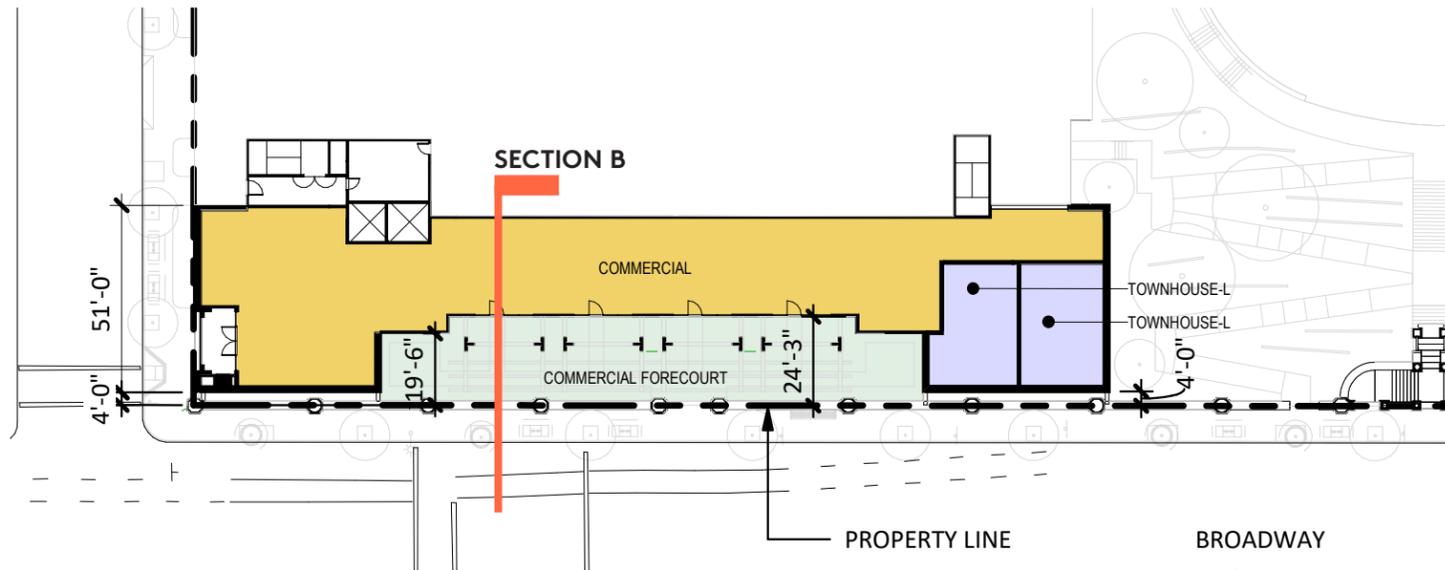
PLAN
SCALE: 1" = 50'



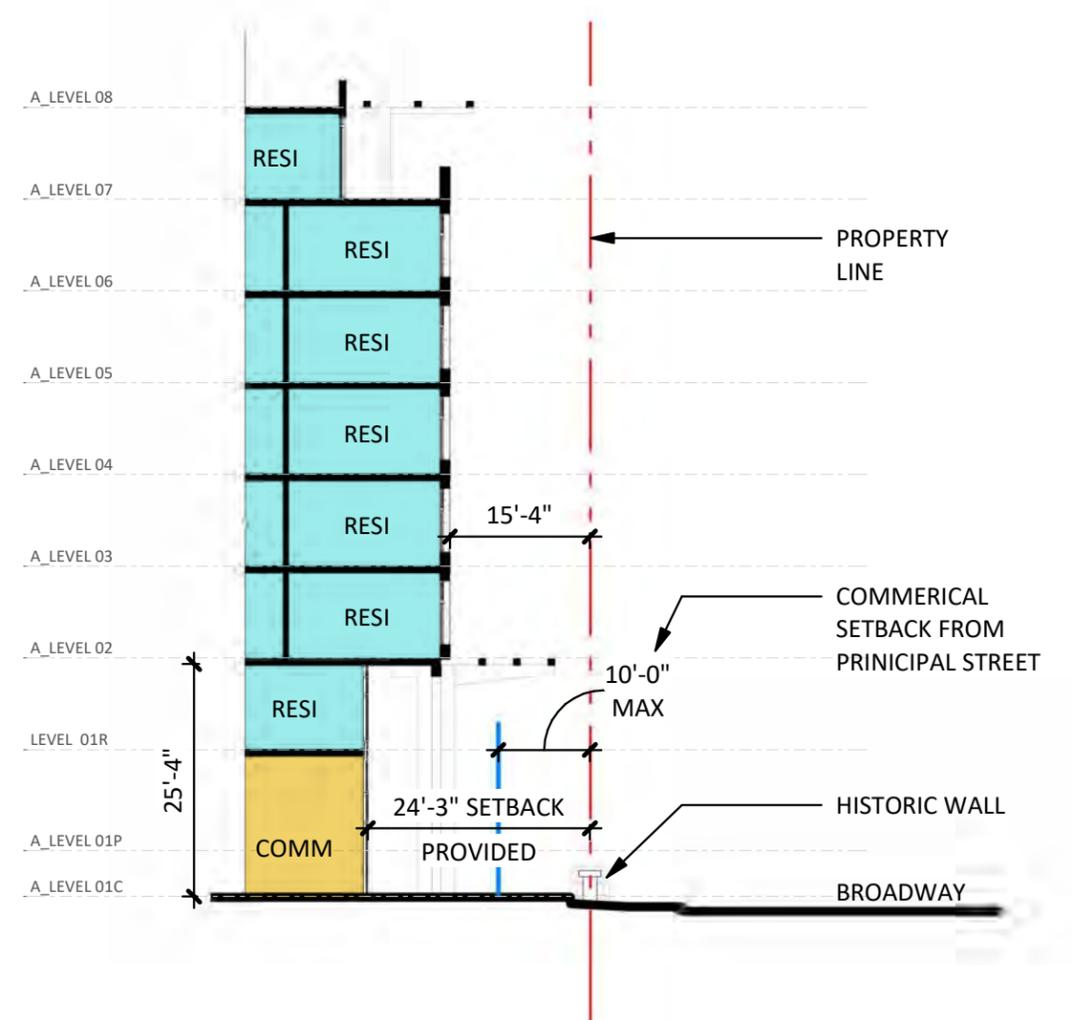
SECTION A: SETBACK DIAGRAM
SCALE: 1" = 20'

PUD BONUS EXCEPTION - MAXIMUM COMMERCIAL SETBACK FROM PRINCIPAL STREET

TABLE 17.35.03



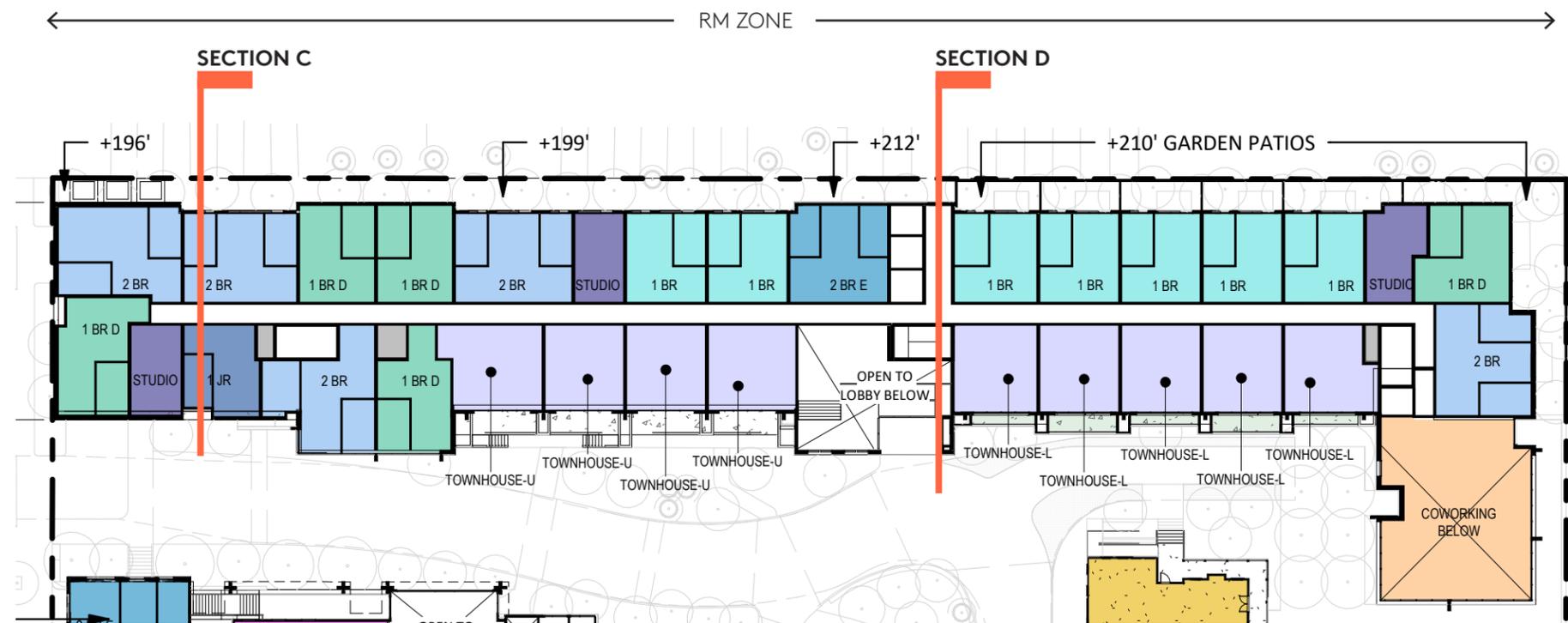
PLAN
SCALE: 1" = 50'



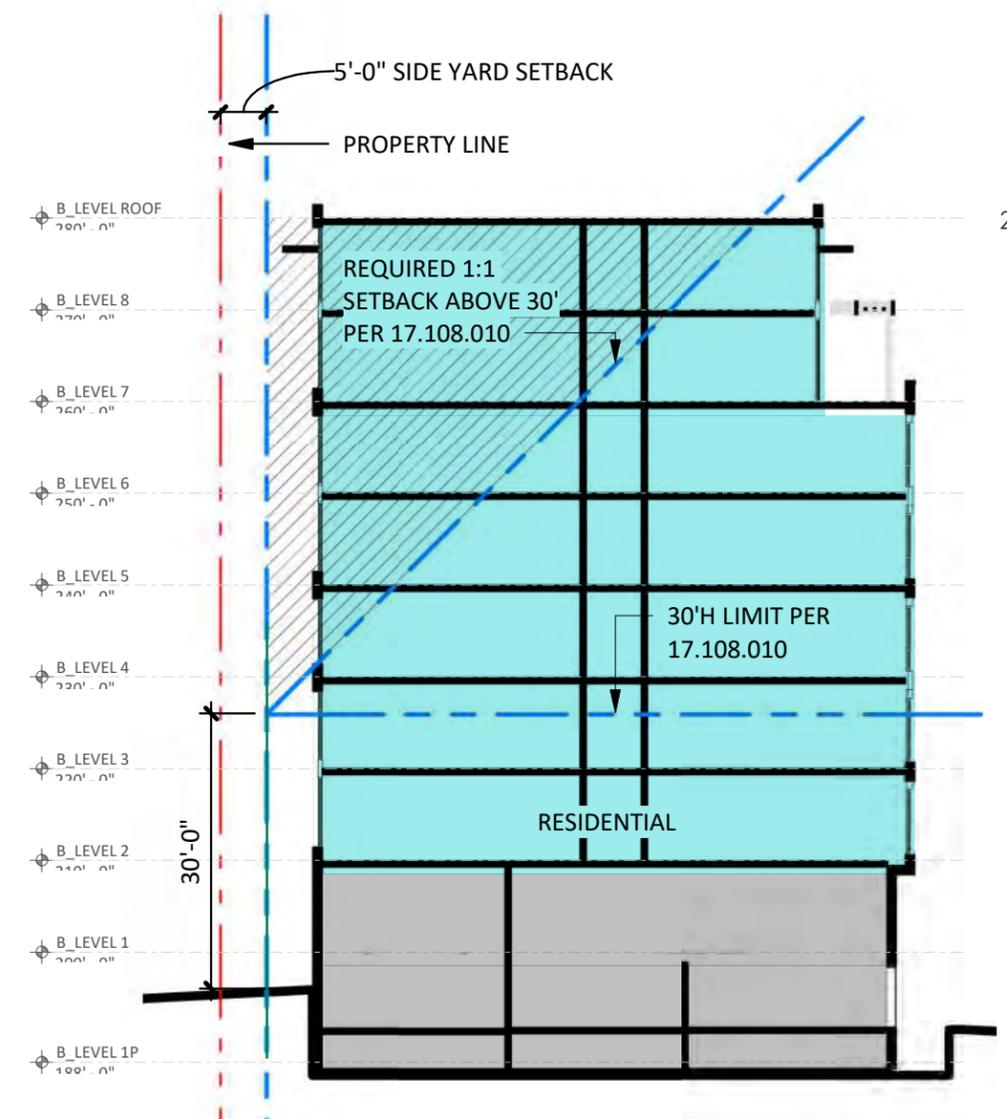
SECTION B: SETBACK DIAGRAM
SCALE: 1" = 20'

PUD BONUS EXCEPTION - HEIGHT RESTRICTIONS ON LOTS ABUTTING RM ZONE

SECTION 17.108.010



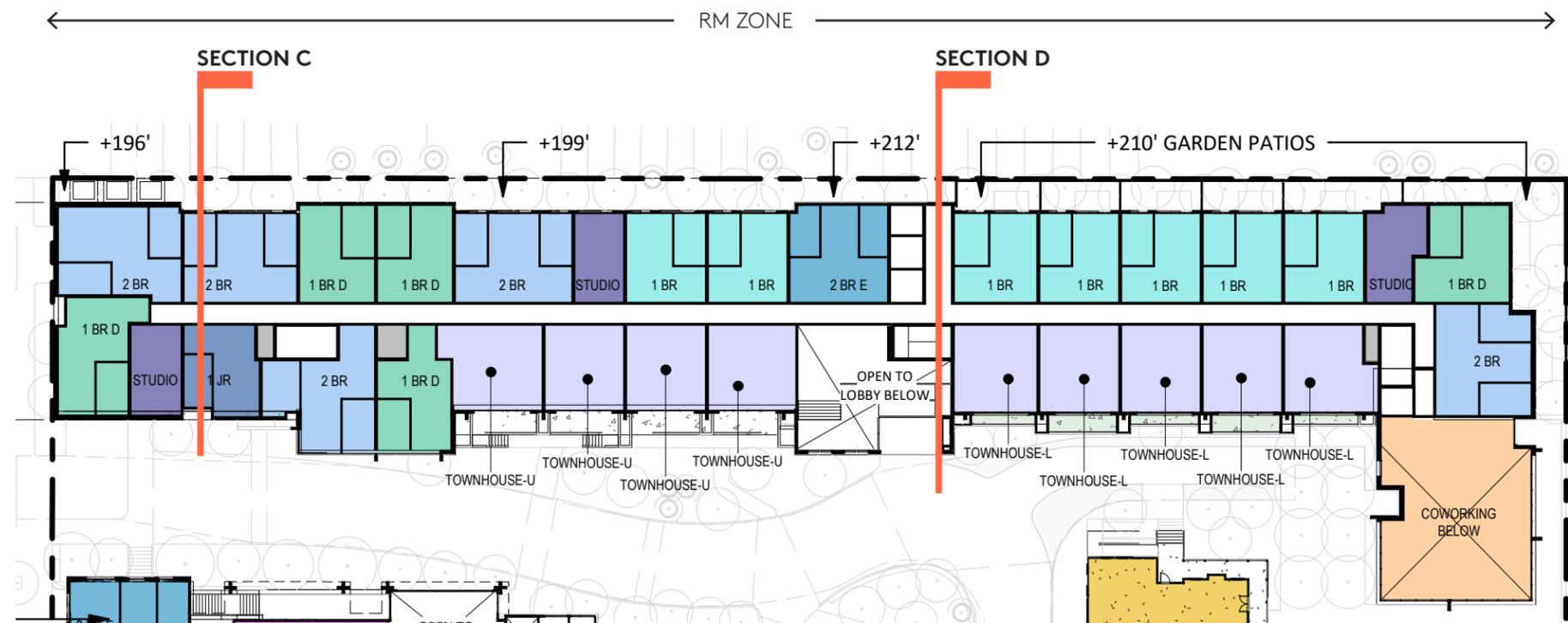
PLAN
SCALE: 1" = 50'



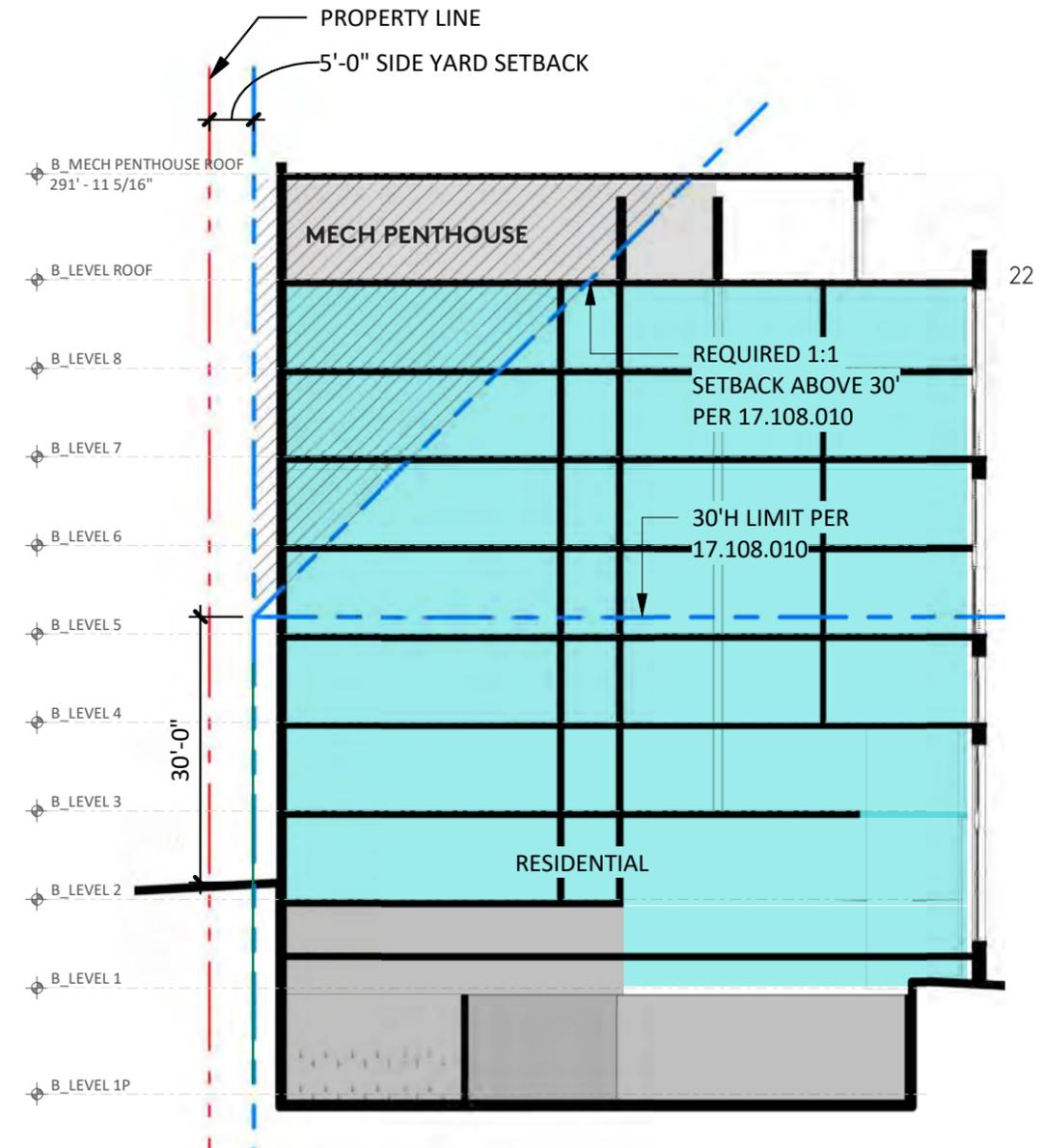
SECTION C: SETBACK DIAGRAM
SCALE: 1" = 20'

PUD BONUS EXCEPTION - HEIGHT RESTRICTIONS ON LOTS ABUTTING RM ZONE

SECTION 17.108.010

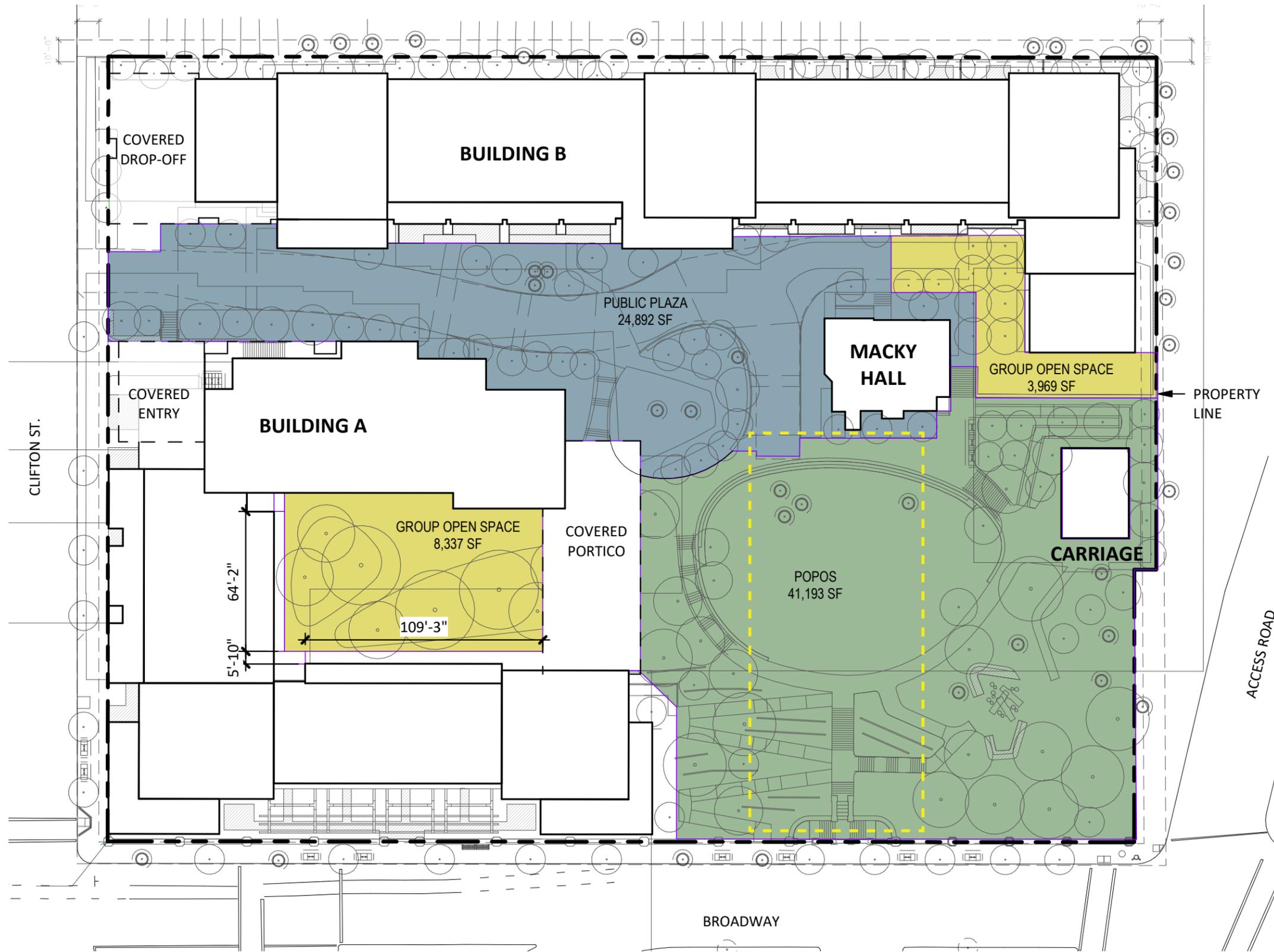


PLAN
SCALE: 1" = 50'



SECTION D: SETBACK DIAGRAM
SCALE: 1" = 20'

PROJECT DATA SUMMARY: OPEN SPACE

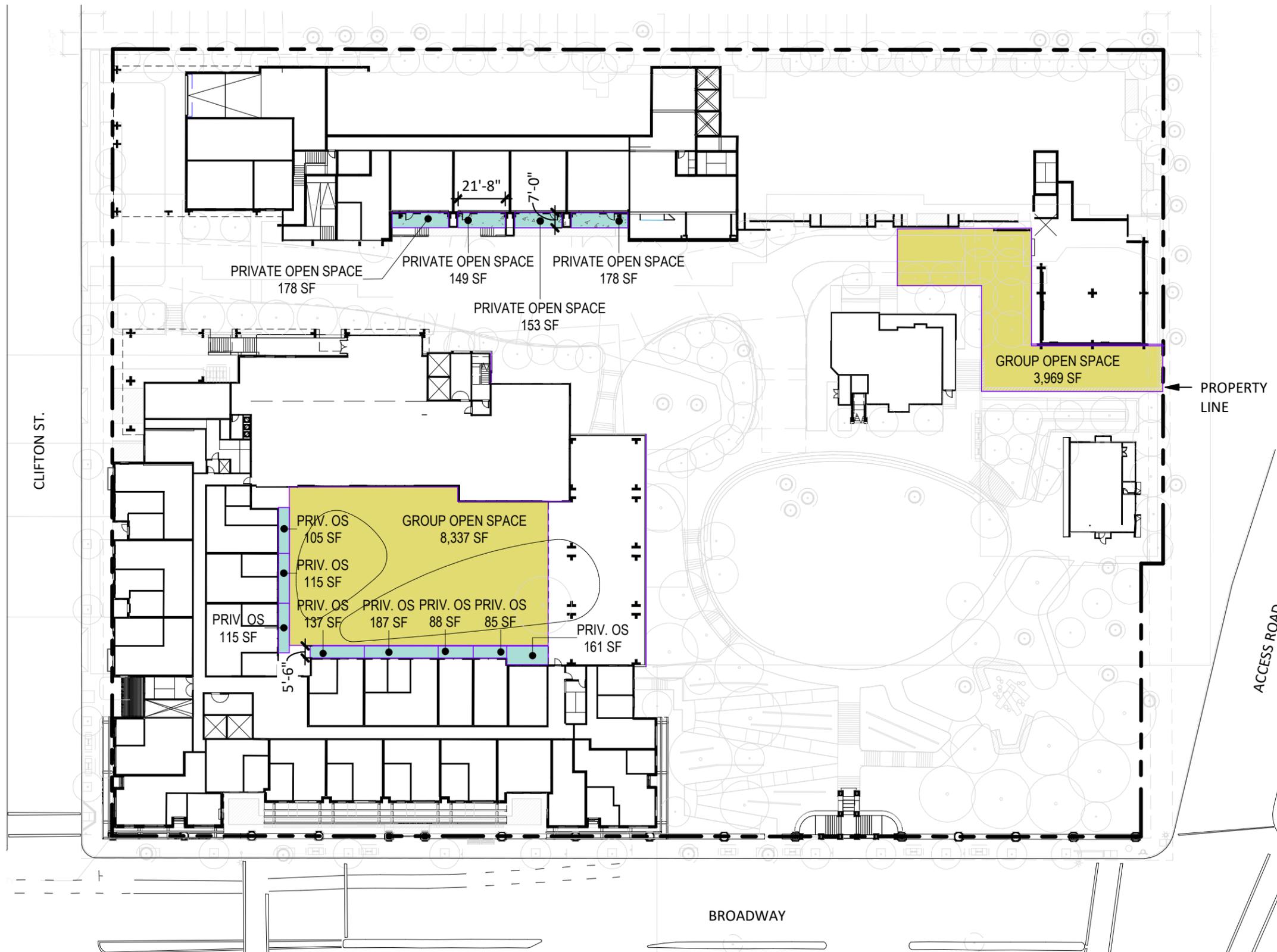


CCA - OPEN SPACE	
Open Space Provided	
POPOS	41,193 SF
Public Plaza	24,892 SF
Group Usable Open Space	18,036 SF
Private Usable Open Space	14,020 SF
Open Space Area Total	98,141 SF
Group Usable Open Space Analysis	
Open Space / Unit (SF)	
Minimum	100 SF / Unit
Substitution of Private Space for Group Space* <i>*Per Table 17.35.04</i>	
	Units Area Required
100 SF / Unit	448 44,800 SF
Private Open Space Substitution (x2)	-28,040 SF
TOTAL GROUP USABLE OPEN SPACE REQUIRED	16,760 SF
TOTAL GROUP USABLE OPEN SPACE PROVIDED	18,036 SF

- LEGEND**
- PUBLIC PLAZA
 - POPOS
 - GROUP OPEN SPACE
 - PRIVATE OPEN SPACE
 - VIEW CORRIDOR



PROJECT DATA SUMMARY: PRIVATE OPEN SPACE A-02 / B-01

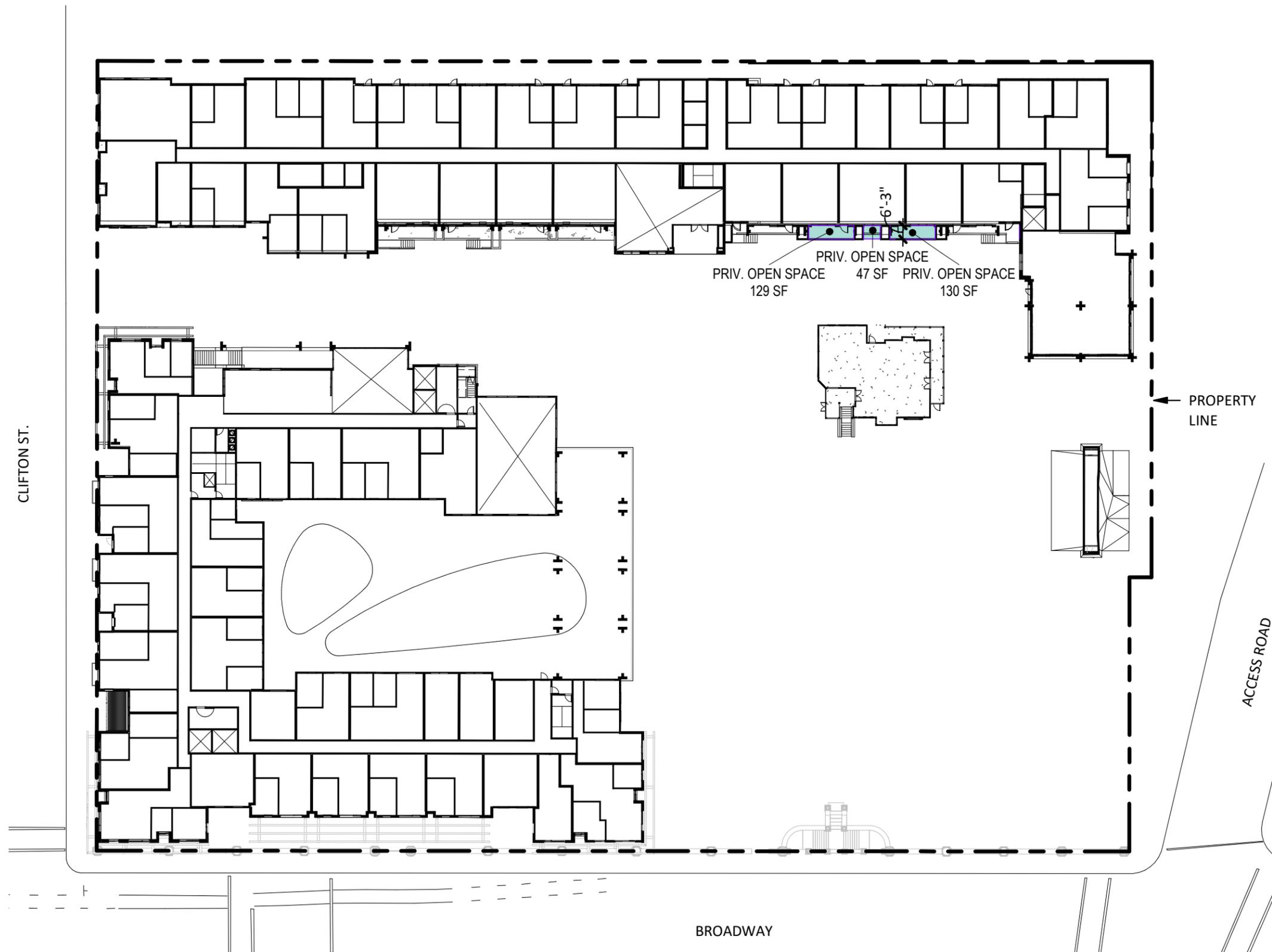


CCA - OPEN SPACE PROVIDED		
POPOS		
GROUND LEVEL		41,193 SF
GROUP USABLE OPEN SPACE		
GROUND LEVEL - GROUP (COURTYARD)	8,337	
GROUND LEVEL - GROUP (AMENITY)	3,969	
LEVEL B04 - GROUP (RESIDENT DECK)	1,783	
LEVEL A07 - GROUP (RESIDENT DECK)	3,947	
<i>Group Usable Open Space Total</i>		18,036 SF
PRIVATE USABLE OPEN SPACE		
BUILDING A		
LEVEL A-01	0	
LEVEL A-02	993	
LEVEL A-03	0	
LEVEL A-04	0	
LEVEL A-05	0	
LEVEL A-06	2,851	
LEVEL A-07	2,444	
LEVEL A-08	1,067	
LEVEL A-09	654	
LEVEL A-10	0	
BUILDING B		
LEVEL B-01	658	
LEVEL B-02	306	
LEVEL B-03	0	
LEVEL B-04	0	
LEVEL B-05	0	
LEVEL B-06	0	
LEVEL B-07	2,450	
LEVEL B-08	2,597	
		14,020 SF

See Page 34 for open space detail summary.



PROJECT DATA SUMMARY: PRIVATE OPEN SPACE A-03 / B-02



CCA - OPEN SPACE PROVIDED	
POPOS	
GROUND LEVEL	41,193 SF
GROUP USABLE OPEN SPACE	
GROUND LEVEL - GROUP (COURTYARD)	8,337
GROUND LEVEL - GROUP (AMENITY)	3,969
LEVEL B04 - GROUP (RESIDENT DECK)	1,783
LEVEL A07 - GROUP (RESIDENT DECK)	3,947
<i>Group Usable Open Space Total</i>	
	18,036 SF
PRIVATE USABLE OPEN SPACE	
BUILDING A	
LEVEL A-01	0
LEVEL A-02	993
LEVEL A-03	0
LEVEL A-04	0
LEVEL A-05	0
LEVEL A-06	2,851
LEVEL A-07	2,444
LEVEL A-08	1,067
LEVEL A-09	654
LEVEL A-10	0
BUILDING B	
LEVEL B-01	658
LEVEL B-02	306
LEVEL B-03	0
LEVEL B-04	0
LEVEL B-05	0
LEVEL B-06	0
LEVEL B-07	2,450
LEVEL B-08	2,597
14,020 SF	

See Page 34 for open space detail summary.

PROJECT DATA SUMMARY: PRIVATE OPEN SPACE A-05 / B-04



CCA - OPEN SPACE PROVIDED	
POPOS	
GROUND LEVEL	41,193 SF
GROUP USABLE OPEN SPACE	
GROUND LEVEL - GROUP (COURTYARD)	8,337
GROUND LEVEL - GROUP (AMENITY)	3,969
LEVEL B04 - GROUP (RESIDENT DECK)	1,783
LEVEL A07 - GROUP (RESIDENT DECK)	3,947
<i>Group Usable Open Space Total</i> 18,036 SF	
PRIVATE USABLE OPEN SPACE	
BUILDING A	
LEVEL A-01	0
LEVEL A-02	993
LEVEL A-03	0
LEVEL A-04	0
LEVEL A-05	0
LEVEL A-06	2,851
LEVEL A-07	2,444
LEVEL A-08	1,067
LEVEL A-09	654
LEVEL A-10	0
BUILDING B	
LEVEL B-01	658
LEVEL B-02	306
LEVEL B-03	0
LEVEL B-04	0
LEVEL B-05	0
LEVEL B-06	0
LEVEL B-07	2,450
LEVEL B-08	2,597
14,020 SF	

See Page 34 for open space detail summary.



PROJECT DATA SUMMARY: PRIVATE OPEN SPACE A-06 / B-05

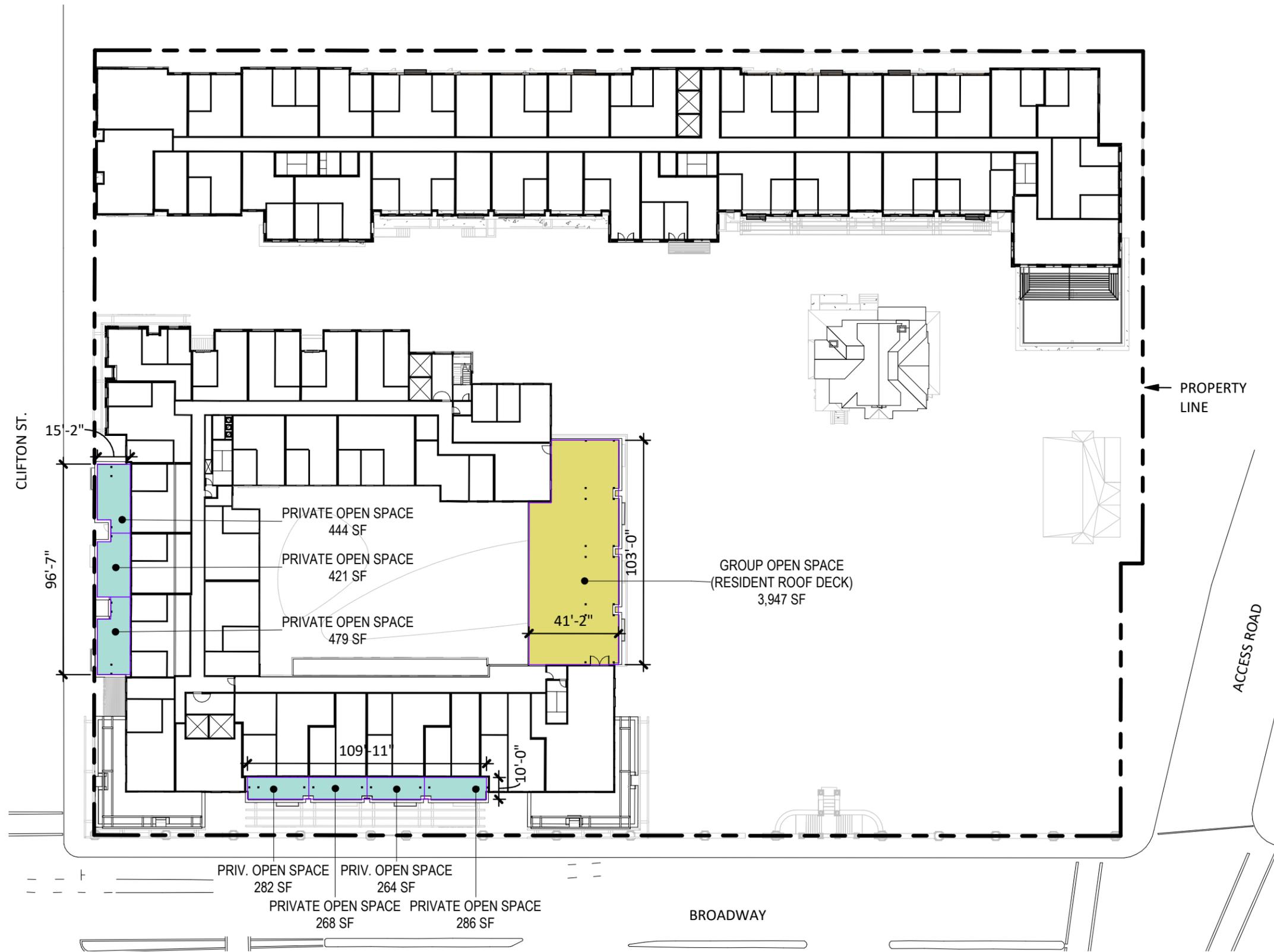


CCA - OPEN SPACE PROVIDED		
POPOS		
GROUND LEVEL		41,193 SF
GROUP USABLE OPEN SPACE		
GROUND LEVEL - GROUP (COURTYARD)		8,337
GROUND LEVEL - GROUP (AMENITY)		3,969
LEVEL B04 - GROUP (RESIDENT DECK)		1,783
LEVEL A07 - GROUP (RESIDENT DECK)		3,947
<i>Group Usable Open Space Total</i>		18,036 SF
PRIVATE USABLE OPEN SPACE		
BUILDING A		
	LEVEL A-01	0
	LEVEL A-02	993
	LEVEL A-03	0
	LEVEL A-04	0
	LEVEL A-05	0
	LEVEL A-06	2,851
	LEVEL A-07	2,444
	LEVEL A-08	1,067
	LEVEL A-09	654
	LEVEL A-10	0
BUILDING B		
	LEVEL B-01	658
	LEVEL B-02	306
	LEVEL B-03	0
	LEVEL B-04	0
	LEVEL B-05	0
	LEVEL B-06	0
	LEVEL B-07	2,450
	LEVEL B-08	2,597
		14,020 SF

See Page 34 for open space detail summary.



PROJECT DATA SUMMARY: PRIVATE OPEN SPACE A-07 / B-06

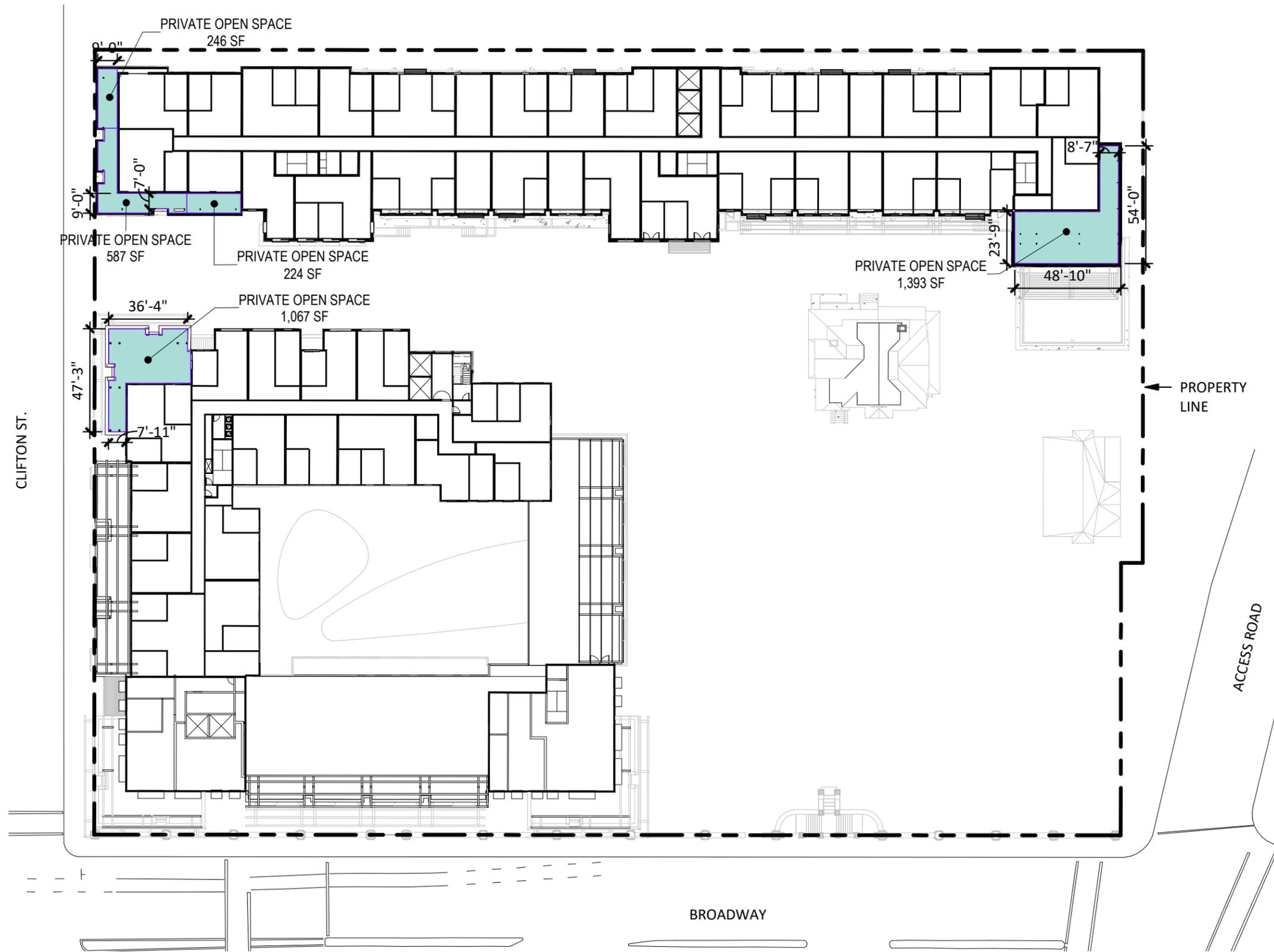


CCA - OPEN SPACE PROVIDED	
POPOS	
GROUND LEVEL	41,193 SF
GROUP USABLE OPEN SPACE	
GROUND LEVEL - GROUP (COURTYARD)	8,337
GROUND LEVEL - GROUP (AMENITY)	3,969
LEVEL B04 - GROUP (RESIDENT DECK)	1,783
LEVEL A07 - GROUP (RESIDENT DECK)	3,947
<i>Group Usable Open Space Total</i> 18,036 SF	
PRIVATE USABLE OPEN SPACE	
BUILDING A	
LEVEL A-01	0
LEVEL A-02	993
LEVEL A-03	0
LEVEL A-04	0
LEVEL A-05	0
LEVEL A-06	2,851
LEVEL A-07	2,444
LEVEL A-08	1,067
LEVEL A-09	654
LEVEL A-10	0
BUILDING B	
LEVEL B-01	658
LEVEL B-02	306
LEVEL B-03	0
LEVEL B-04	0
LEVEL B-05	0
LEVEL B-06	0
LEVEL B-07	2,450
LEVEL B-08	2,597
14,020 SF	

See Page 34 for open space detail summary.



PROJECT DATA SUMMARY: PRIVATE OPEN SPACE A-08 / B-07

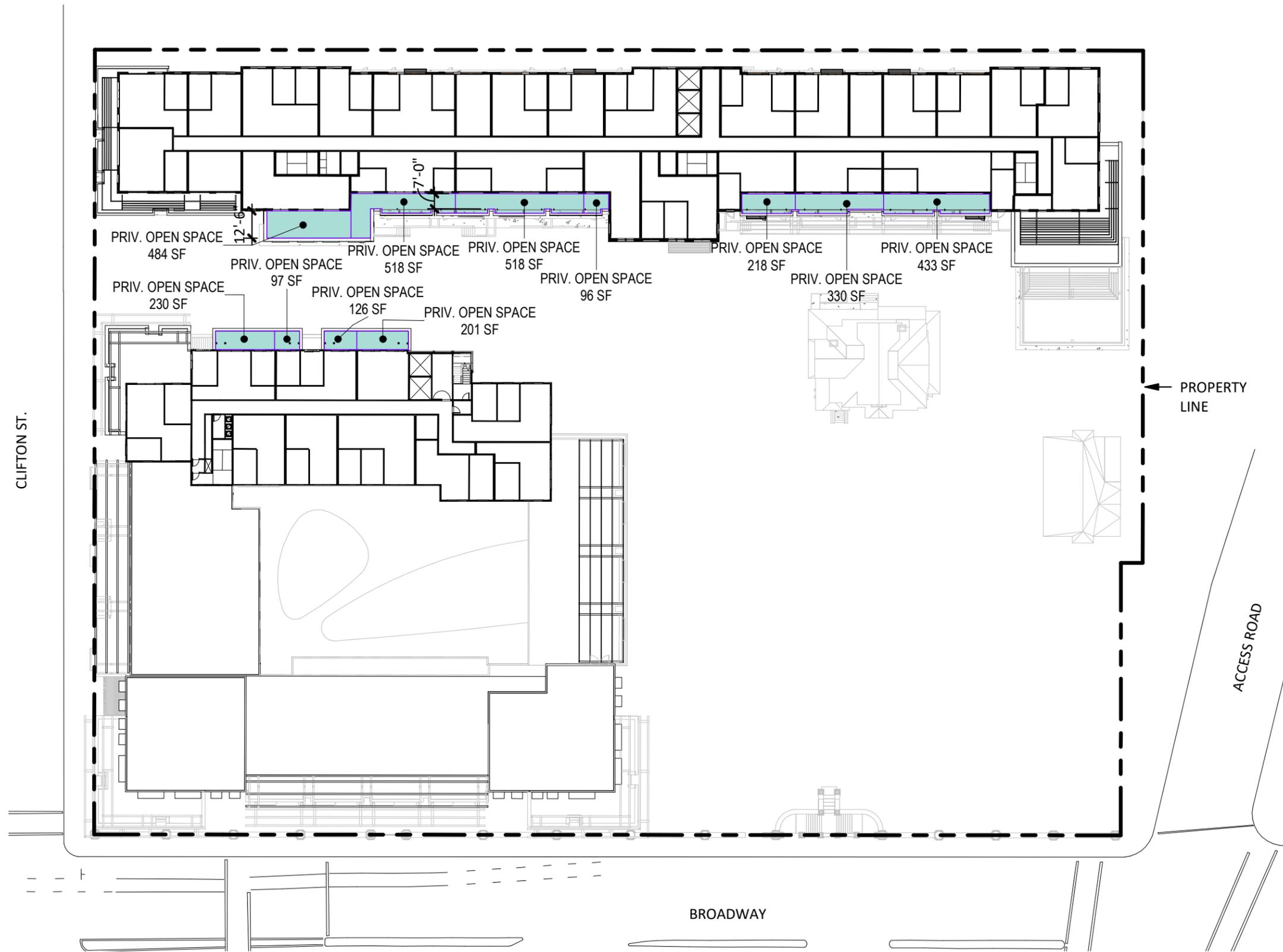


CCA - OPEN SPACE PROVIDED		
POPOS		
GROUND LEVEL		41,193 SF
GROUP USABLE OPEN SPACE		
GROUND LEVEL - GROUP (COURTYARD)		8,337
GROUND LEVEL - GROUP (AMENITY)		3,969
LEVEL B04 - GROUP (RESIDENT DECK)		1,783
LEVEL A07 - GROUP (RESIDENT DECK)		3,947
<i>Group Usable Open Space Total</i>		18,036 SF
PRIVATE USABLE OPEN SPACE		
BUILDING A		
	LEVEL A-01	0
	LEVEL A-02	993
	LEVEL A-03	0
	LEVEL A-04	0
	LEVEL A-05	0
	LEVEL A-06	2,851
	LEVEL A-07	2,444
	LEVEL A-08	1,067
	LEVEL A-09	654
	LEVEL A-10	0
BUILDING B		
	LEVEL B-01	658
	LEVEL B-02	306
	LEVEL B-03	0
	LEVEL B-04	0
	LEVEL B-05	0
	LEVEL B-06	0
	LEVEL B-07	2,450
	LEVEL B-08	2,597
		14,020 SF

See Page 34 for open space detail summary.



PROJECT DATA SUMMARY: PRIVATE OPEN SPACE A-09 / B-08



CCA - OPEN SPACE PROVIDED		
POPOS		
GROUND LEVEL		41,193 SF
GROUP USABLE OPEN SPACE		
GROUND LEVEL - GROUP (COURTYARD)		8,337
GROUND LEVEL - GROUP (AMENITY)		3,969
LEVEL B04 - GROUP (RESIDENT DECK)		1,783
LEVEL A07 - GROUP (RESIDENT DECK)		3,947
<i>Group Usable Open Space Total</i>		18,036 SF
PRIVATE USABLE OPEN SPACE		
BUILDING A		
	LEVEL A-01	0
	LEVEL A-02	993
	LEVEL A-03	0
	LEVEL A-04	0
	LEVEL A-05	0
	LEVEL A-06	2,851
	LEVEL A-07	2,444
	LEVEL A-08	1,067
	LEVEL A-09	654
	LEVEL A-10	0
BUILDING B		
	LEVEL B-01	658
	LEVEL B-02	306
	LEVEL B-03	0
	LEVEL B-04	0
	LEVEL B-05	0
	LEVEL B-06	0
	LEVEL B-07	2,450
	LEVEL B-08	2,597
		14,020 SF

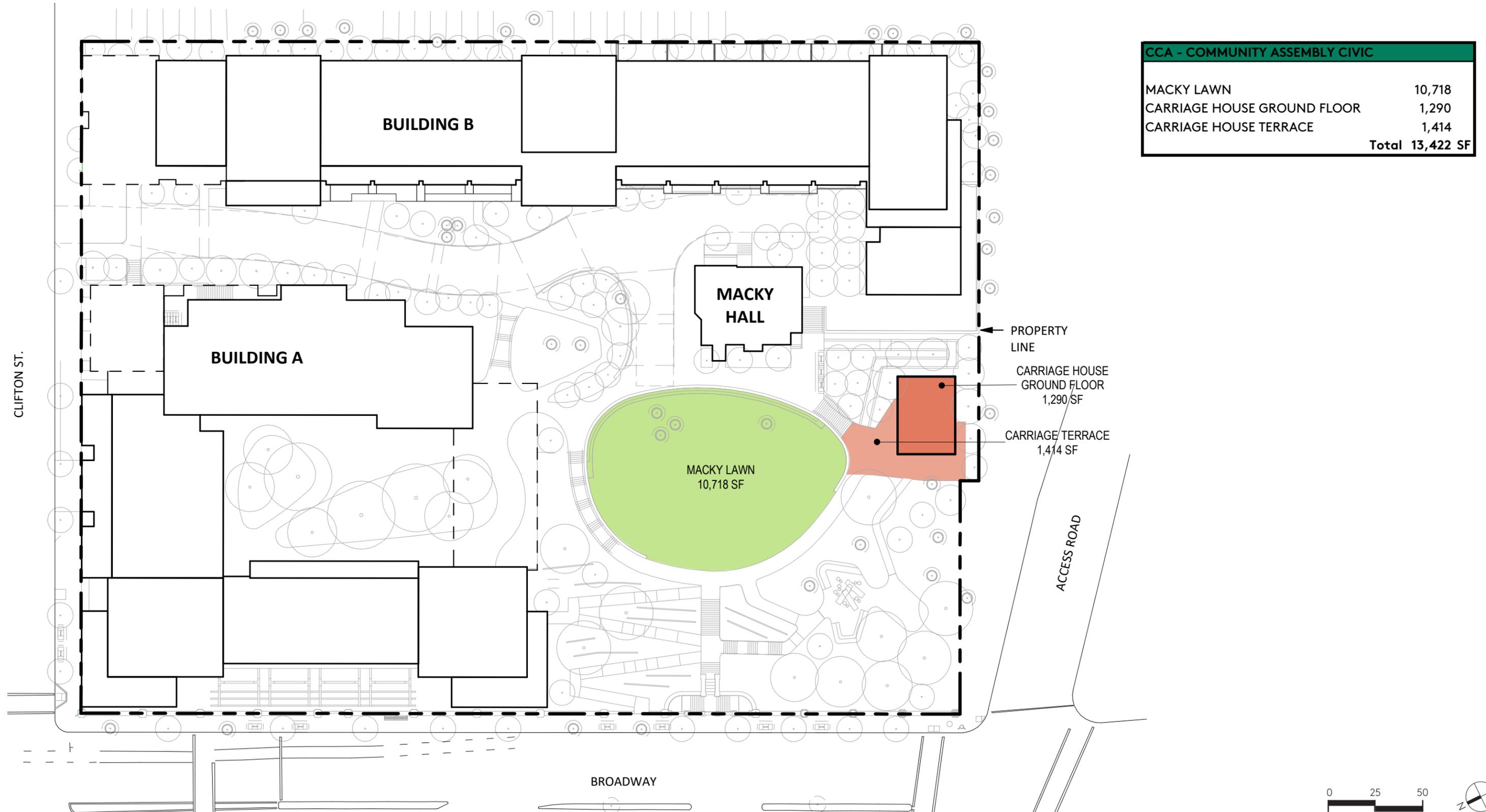
See Page 34 for open space detail summary.



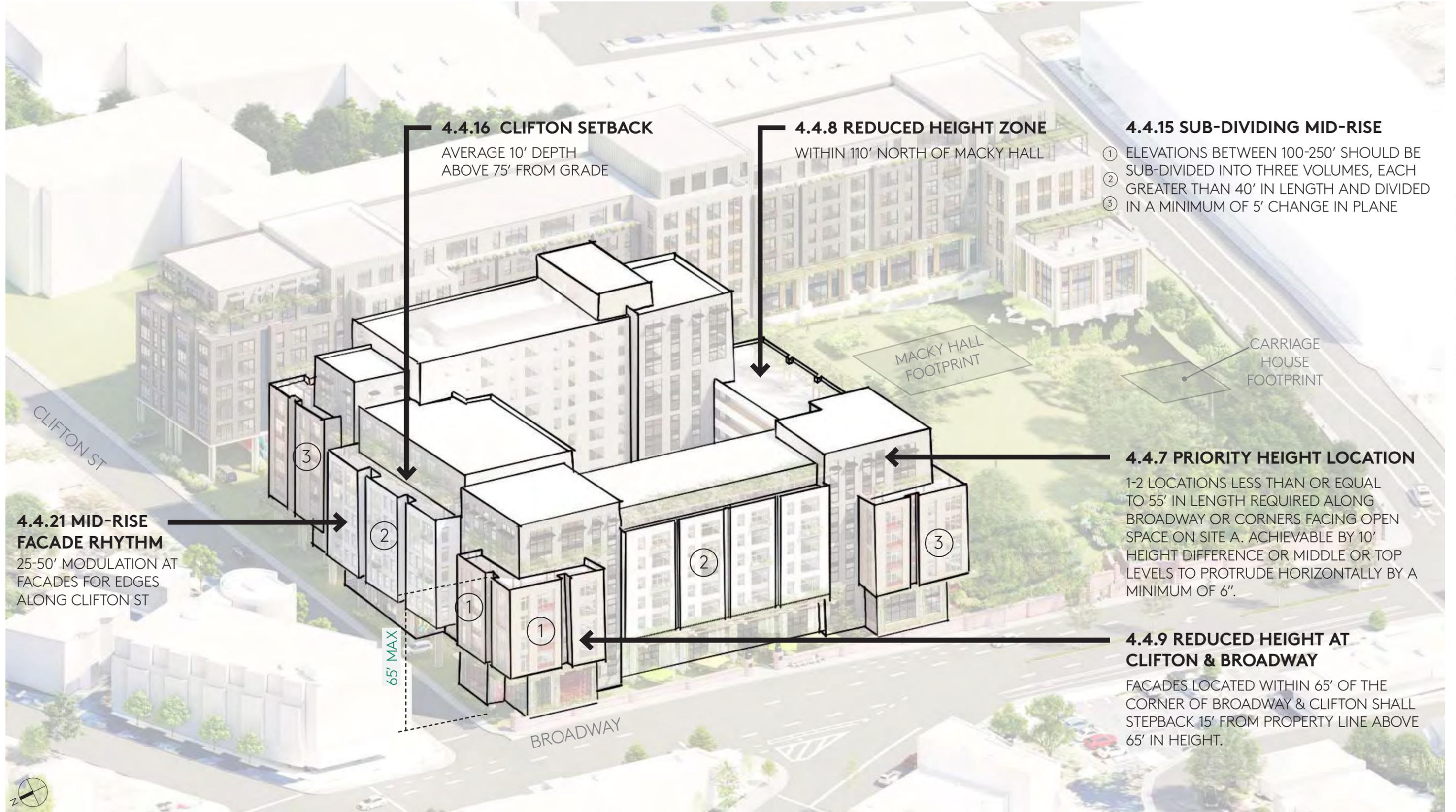
PROJECT DATA SUMMARY: PRIVATE OPEN SPACE DETAIL

CCA - PRIVATE USABLE OPEN SPACE			
BUILDING A		BUILDING B	
	AREA (SF)		AREA (SF)
LEVEL A-01	0	LEVEL B-01	178
LEVEL A-02	161		149
	85		153
	88		178
	187	<i>subtotal</i>	<i>658</i>
	137	LEVEL B-02	129
	115		47
	105		130
	115	<i>subtotal</i>	<i>306</i>
<i>subtotal</i>	<i>993</i>	LEVEL B-03	0
LEVEL A-03	0	LEVEL B-04	0
LEVEL A-04	0	LEVEL B-05	0
LEVEL A-05	0	LEVEL B-06	0
LEVEL A-06	188	LEVEL B-07	246
	261		587
	281		224
	1,108		1,393
	1,013	<i>subtotal</i>	<i>2,450</i>
<i>subtotal</i>	<i>2,851</i>	LEVEL B-08	484
LEVEL A-07	444		518
	421		518
	479		96
	282		218
	268		330
	264		433
	286	<i>subtotal</i>	<i>2,597</i>
<i>subtotal</i>	<i>2,444</i>		
LEVEL A-08	1,067		
LEVEL A-09	230		
	97		
	126		
	201		
<i>subtotal</i>	<i>654</i>		
LEVEL A-10	0		
A TOTAL	8,009	B TOTAL	6,011
		GRAND TOTAL	14,020

COMMUNITY ASSEMBLY CIVIC



CCA SITE DESIGN GUIDELINE COMPLIANCE: SITE A



CCA SITE DESIGN GUIDELINE COMPLIANCE: SITE B

4.4.7 PRIORITY HEIGHT LOCATION

1-2 LOCATIONS LESS THAN OR EQUAL TO 55' IN LENGTH REQUIRED ON THE SOUTHERN PART OF SITE B. ACHIEVABLE BY 10' HEIGHT DIFFERENCE OR MIDDLE OR TOP LEVELS TO PROTRUDE HORIZONTALLY BY A MINIMUM OF 6".

4.4.17 OPEN SPACE SETBACK

10' DEPTH ABOVE 75' FROM GRADE

4.4.20 FRAMING MACKY

THROUGH A MINIMUM OF THREE CHANGES IN PLANE ④ ⑤ ⑥

4.4.16 CLIFTON SETBACK

AVERAGE 10' DEPTH ABOVE 75' FROM GRADE

4.4.21 MID-RISE FACADE RHYTHM

25-50' MODULATION AT FACADES FACING OPEN SPACE AND HISTORIC STRUCTURES

4.4.19 HORIZONTAL BASE DATUM

BETWEEN 20-45' ABOVE GRADE ALONG WEST ELEVATION FOR 70% OF ELEVATION

4.4.8 REDUCED HEIGHT ZONE

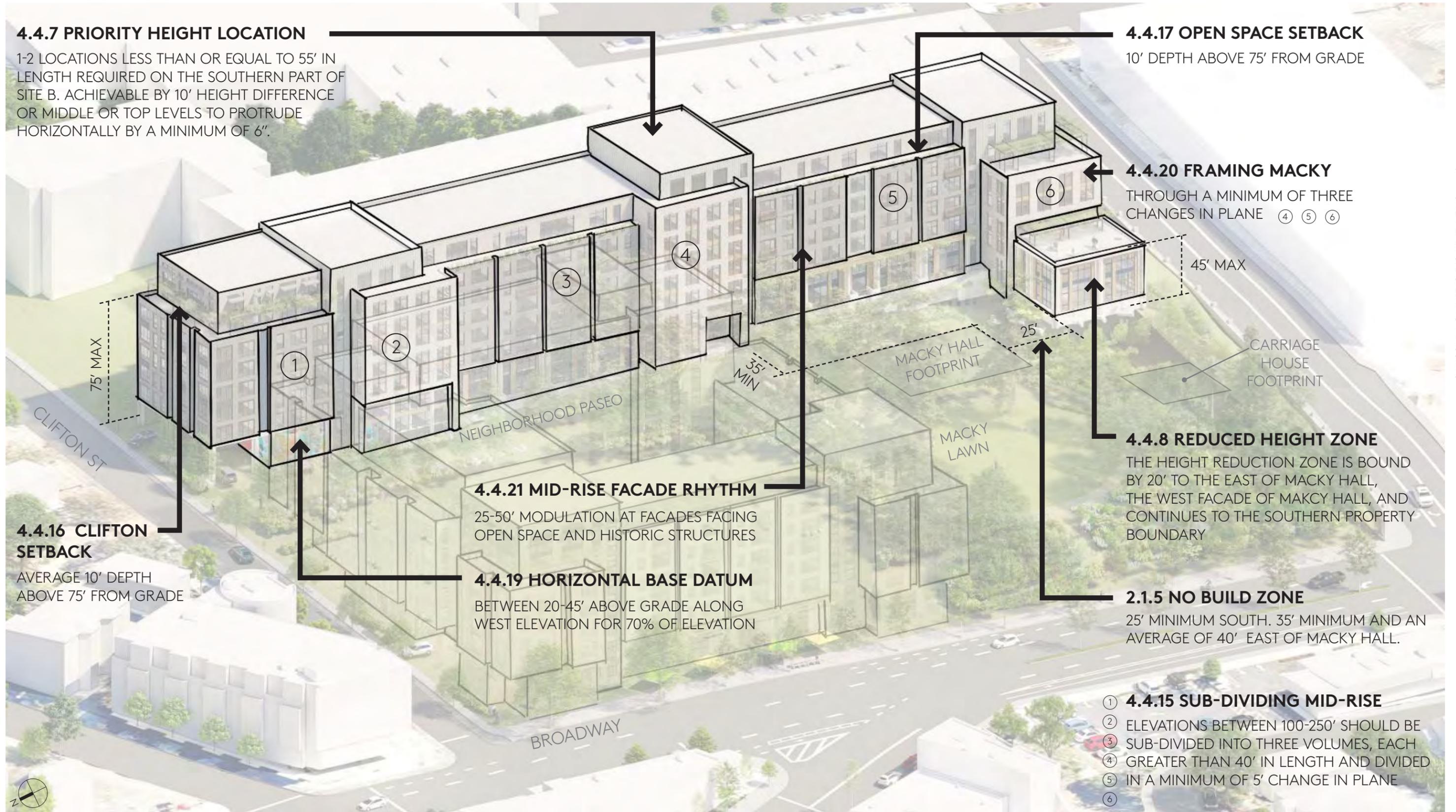
THE HEIGHT REDUCTION ZONE IS BOUND BY 20' TO THE EAST OF MACKY HALL, THE WEST FACADE OF MACKY HALL, AND CONTINUES TO THE SOUTHERN PROPERTY BOUNDARY

2.1.5 NO BUILD ZONE

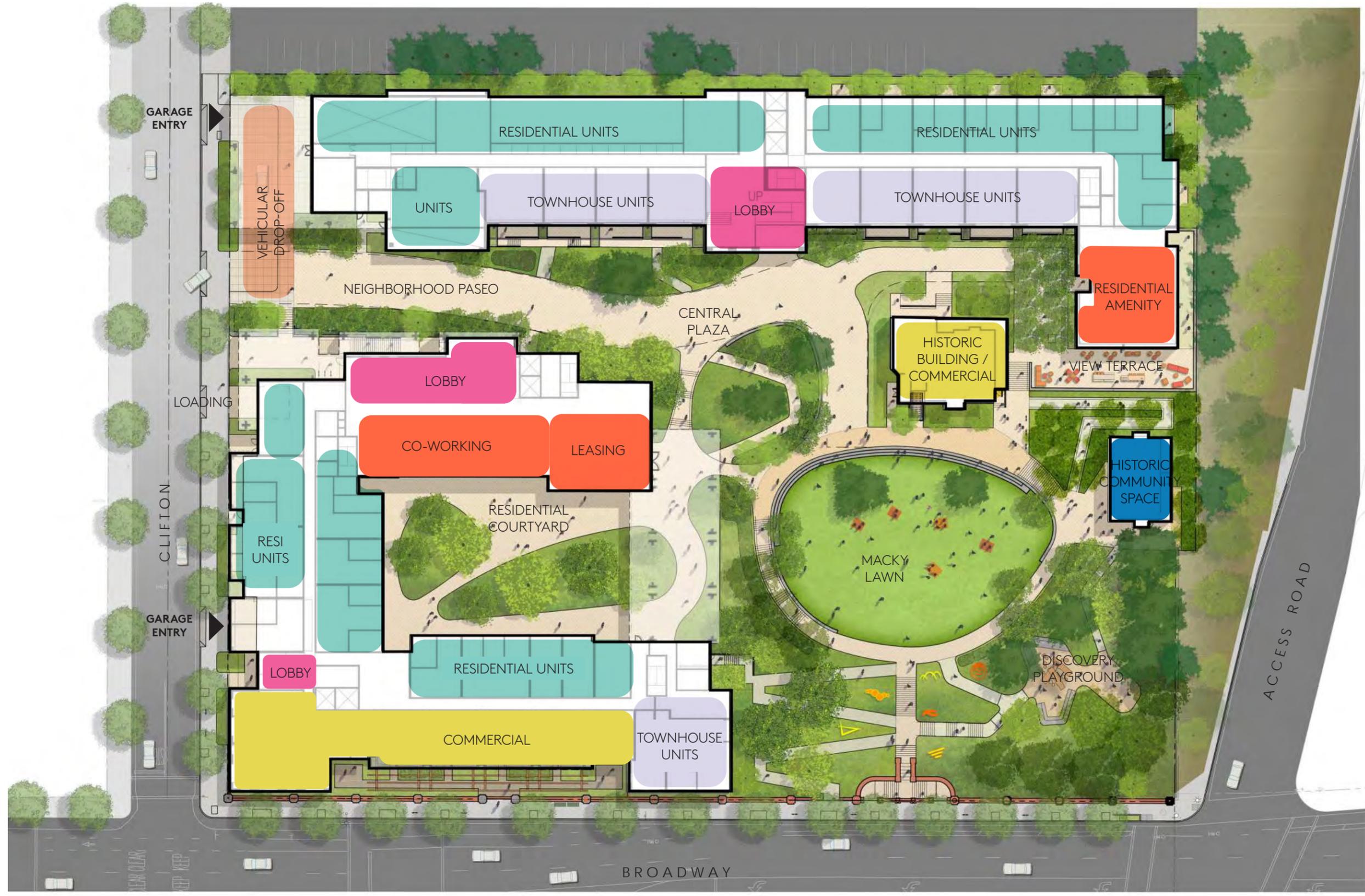
25' MINIMUM SOUTH. 35' MINIMUM AND AN AVERAGE OF 40' EAST OF MACKY HALL.

① 4.4.15 SUB-DIVIDING MID-RISE

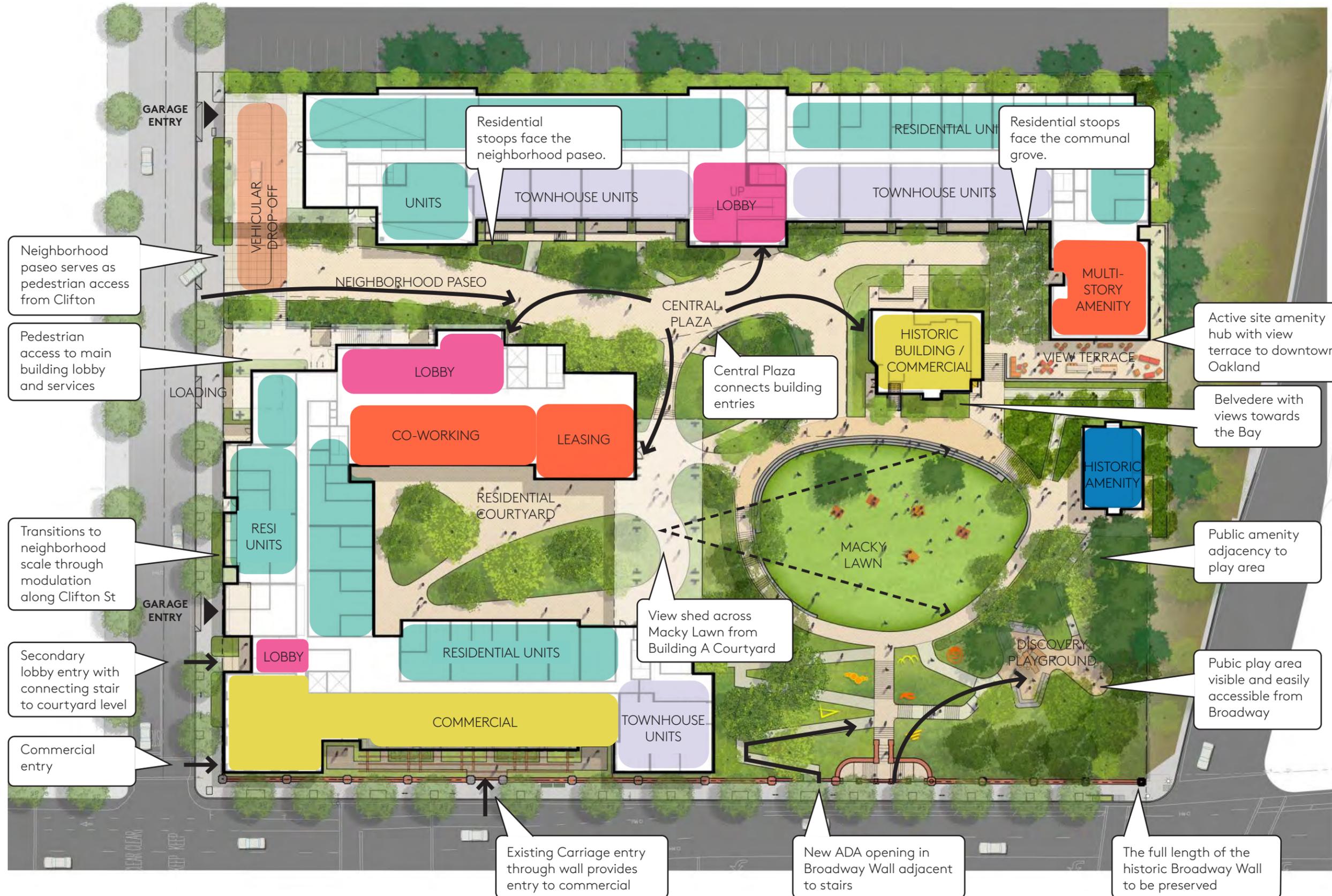
- ② ELEVATIONS BETWEEN 100-250' SHOULD BE
- ③ SUB-DIVIDED INTO THREE VOLUMES, EACH
- ④ GREATER THAN 40' IN LENGTH AND DIVIDED
- ⑤ IN A MINIMUM OF 5' CHANGE IN PLANE
- ⑥



GROUND LEVEL USES

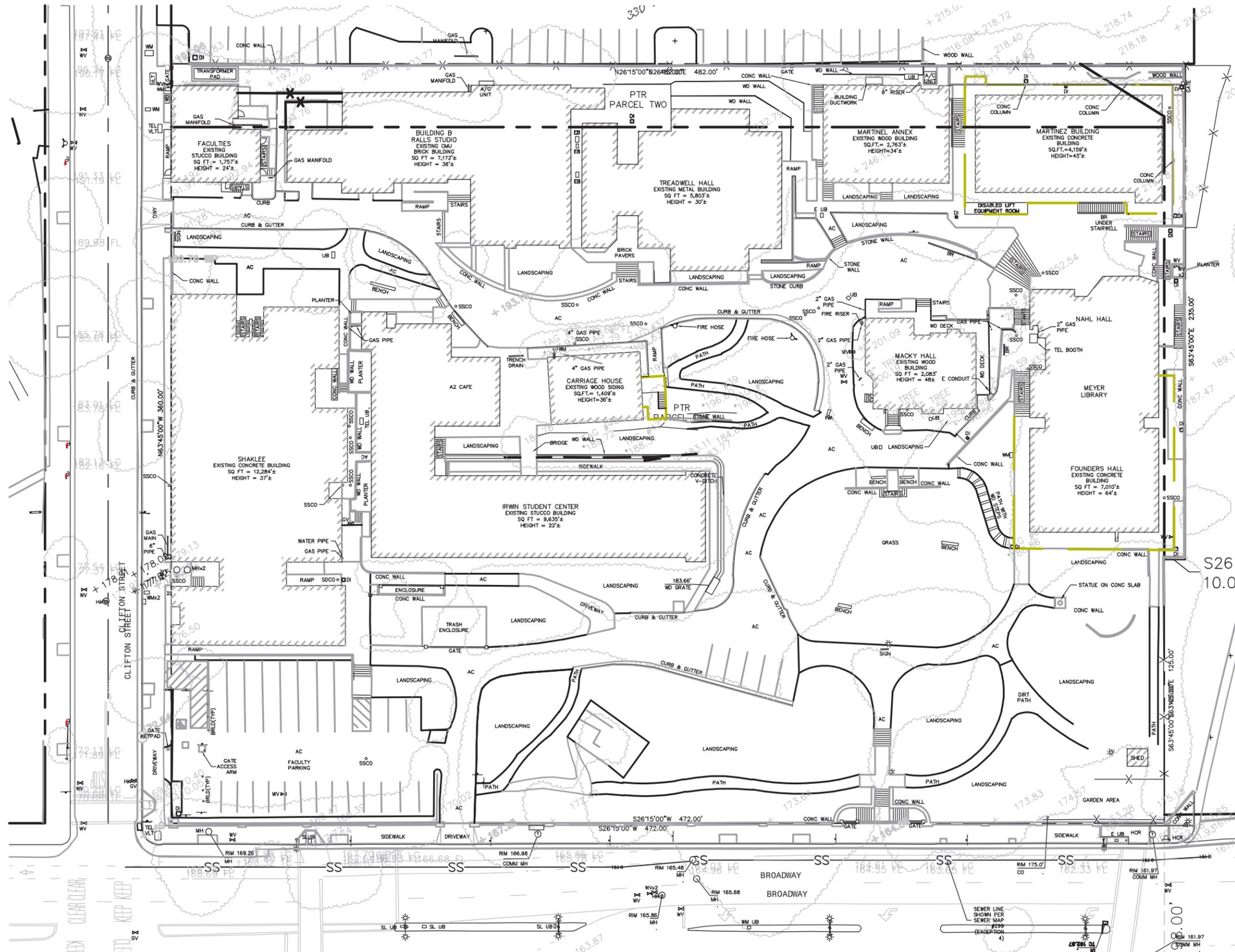


GROUND LEVEL USES ANNOTATED



SURVEY, CIVIL & DEMOLITION

SITE SURVEY



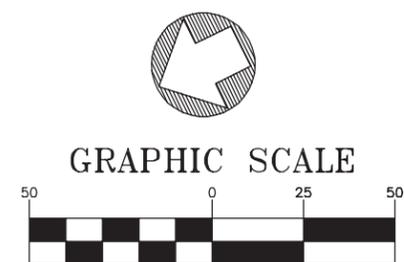
SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.

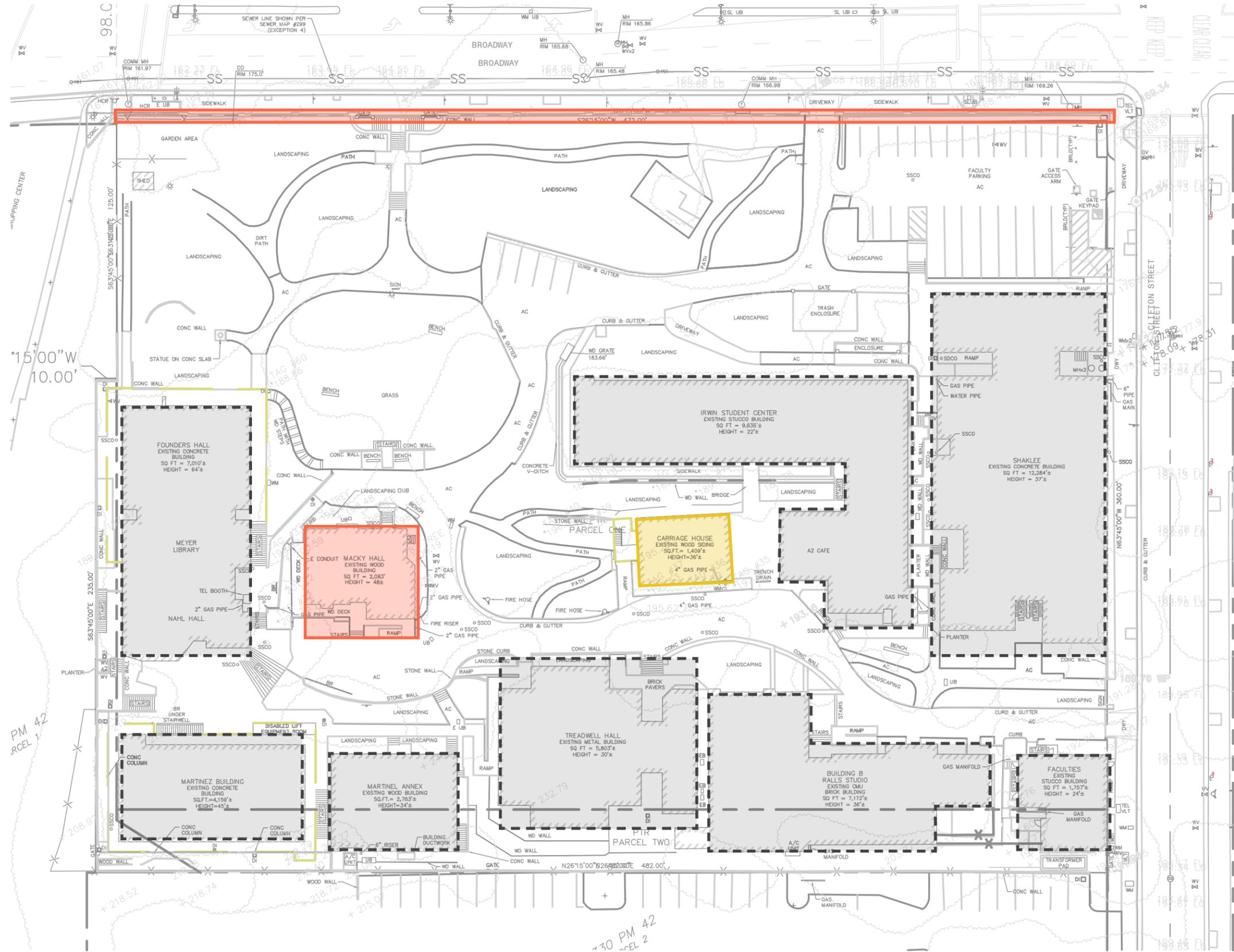
Paul Kittredge
 PAUL KITTREDGE
 P.L.S. #5790



SURVEY PERFORMED AUG 2020



DEMOLITION PLAN



SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.

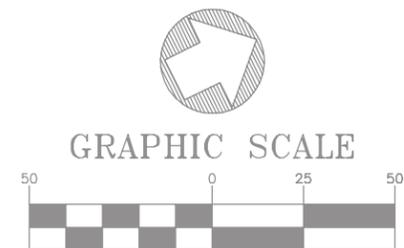
Paul Kittredge
 PAUL KITTREDGE
 P.L.S. #5790



SURVEY PERFORMED AUG 2020

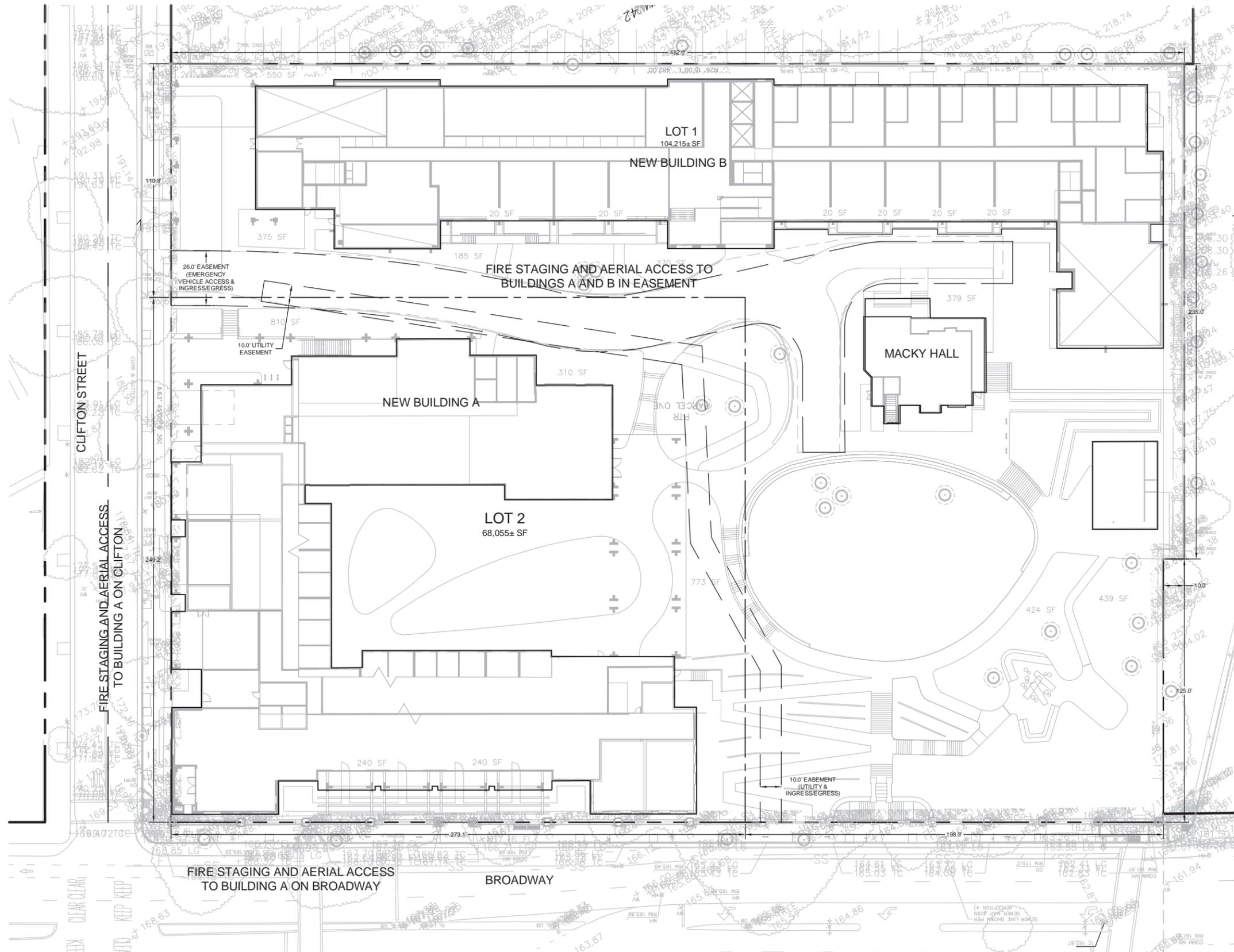
- STRUCTURES TO BE PRESERVED
- STRUCTURES TO BE PRESERVED AND RELOCATED ON SITE
- STRUCTURES TO BE DEMOLISHED

NOTE: THE SURVEY IS ORIENTED DIFFERENTLY THAN THE FOLLOWING PLAN SHEETS. BROADWAY IS AT THE TOP OF THE PAGE RELATIVE TO THE CAMPUS SITE ON THE TITLE SHEETS WHEREAS BROADWAY IS AT THE BOTTOM OF THE PAGE RELATIVE TO THE CAMPUS SITE.



(IN FEET)
 1 inch = 50 ft.

PARCEL PLAN

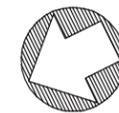


LEGEND

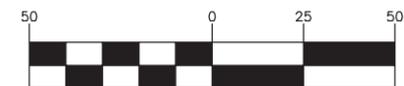
-  PROPERTY LINE
-  PROPOSED LOT LINE
-  EASEMENT LINE

EASEMENT NOTES:

1. EMERGENCY ACCESS EASEMENT PROVIDES FIRE VEHICLE ACCESS TO BOTH LOTS. PORTIONS OF THE EASEMENT ACROSS LOT 1 ARE FOR THE BENEFIT OF LOT 2. PORTIONS OF THE EASEMENT ACROSS LOT 2 ARE FOR THE BENEFIT OF LOT 1.
2. UTILITY EASEMENT PROVIDES STORMWATER DRAINAGE FOR BOTH LOTS. LOCATION OF UTILITY EASEMENT WILL CHANGE AS DESIGN PROGRESSES TO CORRESPOND WITH UTILITY AND DRAINAGE DESIGN.

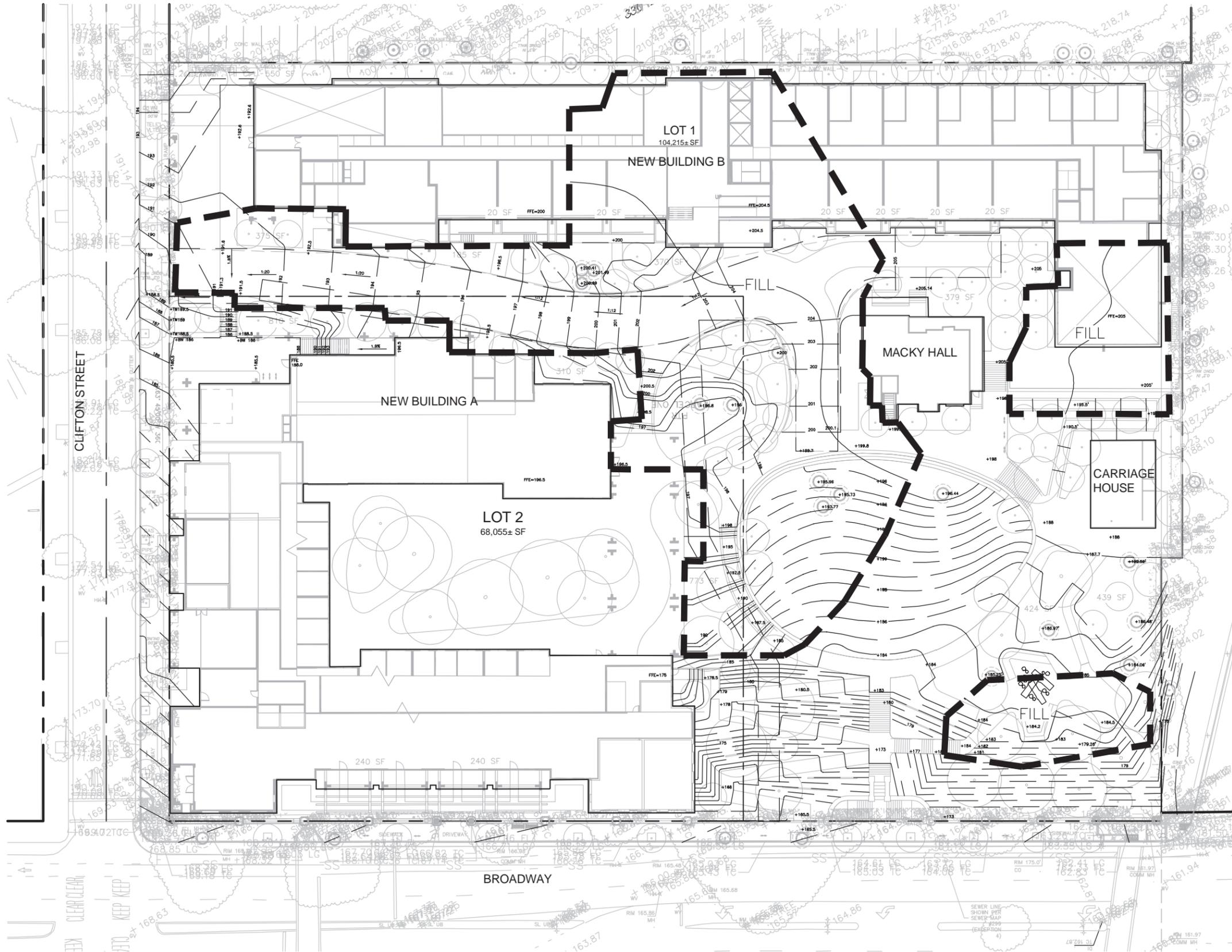


GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

GRADING PLAN

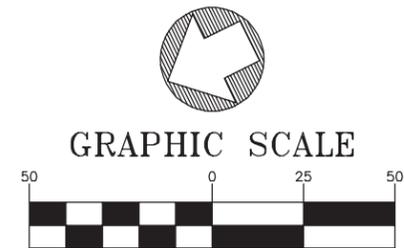


LEGEND

- PROPERTY LINE
- PROPOSED LOT LINE
- GRADE BREAK LINE
- PROPOSED CONTOUR LINES
- EARTHWORK FILL AREA (NOTE: ALL AREAS NOT WITHIN FILL AREA IS CUT AREA)

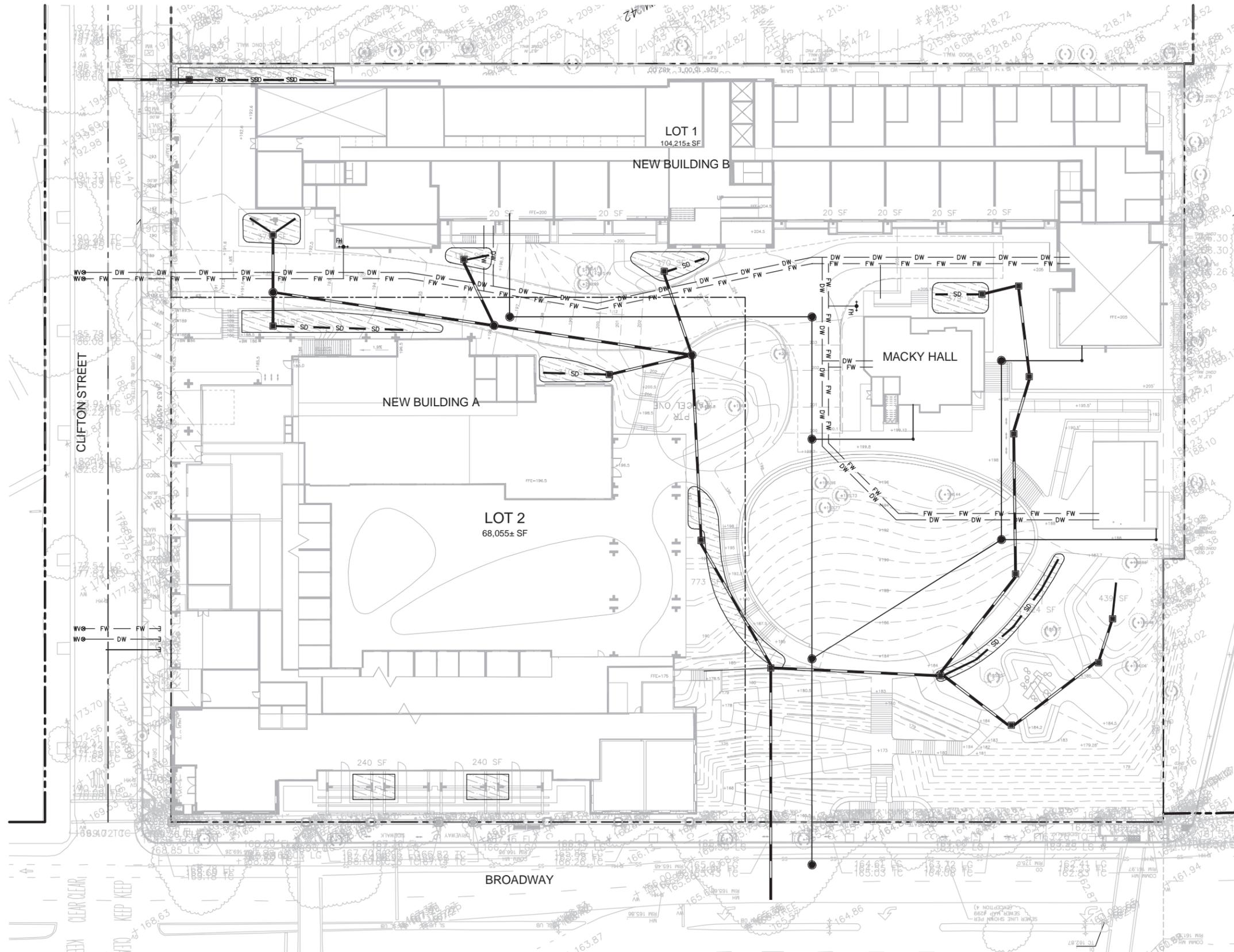
EARTHWORK VOLUMES

PROPOSED EXCAVATION: 17,400 CUBIC YARDS
 ON-SITE FILL: 4,000 CUBIC YARDS
 OFFHAUL: 13,400 CUBIC YARDS

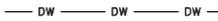


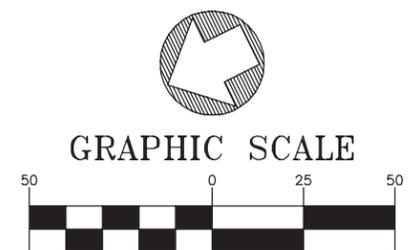
(IN FEET)
 1 inch = 50 ft.

UTILITY PLAN

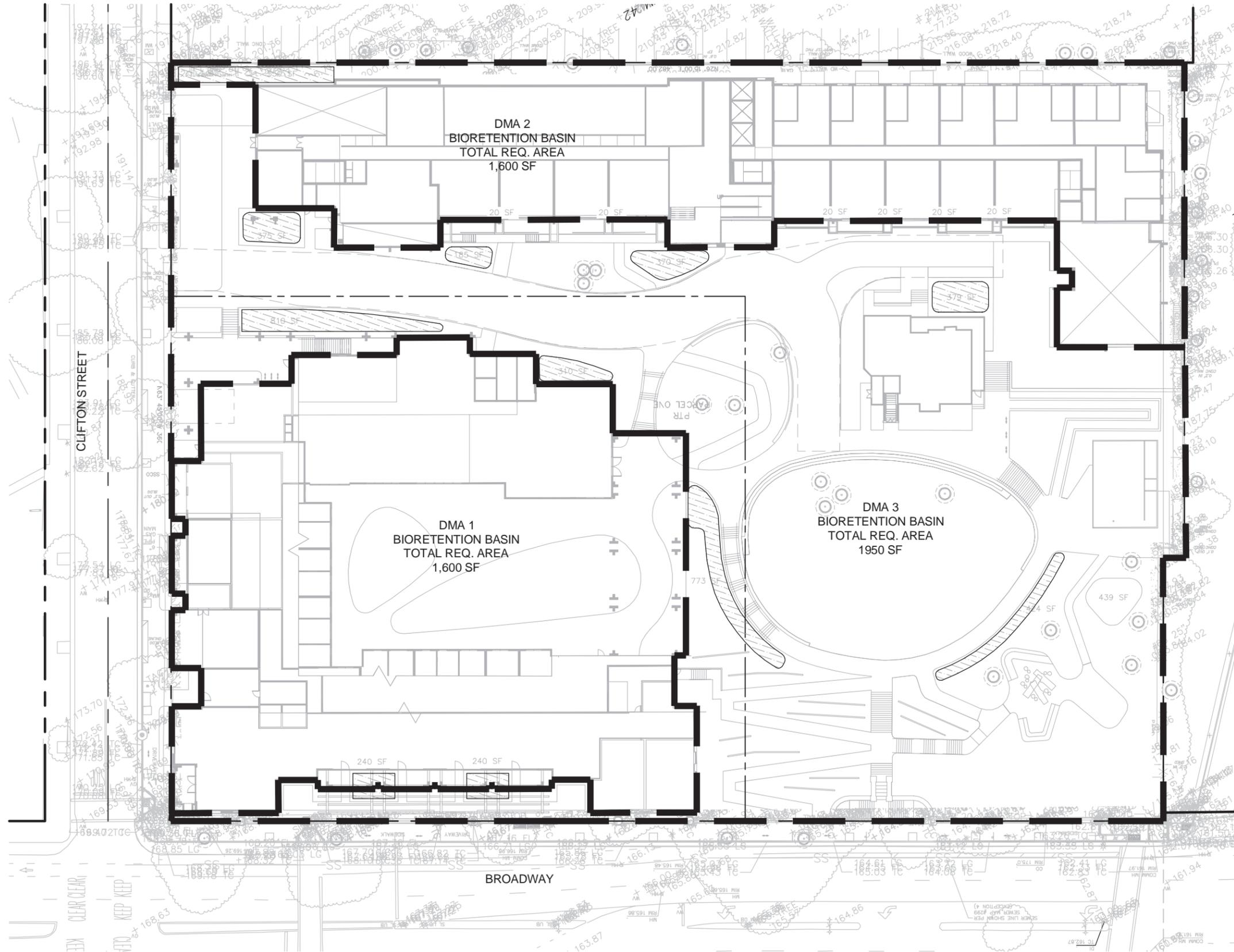


LEGEND

-  SANITARY SEWER LINE
-  DOMESTIC WATER LINE
-  STORM DRAIN LINE
-  PERFORATED PIPE
-  FIRE WATER LINE
-  SANITARY SEWER MANHOLE
-  STORM DRAIN INLET
-  WATER VALVE
-  FLOW THROUGH PLANTER AND BIORETENTION AREAS

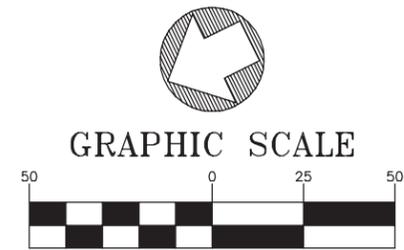


PRELIMINARY STORMWATER MANAGEMENT



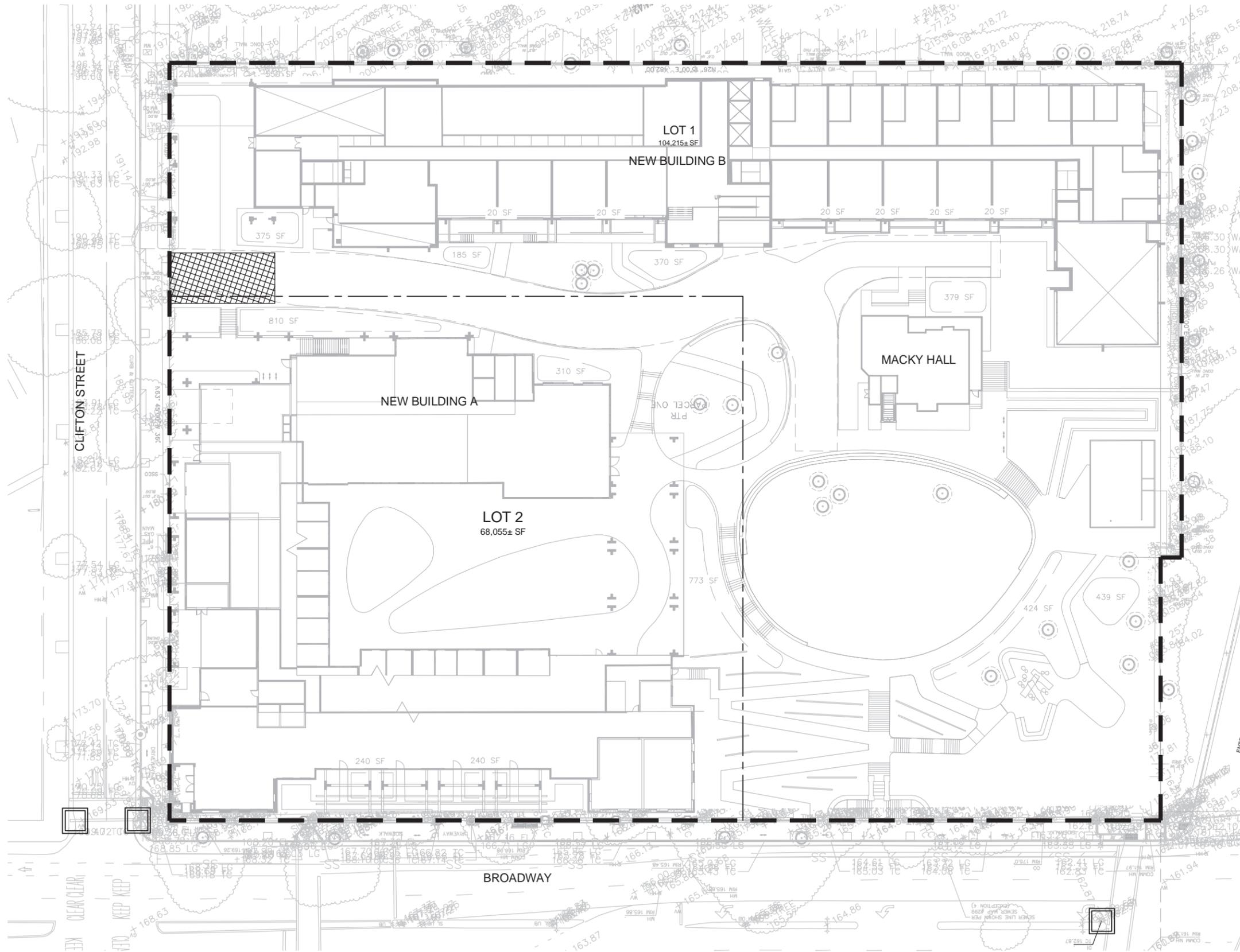
LEGEND

-  DRAINAGE MANAGEMENT AREA (DMA)
-  FLOW THROUGH PLANTER AND BIORETENTION AREAS

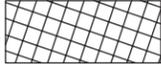


(IN FEET)
1 inch = 50 ft.

EROSION CONTROL PLAN



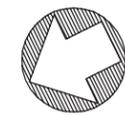
EROSION CONTROL LEGEND:

-  STABILIZED CONSTRUCTION ENTRANCE (TC-1)** WITH ENTRANCE/OUTLET TIRE WASH (TC-3)**
-  STORM DRAIN INLET PROTECTION (SC-10)**
-  FIBER ROLL (SC-05)**

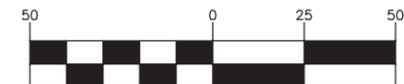
**REFER TO SHEET C4.01 FOR DETAILS

EROSION CONTROL NOTES:

1. SITE ACCESS SHOWN ON THIS PLAN IS PROVIDED FOR INFORMATION PURPOSES ONLY. CONTRACTOR SHALL LOCATE CONSTRUCTION ACCESS DRIVEWAYS AS NECESSARY.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT AND MAINTAINED BY THE CONTRACTOR ON A YEAR-ROUND BASIS UNTIL ALL DISTURBED AREAS ARE STABILIZED UNLESS OTHERWISE PERMITTED BY THE COUNTY INSPECTOR.
3. ALL INLETS RECEIVING STORM WATER RUNOFF FROM THE PROJECT AREA MUST BE EQUIPPED WITH REQUIRED INLET PROTECTION.
4. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF ENTERING THE STORM DRAIN SYSTEM.
5. STOCKPILED EARTHEN MATERIAL SHALL BE EITHER COVERED WITH A TARP OR WATERED SUFFICIENTLY TO ELIMINATE DUST.
6. REFERENCE: "CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICE (BMP) HANDBOOK", JANUARY 2015.



GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

LANDSCAPE

LANDSCAPE SITE PLAN



Landscape Use

1. Vehicular Drop-Off
2. Neighborhood Paseo
3. Central Plaza
4. Communal Grove
5. Macky Lawn
6. Discovery Play
7. Sculpture Garden
8. Residential Courtyard
9. Commercial Courtyard
10. View Terrace

Site Elements

- 1 Historic Gate to remain
- 2 Historic Wall to remain
- 3 New Accessible Opening
- 4 New Street Trees
- 5 Lobby Entry
- 6 Garage Entry
- 7 Covered Waiting Area
- 8 Stepped Seating
- 9 Accessible Ramp
- 10 Private Patios
- 11 Short term bike parking

Project Characteristics	Total (Square Feet)
Proposed landscape	58,050
Proposed impervious site surfaces	46,295



SITE IMAGERY: NEIGHBORHOOD PASEO



SITE IMAGERY: COMMUNAL GROVE

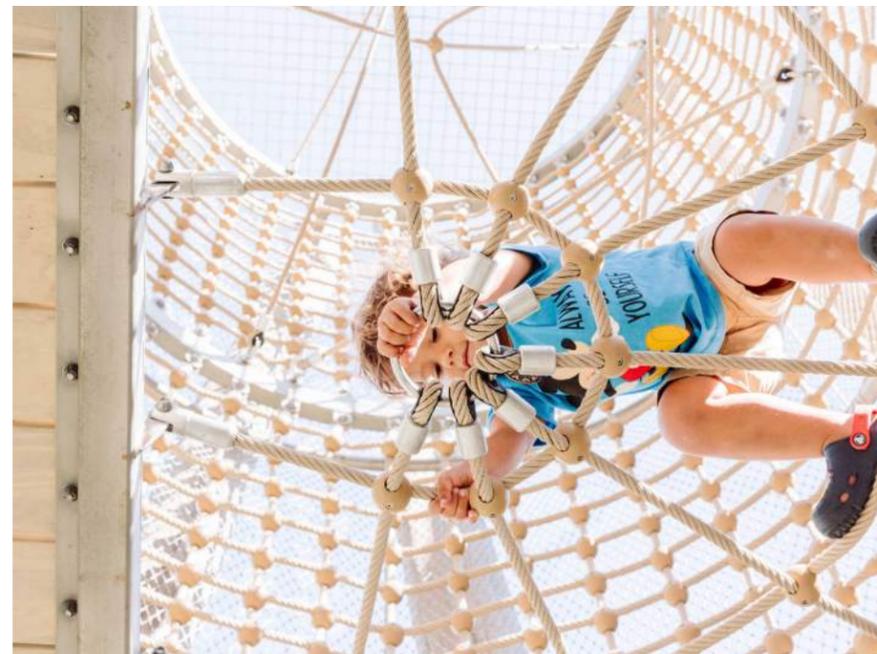


SITE IMAGERY: MACKY LAWN



LANDSCAPE DESIGN

SITE IMAGERY: DISCOVERY PLAY



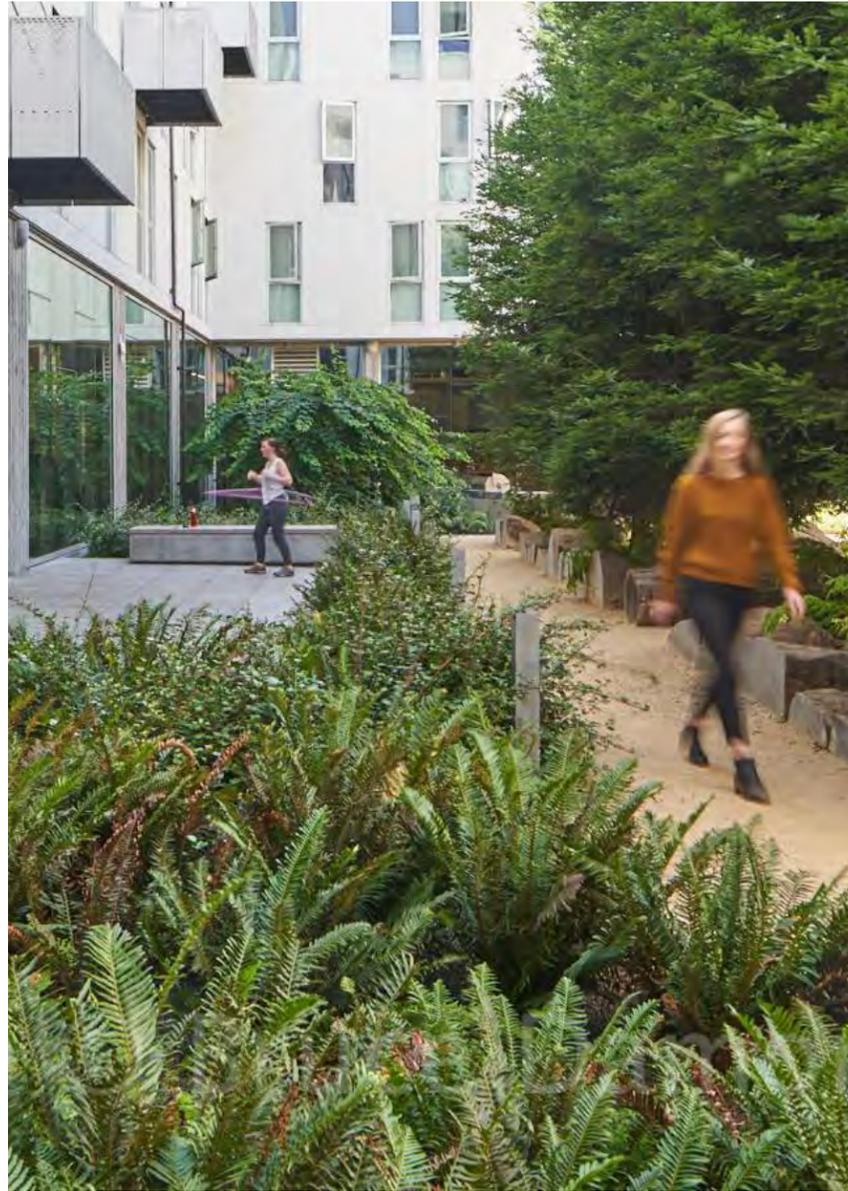
SITE IMAGERY: SCULPTURE GARDEN



SITE IMAGERY: RESIDENTIAL COURTYARD



SITE IMAGERY: COMMERCIAL COURTYARD



LANDSCAPE MATERIALS PLAN



Materials Legend

1. CIP Concrete Paving - Finish 1, Pedestrian and Vehicular
2. CIP Concrete Paving - Finish 2, Pedestrian and Vehicular
3. CIP Concrete Paving - Finish 3, Pedestrian
4. Site Salvaged Brick Paving
5. Geoblock Grass Pavers
6. Lawn
7. Understory Planting Area
8. Stormwater Treatment Garden
9. Fibar Play Area Surfacing

Note: See Civil drawings for stormwater information.

LANDSCAPE DESIGN



LANDSCAPE MATERIALS IMAGERY



1. CIP Concrete Paving - Finish 1
Pedestrian and Vehicular



2. CIP Concrete Paving - Finish 2
Pedestrian and Vehicular



3. CIP Concrete Paving - Finish 3
Pedestrian



4. Site Salvaged Brick Paving



5. Geoblock Grass Pavers



6. Lawn



7. Understory Planting Area

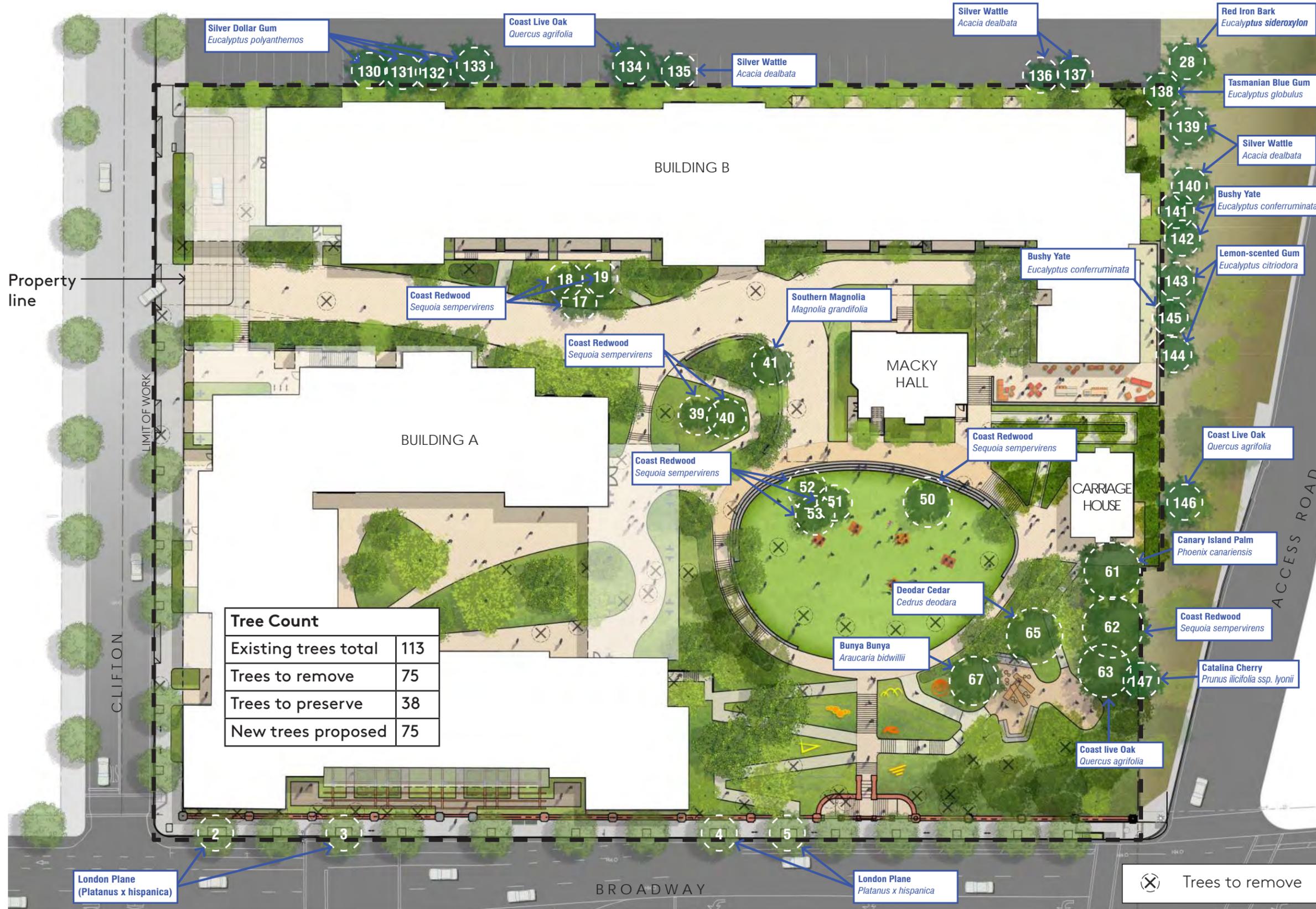


8. Stormwater Treatment Garden



9. Fibar Play Area Surfacing

TREE PRESERVATION PLAN



Trees proposed for preservation within 30' of development activity (DBH)

2. *Platanus x hispanica* (21)
 3. *Platanus x hispanica* (17.5)
 4. *Platanus x hispanica* (14.5)
 5. *Platanus x hispanica* (15)
 17. *Sequoia sempervirens* (30)
 28. *Eucalyptus sideroxylon* (15.5)
 39. *Sequoia sempervirens* (44)
 40. *Sequoia sempervirens* (34)
 130. *Eucalyptus polyanthemos* (27.5)
 131. *Eucalyptus polyanthemos* (20)
 132. *Eucalyptus polyanthemos* (22)
 133. *Eucalyptus polyanthemos* (23)
 134. *Quercus agrifolia* (5.5)
 135. *Eucalyptus polyanthemos* (16.5)
 136. *Acacia dealbata* (9)
 137. *Acacia dealbata* (9.5)
 138. *Eucalyptus globulus* (68 @base)
 139. *Acacia dealbata* (6, 3, 6, 4)
 140. *Acacia dealbata* (3.5, 4.5, 1.5, 2)
 141. *Eucalyptus conferruminata* (6.5...)
 142. *Eucalyptus conferruminata* (14, 6)
 143. *Eucalyptus citriodora* (18, 17.5)
 144. *Eucalyptus citriodora* (16)
 145. *Eucalyptus conferruminata* (5...)
 146. *Quercus agrifolia* (11)
- Total: 25**

Trees proposed for preservation that are within 10' of construction (DBH)

18. *Sequoia sempervirens* (14)
 19. *Sequoia sempervirens* (34)
 61. *Phoenix canariensis* (29)
- Total: 3**

Other Trees to be preserved (DBH)

41. *Magnolia grandifolia* (19.5)
 50. *Sequoia sempervirens* (42)
 51. *Sequoia sempervirens* (39.5)
 52. *Sequoia sempervirens* (43)
 53. *Sequoia sempervirens* (30)
 62. *Sequoia sempervirens* (27)
 63. *Quercus agrifolia* (25)
 65. *Cedrus deodara* (32)
 67. *Araucaria bidwillii* (39)
 147. *Prunus ilicifolia ssp. lyonii* (9.5)
- Total: 10**



TREE REMOVAL LIST

Trees proposed for removal				Trees proposed for removal				Trees proposed for removal				Trees proposed for removal			
#	Species	DBH	Protected	#	Species	DBH	Protected	#	Species	DBH	Protected	#	Species	DBH	Protected
1	<i>Liriodendron tulipifera</i>	28.5	Yes	33	<i>Quercus lobata</i>	12	Yes	69	<i>Cedrus atlantica</i>	14.5	Yes	93	<i>Quercus agrifolia</i>	4.4	Yes
6	<i>Liriodendron tulipifera</i>	25	Yes	34	<i>Laurus nobles</i>	10	Yes	70	<i>Quercus agrifolia</i>	4.5	Yes	94	<i>Quercus agrifolia</i>	6	Yes
7	<i>Liriodendron tulipifera</i>	17.5	Yes	35	<i>Liquidambar styraciflua</i>	12	Yes	71	<i>Acacia melanoxylon*</i>	13, 8	Yes	95	<i>Pittosporum undulatum</i>	10	Yes
8	<i>Ulmus americana</i>	9, 11.5	Yes	36	<i>Liquidambar styraciflua</i>	9.5	Yes	72	<i>Acacia melanoxylon*</i>	12	Yes	96	<i>Pittosporum undulatum</i>	9	Yes
9	<i>Juniperus occidentalis</i>	9	Yes	37	<i>Liquidambar styraciflua</i>	9	Yes	73	<i>Acacia melanoxylon*</i>	9.5	Yes	97	<i>Olea europaea</i>	9	Yes
10	<i>Calocedrus decurrens*</i>	20	Yes	38	<i>Sequoia sempervirens</i>	33	Yes	74	<i>Acacia melanoxylon*</i>	27	Yes	98	<i>Populus nigra 'Italica'</i>	10	Yes
11	<i>Quercus agrifolia</i>	22	Yes	42	<i>Taxus cuspidata</i>	12	Yes	75	<i>Pittosporum eugenioides*</i>	6, 5.5, 5.5	Yes	99	<i>Quercus agrifolia</i>	6	Yes
12	<i>Quercus agrifolia</i>	5.5	Yes	43	<i>Cedrus libani</i>	27	Yes	76	<i>Umbellularia californica</i>	5.5, 5.5... multi	Yes	100	<i>Populus nigra 'Italica'</i>	15	Yes
13	<i>Crataegus phaenopyrum</i>	10	Yes	44	<i>Quercus agrifolia</i>	14, 11.5	Yes	77	<i>Pittosporum eugenioides*</i>	8.5, 5.5, 5.5	Yes	101	<i>Eucalyptus globulus</i>	66	No
14	<i>Quercus agrifolia</i>	9.5	Yes	45	<i>Cedrus deodara</i>	29	Yes	78	<i>Olea europaea</i>	12.5	Yes	102	<i>Eucalyptus globulus</i>	66	No
15	<i>Platanus x hispanica 'Yarwood'</i>	9	Yes	46	<i>Calocedrus deccurens</i>	18	Yes	79	<i>Sequoia sempervirens*</i>	31.5	Yes	103	<i>Olea europaea</i>	5, 5, 4, 3	Yes
16	<i>Eriobotrya japonica</i>	6, 5, 4	Yes	47	<i>Acacia melanoxylon</i>	24.5	Yes	80	<i>Sequoia sempervirens*</i>	27.5	Yes	104	<i>Olea europaea</i>	5.5, 6, 4.5	Yes
20	<i>Ulmus parvifolia</i>	13	Yes	48	<i>Ulmus americana</i>	14, 18	Yes	81	<i>Pinus ponderosa*</i>	20	Yes	105	<i>Olea europaea</i>	7, 3.5	Yes
21	<i>Liquidambar styraciflua</i>	11.5	Yes	49	<i>Zelkova serrata</i>	16	Yes	82	<i>Quercus rubra*</i>	12	Yes	106	<i>Olea europaea</i>	9, 4.5	Yes
22	<i>Sequoia sempervirens</i>	31	Yes	54	<i>Washingtonia robusta</i>	18	Yes	83	<i>Quercus agrifolia</i>	19	Yes	107	<i>Olea europaea</i>	7, 6.5	Yes
23	<i>Pittosporum undulatum*</i>	12.5	Yes	55	<i>Ulmus americana</i>	25.5	Yes	84	<i>Eucalyptus globulus</i>	38	No	108	<i>Olea europaea</i>	11	Yes
24	<i>Quercus agrifolia</i>	7, 5	Yes	56	<i>Sequoiadendron giganteum*</i>	60	Yes	85	<i>Eucalyptus globulus</i>	54	No	109	<i>Olea europaea</i>	10	Yes
25	<i>Acacia dealbata</i>	18	Yes	57	<i>Umbellularia californica</i>	9" multi	Yes	86	<i>Eucalyptus globulus</i>	51	No	Total		75	
26	<i>Eucalyptus sideroxylon</i>	21.5	No	58	<i>Umbellularia californica</i>	10" multi	Yes	87	<i>Quercus agrifolia</i>	16	Yes	<p>* = (14) trees previously removed under separate permit and excluded from the total count above of 75 trees</p> <p>Reason for removal/impacting of trees:</p> <ul style="list-style-type: none"> To allow for the creation of 448 homes and a viable reuse of the site Poor suitability for retention due to declining health, weak structural stability, and limitations due to proposed construction activity. 8 trees are not protected as defined by the City of Oakland Tree Preservation Ordinance. Refer to arborist report for additional information. 			
27	<i>Eucalyptus sideroxylon</i>	15.5	No	59	<i>Sequoiadendron giganteum*</i>	72	Yes	88	<i>Prunus ilicifolia ssp. lyonii</i>	9.5	Yes				
29	<i>Quercus agrifolia</i>	14, 16, 11	Yes	60	<i>Liquidambar styraciflua</i>	10	Yes	89	<i>Platanus x hispanica</i>	10.5	Yes				
30	<i>Eucalyptus sideroxylon</i>	22, 23	No	64	<i>Quercus ilex</i>	8, 10.5	Yes	90	<i>Sequoia sempervirens</i>	35.5	Yes				
31	<i>Prunus serrulata</i>	8, 7.5, 9	Yes	66	<i>Calocedrus deccurens</i>	18	Yes	91	<i>Aesculus californica</i>	7, 6.5	Yes				
32	<i>Quercus agrifolia</i>	23	Yes	68	<i>Prunus ilicifolia ssp. lyonii</i>	14	Yes	92	<i>Quercus agrifolia</i>	6, 4, 3	Yes				

PLANTING PLAN

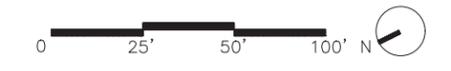


Planting Zones

- 1. Oak Woodland
- 2. Riparian Woodland
- 3. Redwood Forest
- 4. Soft Chaparral & Mediterranean Mix
- 5. Lawn & Mixed Meadow
- 6. Dwarf Conifer Garden

LANDSCAPE DESIGN

NOTE: Refer to Planting Design Character and Planting Schedule for more information.



PLANTING DESIGN CHARACTER



Oak Woodland



Riparian Woodland



Redwood Forest



Soft Chaparral & Mediterranean Mix



Lawn & Mixed Meadow



Dwarf Conifer Garden

PLANTING SCHEDULE

Oak Woodland

Trees + Structural Shrubs				Understory species			
Scientific Name	Common Name	Size	WUCOLS	Scientific Name	Common Name	Size	WUCOLS
<i>Aesculus californica</i>	California Buckeye	48" Box	L/VL	<i>Achillea millefolium</i>	Yarrow	1 Gal	L/VL
<i>Arctostaphylos spp.</i>	Manzanita	48" Box	L/VL	<i>Bouteloua gracilis</i>	Blue Grama	1 Gal	L/VL
<i>Ceanothus thyrsiflorus</i>	Blueblossom	5 Gal	L/VL	<i>Ceanothus spp.</i>	California Lilac	5 Gal	L/VL
<i>Heteromeles arbutifolia</i>	Toyon	48" Box	L/VL	<i>Epilobium canum</i>	California Fuchsia	1 Gal	L/VL
<i>Quercus agrifolia</i>	Coast Live Oak	48" Box 60" Box	L/VL	<i>Garrya elliptica</i>	Coast Silk-tassel	24" Box	L/VL
<i>Quercus chrysolepis</i>	Canyon Live Oak	48" Box	L/VL	<i>Holodiscus discolor</i>	Ironwood	1 Gal	L/VL
<i>Quercus kelloggii</i>	California Black Oak	48" Box	L/VL	<i>Iris douglasiana</i>	Douglas Iris	1 Gal	L/VL
<i>Quercus suber</i>	Cork Oak	48" Box	L/VL	<i>Native CA dry ferns</i>	N/A	1 Gal	M
<i>Quercus tomentella</i>	Island Oak	48" Box	L/VL	<i>Penstemon heterophyllus</i>	Foothill Penstemon	1 Gal	L/VL

Riparian Woodland

Trees + Structural Shrubs				Understory species			
Scientific Name	Common Name	Size	WUCOLS	Scientific Name	Common Name	Size	WUCOLS
<i>Acer macrophyllum</i>	Bigleaf Maple	48" Box	M	<i>Corylus cornuta</i>	Beaked Hazelnut	1 Gal	L/M
<i>Alnus rhombifolia</i>	White Alder	48" Box	M	<i>Iris tenax</i>	West Coast Iris	1 Gal	L/M
<i>Ginkgo biloba</i>	Maidenhair Tree	36" Box	L	<i>Iris douglasiana</i>	Douglas Iris	1 Gal	L/M
<i>Juglans hindsii</i>	Northern California Black Walnut	48" Box	M	<i>Pittosporum undulatum</i>	Victorian Box	5 Gal	L/M
<i>Platanus racemosa</i>	California Sycamore	48" Box	M	<i>Philadelphus lewisii</i>	Lewis' Mock-orange	1 Gal	L/M
<i>Sambucus nigra ssp. Caerulea</i>	Blue Elder	48" Box	M	<i>Ribes sanguineum sp glutinosa</i>	Currant	5 Gal	L/M

Redwood Forest

Trees + Structural Shrubs				Understory species			
Scientific Name	Common Name	Size	WUCOLS	Scientific Name	Common Name	Size	WUCOLS
<i>Acer circinatum</i>	Vine Maple	36" Box	M	<i>Asarum caudatum</i>	Western Wild Ginger	1 Gal	M
<i>Acer palmatum</i>	Japanese Maple	36" Box	M	<i>Heuchera maxima</i>	Coral Bells	1 Gal	M
<i>Brugmansia spp.</i>	Angel's Trumpets	5 Gal	M	<i>Iris tenax</i>	West Coast Iris	1 Gal	M
<i>Corylus cornuta</i>	California Hazelnut	5 Gal	M	<i>Iris douglasiana</i>	Douglas Iris	1 Gal	M
<i>Dicksonia antarctica</i>	Tree Fern	5 Gal	M	<i>Myrica californica</i>	Pacific Wax Myrtle	1 Gal	M
<i>Magnolia x soulangeana</i>	Saucer Magnolia	36" Box	M	<i>Native CA ferns</i>	N/A	1 Gal	M
<i>Sequoia sempervirens</i>	Coast Redwood	60" Box	M	<i>Rubus parviflorus</i>	Thimbleberry	1 Gal	M
<i>Wisteria sinensis</i>	Chinese Wisteria	5 Gal	M	<i>Penstemon heterophyllus</i>	Foothill Penstemon	1 Gal	L/VL

PLANTING SCHEDULE

Soft Chaparral & Mediterranean Mix

Trees + Structural Shrubs			
Scientific Name	Common Name	Size	WUCOLS
<i>Arctostaphylos spp.</i>	Manzanita	48" Box	L/VL
<i>Bougainvillea spp.</i>	Bougainvillea	5 Gal	L/VL
<i>Ceanothus spp.</i>	California Lilac	5 Gal	L/VL
<i>Cotinus coggygria</i>	Smoke Tree	48" Box	L/VL
<i>Leucadendron spp.</i>	Sunshine Conebush	5 Gal	L/VL
<i>Melaleuca quinquenervia</i>	Paper Bark Tea Tree	48" Box	L/VL
<i>Phoenix canariensis</i>	Canary Island Date Palm	48" Box	L/VL

Understory species			
Scientific Name	Common Name	Size	WUCOLS
<i>Aeonium spp.</i>	Aeonium	1 Gal	L/VL
<i>Epilobium canum</i>	California Fuchsia	1 Gal	L/VL
<i>Eriogonum spp.</i>	Wild Buckwheat	1 Gal	L/VL
<i>Erigeron glaucus</i>	Seaside Daisy	1 Gal	L/VL
<i>Romneya coulteri</i>	California Tree Poppy	1 Gal	L/VL
<i>Salvia clevelandii</i>	Cleveland Sage	1 Gal	L/VL
<i>Salvia spathacea</i>	California hummingbird sage	1 Gal	L/VL

Lawn & Mixed Meadow

Trees + Structural Shrubs			
Scientific Name	Common Name	Size	WUCOLS
<i>Aeonium spp.</i>	Aeonium	5 Gal	L/VL
<i>Agave attenuata</i>	Foxtail Agave	5 Gal	L/VL
<i>Carex praegracilis</i>	Field Sedge	5 Gal	L/VL
<i>Ceanothus spp.</i>	Blueblossom	5 Gal	L/VL
<i>Eriogonum arborescens</i>	Santa Cruz Island Buckwheat	5 Gal	L/VL
<i>Muhlenbergia capillaris</i>	Pine Muhly	5 Gal	L/VL
<i>Muhlenbergia rigens</i>	Deergrass	5 Gal	L/VL

Understory species			
Scientific Name	Common Name	Size	WUCOLS
<i>Bouteloua gracilis 'Blonde Ambition'</i>	Blue Grama	1 Gal	L/VL
<i>Calamagrostis foliosa</i>	Mendocino Reed Grass	1 Gal	L/VL
<i>Elymus multisetus</i>	Squirreltail Wild Rye	1 Gal	L/VL
<i>Escholzia californica</i>	California Poppy	4" Pot	L/VL
<i>Festuca spp.</i>	Fine Fescue	1 Gal	L/VL
<i>Lomandra longifolia</i>	Dwarf Mat Rush	1 Gal	L/VL
<i>Stipa pulchra</i>	Purple needlegrass	1 Gal	L/VL

Dwarf Conifer Garden

Trees + Structural Shrubs			
Scientific Name	Common Name	Size	WUCOLS
<i>Arctostaphylos uva-ursi 'Point. Reyes'</i>	Point Reyes Manzanita	5 Gal	L/VL
<i>Ceanothus maritimus</i>	Maritime Ceanothus	5 Gal	L/VL
<i>Cedrus atlantica 'Glauca Pendula'</i>	Atlas Cedar	36" Box	M
<i>Cedrus deodara 'Prostrate Beauty'</i>	Prostrate Beauty Deodar Cedar	5 Gal	M
<i>Ginkgo biloba 'Mariken'</i>	Mariken' Maidenhair Tree	24" Box	M
<i>Pinus contorta 'Spaans Dwarf'</i>	Spain's Dwarf Shore Pine	36" Box	M
<i>Pseudotsuga menziesii 'Graceful Grace'</i>	Graceful Grace Weeping Douglas Fir	36" Box	M
<i>Rhamnus californica 'Eve Case'</i>	Coffeeberry	5 Gal	L/VL
<i>Sequoia sempervirens 'Adpressa'</i>	Adpressa Dwarf Redwood	36" Box	M
<i>Sequoia sempervirens 'Prostrate'</i>	Kelly's Prostrate	36" Box	M
<i>Sequoiadendron sempervirens 'Kelly's Prostrate'</i>	Creeping Coast Redwood	36" Box	M

TREES & STRUCTURAL SHRUB IMAGES



Aesculus californica



Arctostaphylos spp.



Ceanothus thyrsiflorus



Quercus agrifolia



Quercus chrysolepis



Quercus kelloggii



Quercus suber



Quercus tomentella

TREES & STRUCTURAL SHRUB IMAGES



Acer macrophyllum



Alnus rhombifolia



Ginkgo biloba



Juglans hindsii



Platanus racemosa

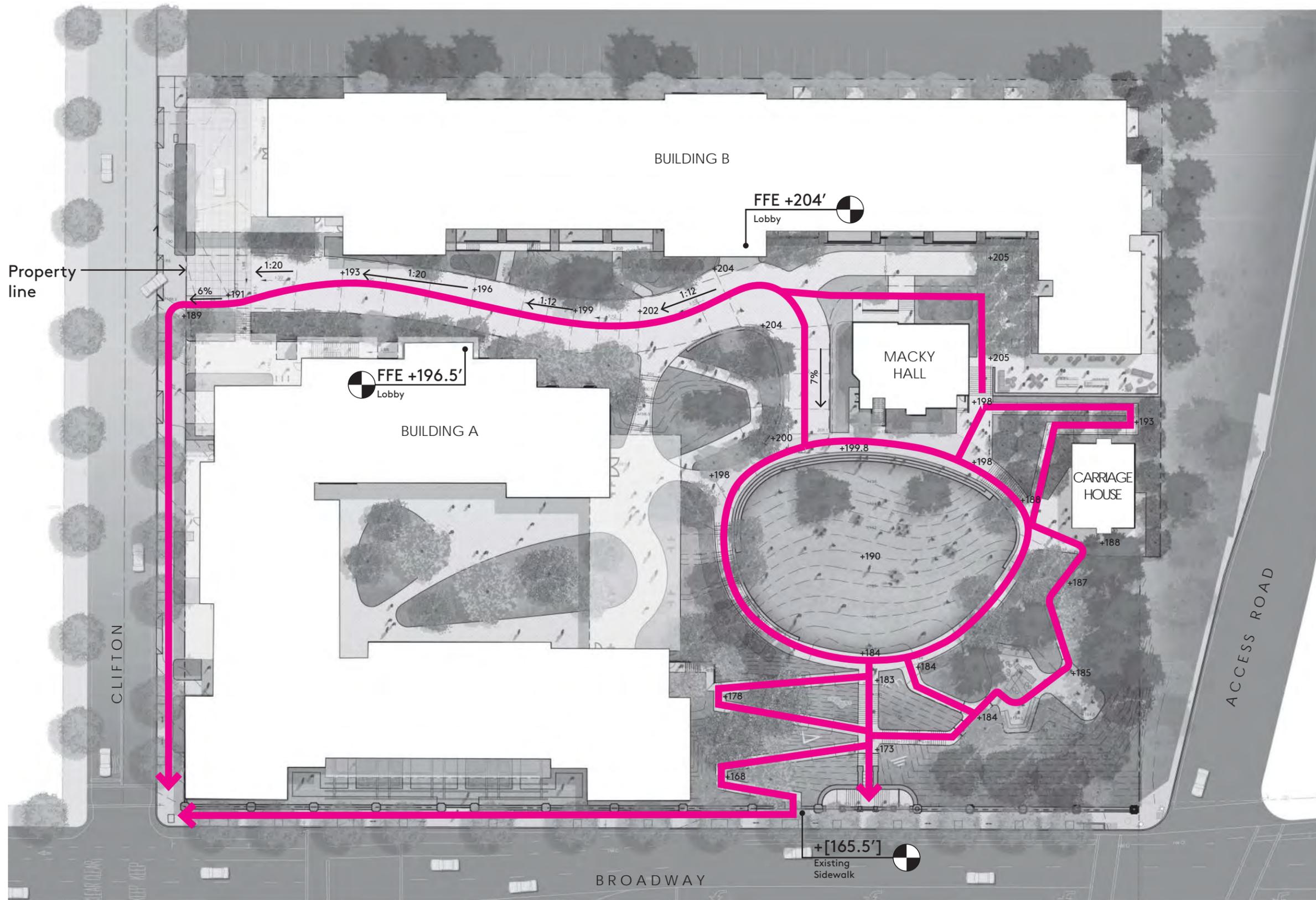


Sambucus nigra ssp. caerulea

METHOD OF IRRIGATION & WELO COMPLIANCE

1. The proposed irrigation system for this site will be designed with the latest technology in water conservation and efficiency. The system will consist of the following types of irrigation methods and equipment complying with the State Water Efficient Landscape Ordinance (WELO).
2. All small planting beds will be irrigated with water-conserving and highly efficient inline drip. All bioretention areas will be irrigated with high-efficiency pop-up pressure compensating sprinklers or inline drip spaced at 12" O.C. These sprinklers apply the water at a low application rate to reduce water runoff and ponding. All sprinklers will include built-in check valves and pressure regulators to prevent misting and low head drainage on sloped areas.
3. The controller that will manage this system uses local weather to adjust the run times of the valves based on daily weather conditions. Utilizing this type of "weather-based" system will help the landscape manager save 25% more water than with a conventional controller.
4. The irrigation design plans will include:
 - Irrigation Point of Connection (POC), including a dedicated water meter for irrigation, backflow preventer, master valve, flow sensor, and smart controller.
 - Manual shut-off(s) in case of water breaks.
 - Grouping of plant material per water use type.
 - All low and moderate water-use shrubs/groundcover areas are to be irrigated with inline drip.
 - All large shrubs and trees are to be irrigated by point source bubblers.
 - All stormwater treatment areas are to be irrigated with high-efficiency pop-up pressure compensating sprinklers.
 - All lawn areas are to be irrigated with high-efficiency pop-up pressure compensating sprinklers.
 - Irrigation plans will include water use calculations per EBMUD.
5. All landscape planting areas shall include a 3 inch minimum layer of mulch.

PUBLIC ACCESS PLAN



Legend

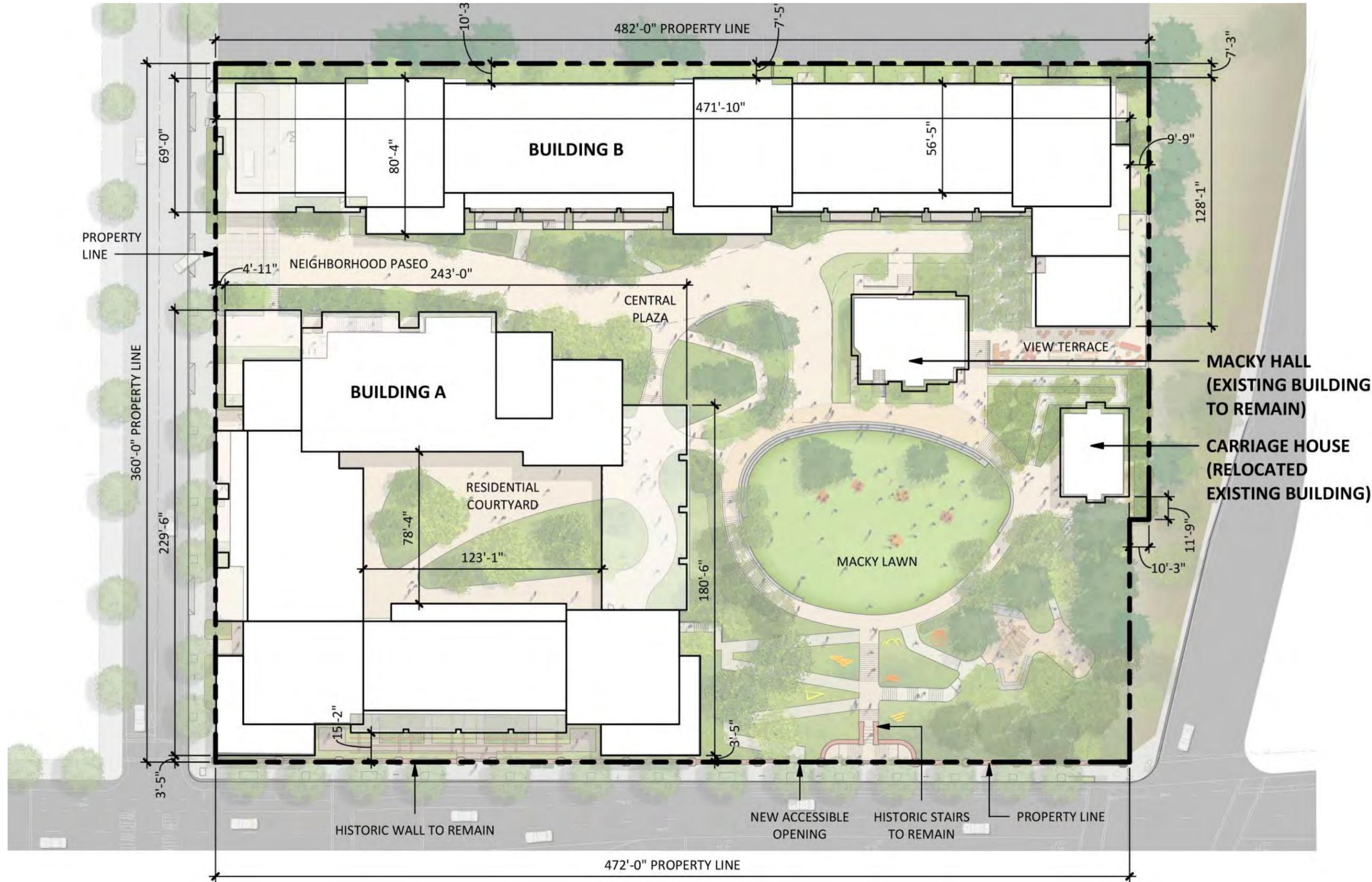
 Public access

LANDSCAPE DESIGN

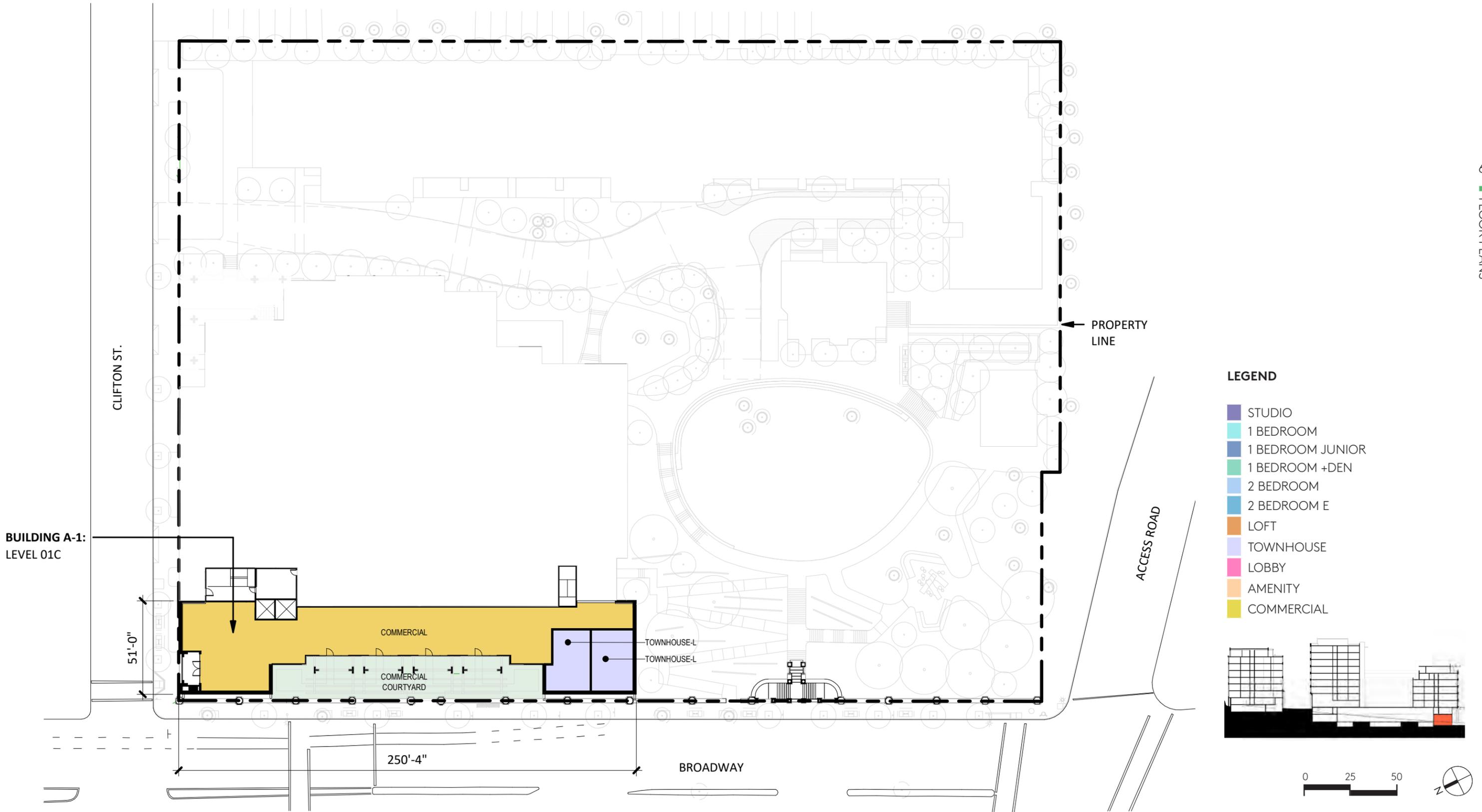


FLOOR PLANS

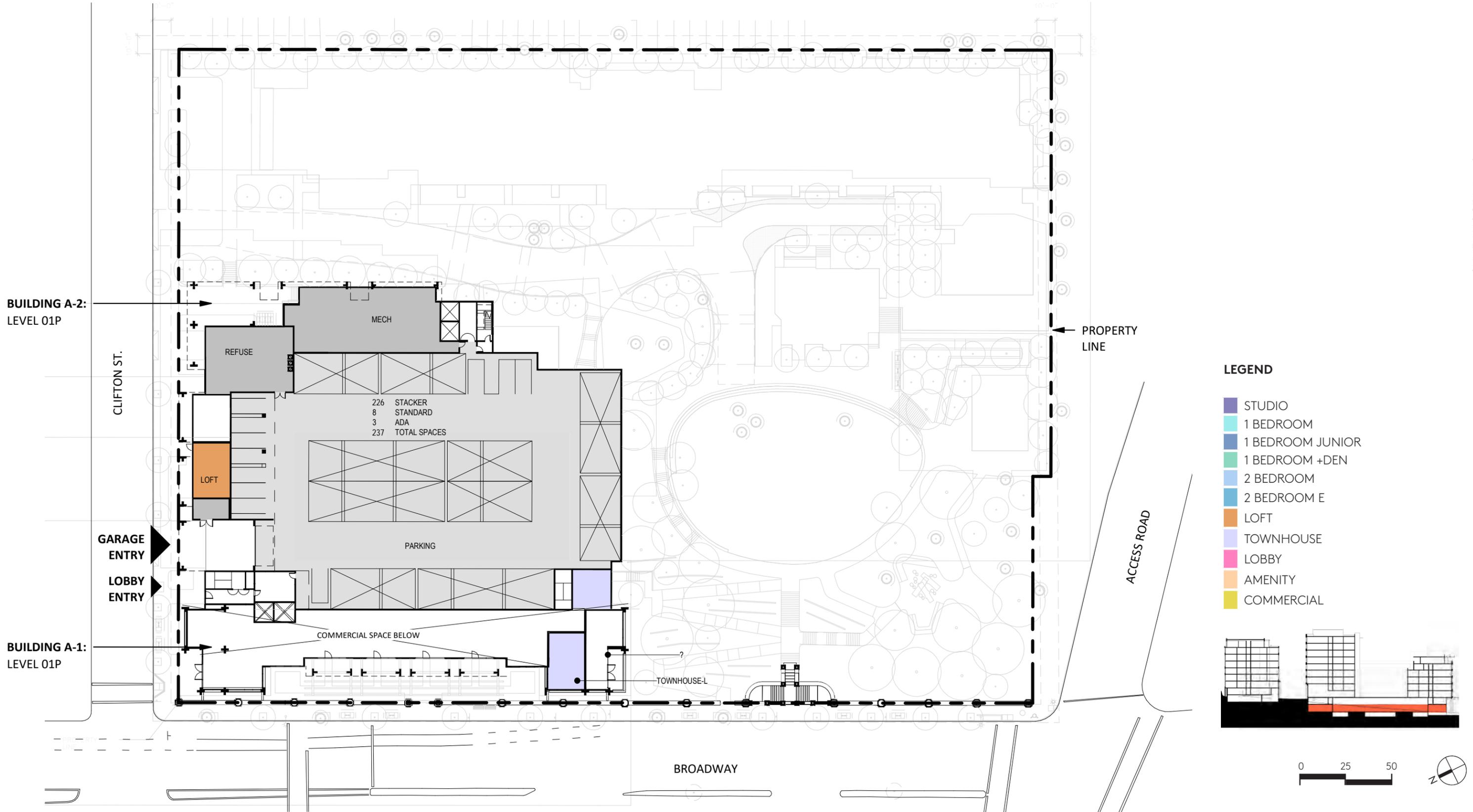
SITE PLAN: SETBACKS & BUILDING DIMENSIONS



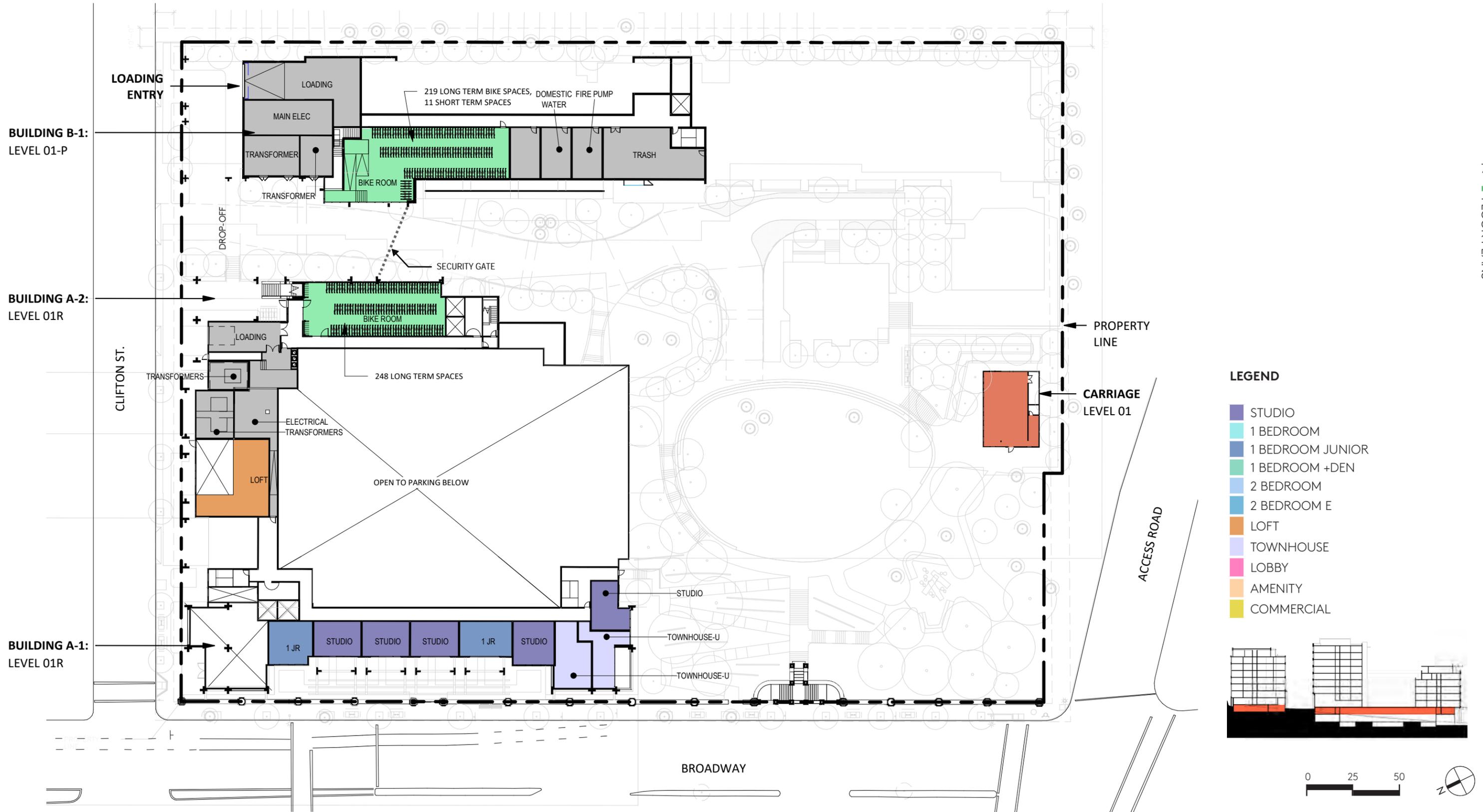
FLOOR PLAN A-01C



FLOOR PLAN A-01P



FLOOR PLAN A-01R/B-01P



FLOOR PLAN A-02/B-01



FLOOR PLAN A-03/B-02



FLOOR PLAN A-04/B-03



FLOOR PLAN A-05/B-04



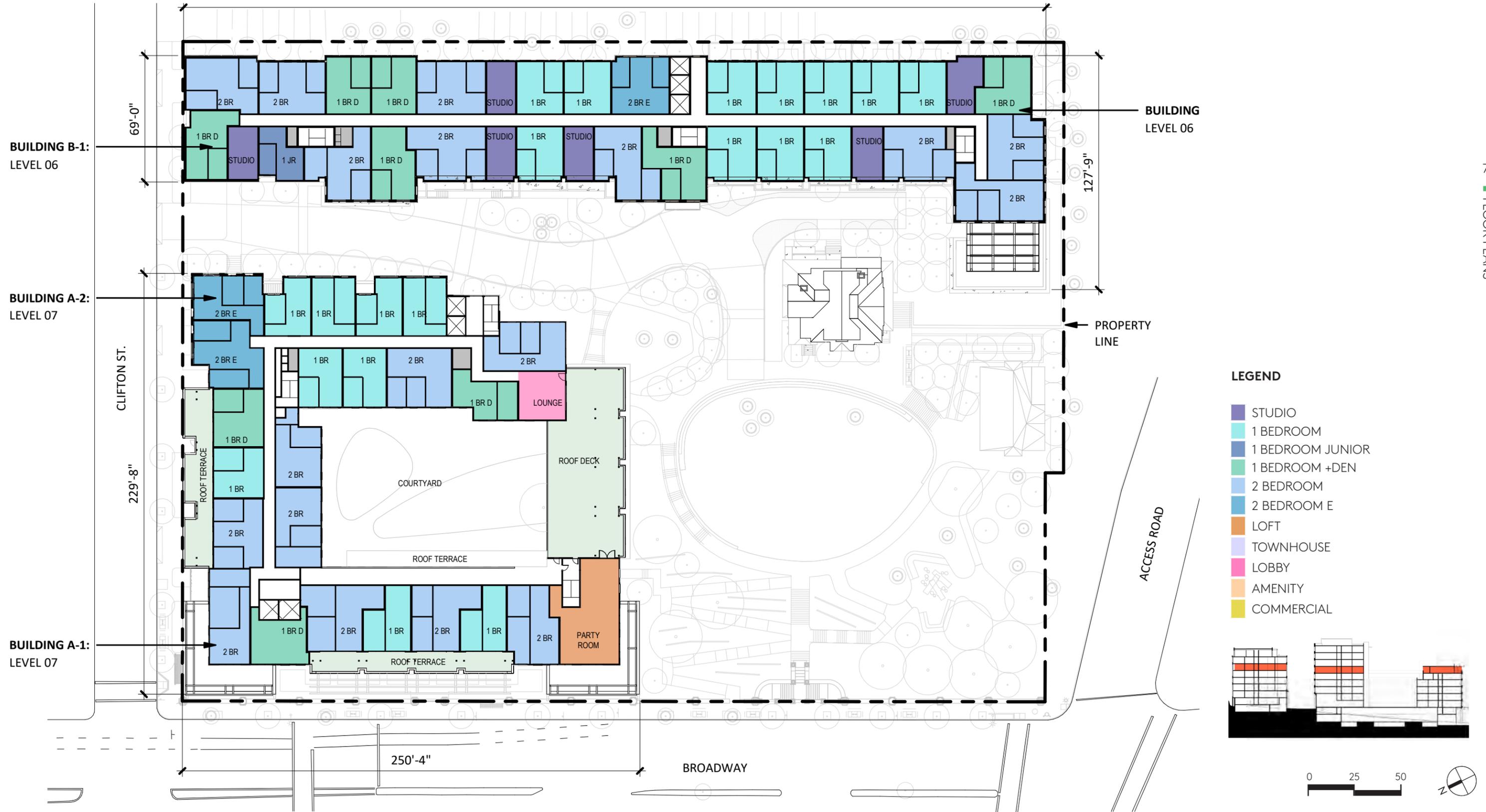
FLOOR PLAN A-06/B-05



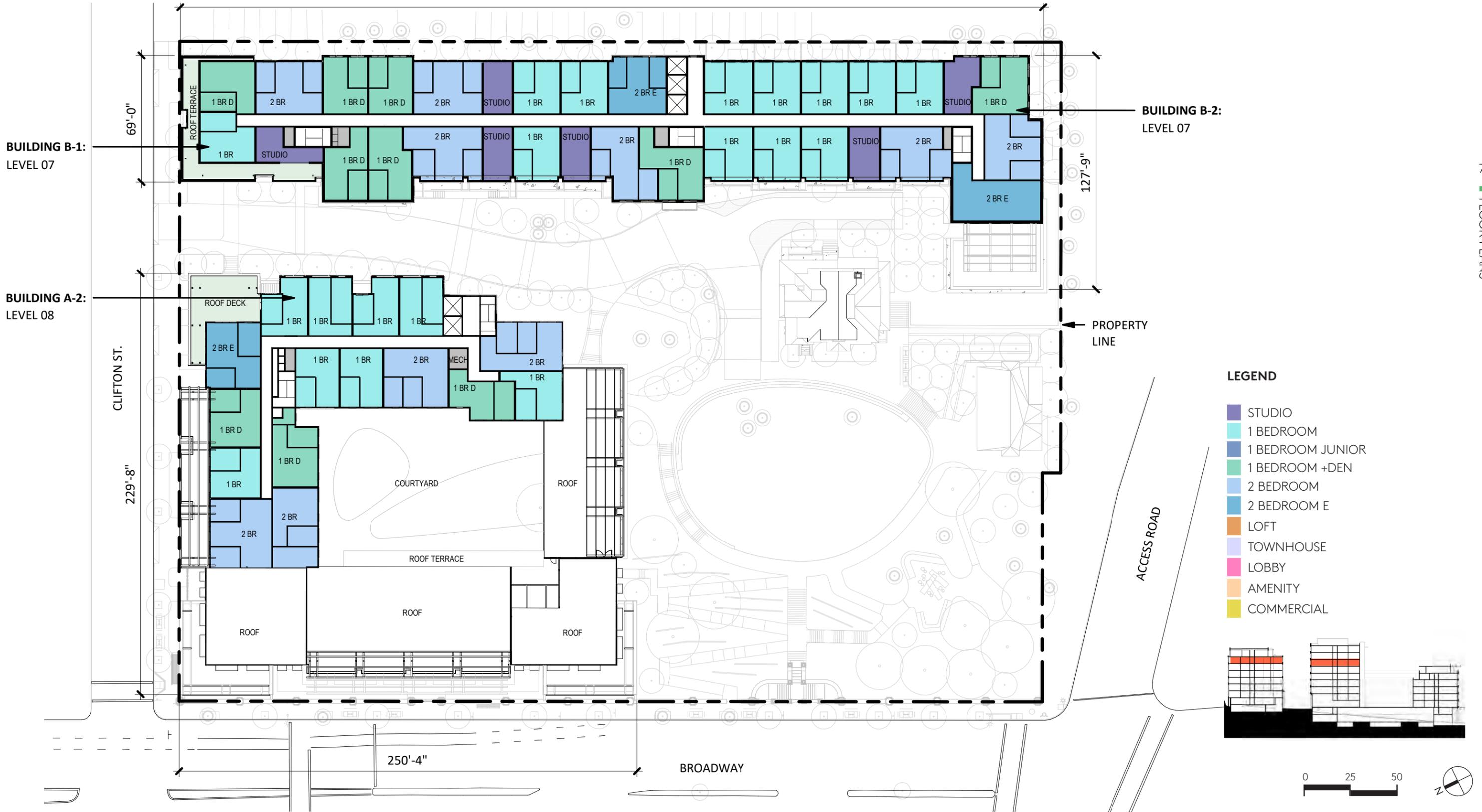
LEGEND

- STUDIO
- 1 BEDROOM
- 1 BEDROOM JUNIOR
- 1 BEDROOM +DEN
- 2 BEDROOM
- 2 BEDROOM E
- LOFT
- TOWNHOUSE
- LOBBY
- AMENITY
- COMMERCIAL

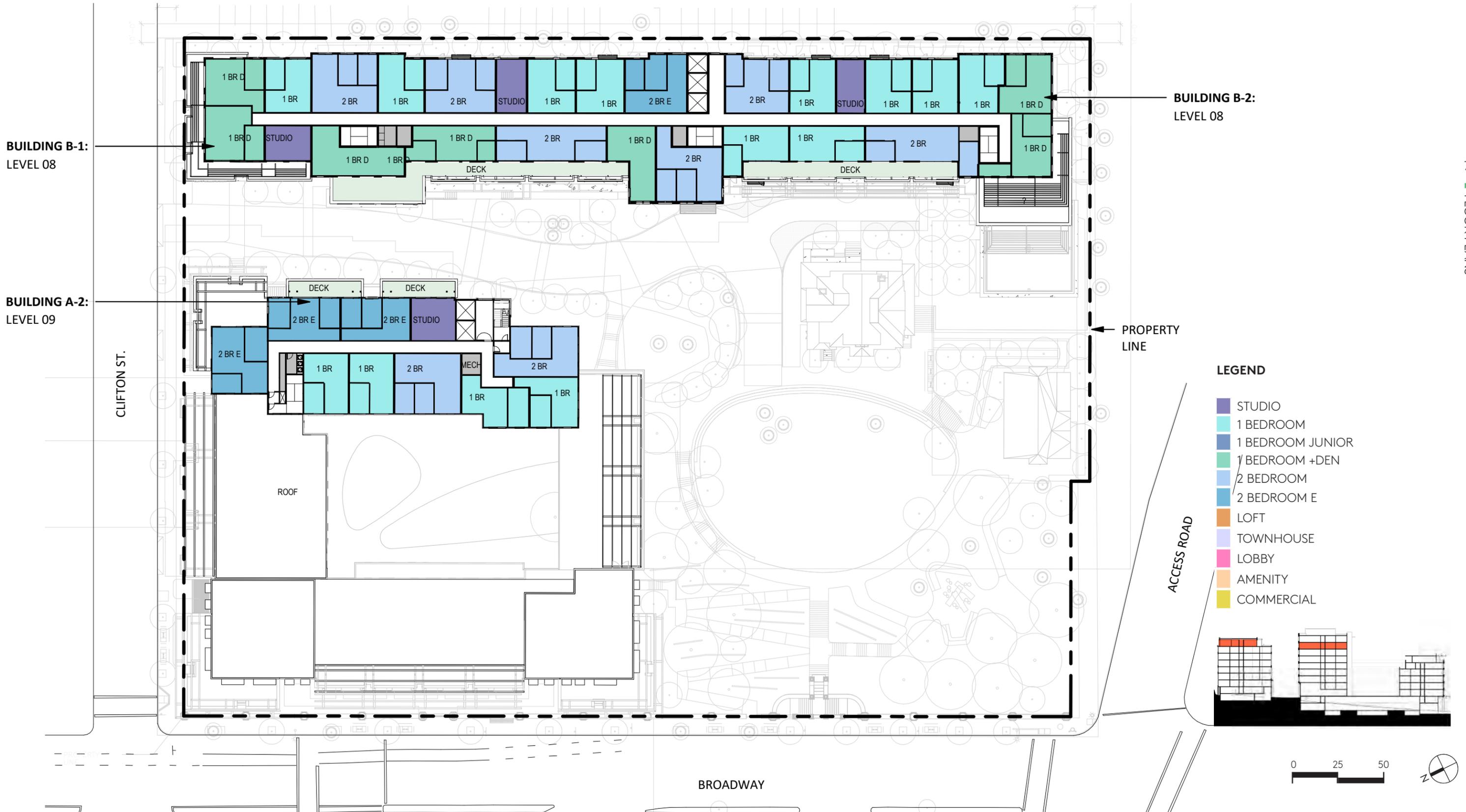
FLOOR PLAN A-07/B-06



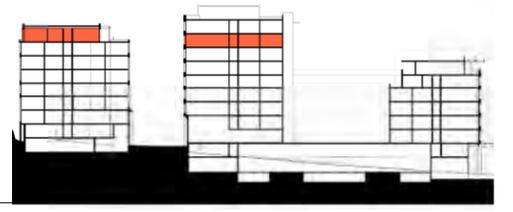
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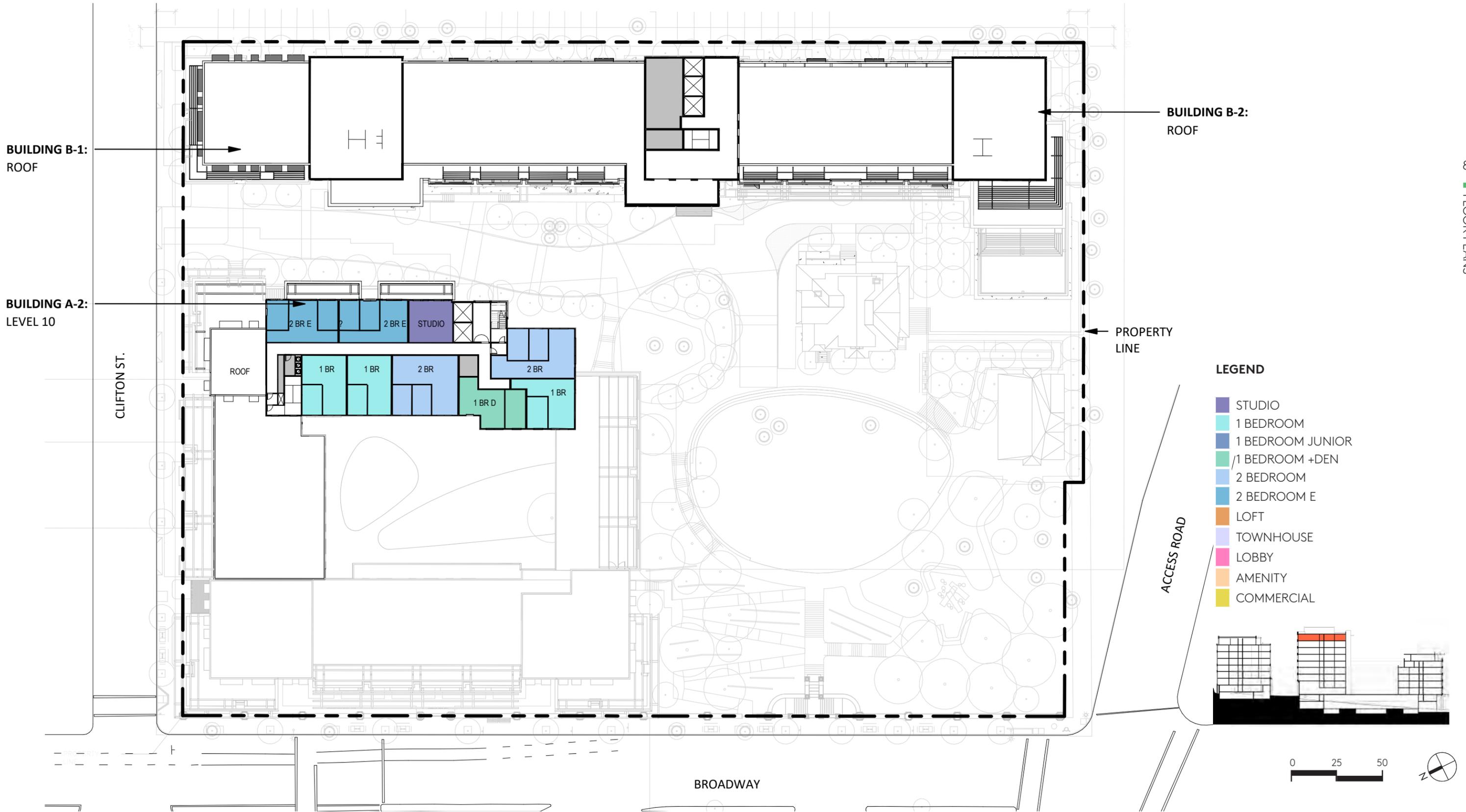
FLOOR PLAN A-09/B-08



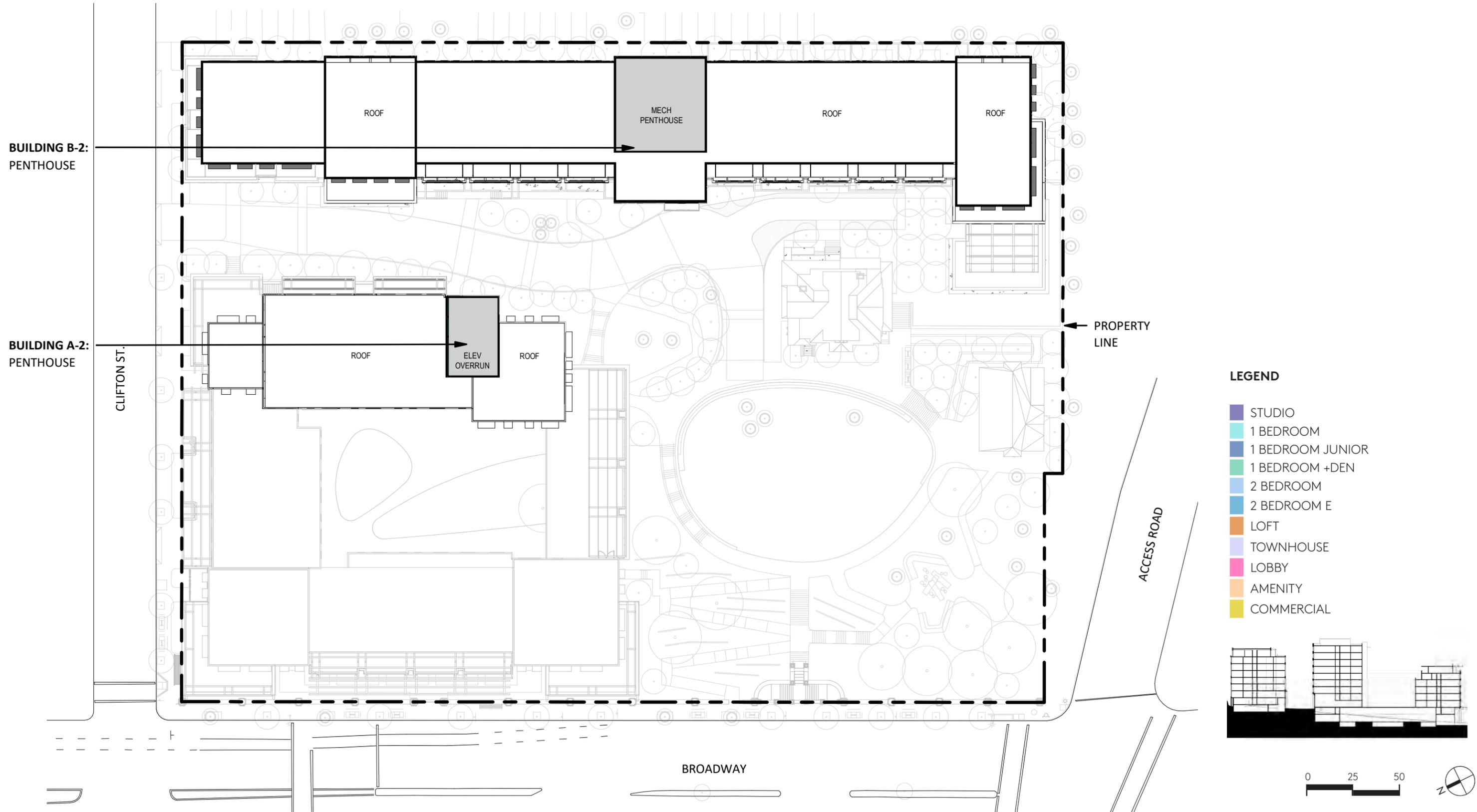
- LEGEND**
- STUDIO
 - 1 BEDROOM
 - 1 BEDROOM JUNIOR
 - 1 BEDROOM +DEN
 - 2 BEDROOM
 - 2 BEDROOM E
 - LOFT
 - TOWNHOUSE
 - LOBBY
 - AMENITY
 - COMMERCIAL



FLOOR PLAN A-10/B-ROOF



ROOF PLAN



ELEVATIONS & SECTIONS

BUILDING ELEVATIONS: BUILDING A - WEST (BROADWAY)



- METAL SPANDREL A
- METAL SPANDREL B
- METAL SPANDREL C
- CERAMIC TILE A
- CERAMIC TILE B
- CONCRETE
- MURAL WALL
- CEMENT PLASTER (UPPER-LEVELS)
- PERFORATED METAL
- CEMENT PLASTER (MID-LEVELS)
- CEMENT BOARD & BATTEN
- BRICK VENEER
- METAL TRELLIS OR CANOPY

83 ELEVATIONS & SECTIONS



SCALE: 1/16" = 1' *NOTE: FOR DIMENSIONS SEE SECTIONS

Existing Broadway Wall & Gate (No Change)

BUILDING ELEVATIONS: BUILDING A - SOUTH (MACKY LAWN)



Existing Broadway Wall (No Change)

SCALE: 1/16" = 1' *NOTE: FOR DIMENSIONS SEE SECTIONS

BUILDING ELEVATIONS: BUILDING A - EAST (PASEO)



- METAL SPANDREL A
- METAL SPANDREL B
- METAL SPANDREL C
- CERAMIC TILE A
- CERAMIC TILE B
- CONCRETE
- MURAL WALL
- CEMENT PLASTER (UPPER-LEVELS)
- PERFORATED METAL
- CEMENT PLASTER (MID-LEVELS)
- CEMENT BOARD & BATTEN
- BRICK VENEER
- METAL TRELLIS OR CANOPY

85
ELEVATIONS & SECTIONS



SCALE: 1/16" = 1' *NOTE: FOR DIMENSIONS SEE SECTIONS

BUILDING ELEVATIONS: BUILDING A - NORTH (CLIFTON)



- METAL SPANDREL A
- METAL SPANDREL B
- METAL SPANDREL C
- CERAMIC TILE A
- CERAMIC TILE B
- CONCRETE
- MURAL WALL
- CEMENT PLASTER (UPPER-LEVELS)
- PERFORATED METAL
- CEMENT PLASTER (MID-LEVELS)
- CEMENT BOARD & BATTEN
- BRICK VENEER
- METAL TRELLIS OR CANOPY



SCALE: 1/16" = 1' *NOTE: FOR DIMENSIONS SEE SECTIONS

PARTIAL BUILDING ELEVATION: BUILDING A

Board & Batt Fiber Cement Siding (Painted)

Metal Canopy (Painted)

Aluminum Window System, Bronze Anodized, Typ.

Metal Trellis (Painted)

Brick Veneer Soldier Course, Typ.

Opaque Spandrel Panel at Floorline

Brick Veneer Soldier Course

Running-Bond Brick Veneer

Ceramic Tile

Aluminum Window System, Clear Anodized, Typ.

Wood Trellis Beams

Metal Signage, 18" Letters, Suspended From Trellis

Perforated Metal Sunshade

Cast In Place Concrete Base

Opaque Spandrel Panel at Floorline

Metal Trellis (Painted)

Cement Plaster (Painted)

Metal Cap (Painted)

Metal Guardrail, Typ.

Cement Plaster (Painted)

Reveal, Typ.

Cement Plaster (Painted)

Opaque Spandrel Panel at Floorline

Aluminum Window System, Clear Anodized, Typ.

Metal Signage, 12" Letters, Suspended From Trellis

Wood Trellis Beams

Aluminum Window System, Bronze Anodized, Typ.

Opaque Spandrel Panel at Floorline

Cast In Place Concrete Trellis Structure

Ceramic Tile

Existing Broadway Wall (No Change)

PARTIAL ELEVATION: BROADWAY (WEST)

SCALE: 3/32" = 1'

BUILDING ELEVATIONS: BUILDING B - WEST (PARTIAL NORTH SIDE)



- BRICK VENEER
- METAL TRELLIS OR CANOPY
- LARGE FORMAT CERAMIC TILE
- CERAMIC TILE
- MURAL WALL
- CAST IN PLACE CONCRETE
- CEMENT PLASTER A
- CEMENT PLASTER B
- CEMENT PLASTER C
- CEMENT BOARD & BATT

MATCH LINE



5214 BROADWAY



SCALE: 1/16" = 1' *NOTE: FOR DIMENSIONS SEE SECTIONS

BUILDING ELEVATIONS: BUILDING B - WEST (PARTIAL SOUTH SIDE)



- BRICK VENEER 
- METAL TRELLIS OR CANOPY 
- LARGE FORMAT CERAMIC TILE 
- CERAMIC TILE 
- MURAL WALL 
- CAST IN PLACE CONCRETE 
- CEMENT PLASTER A 
- CEMENT PLASTER B 
- CEMENT PLASTER C 
- CEMENT BOARD & BATT 

MATCH LINE



89
ELEVATIONS & SECTIONS

SCALE: 1/16" = 1' *NOTE: FOR DIMENSIONS SEE SECTIONS

BUILDING ELEVATIONS: BUILDING B - EAST (PARTIAL NORTH SIDE)



- BRICK VENEER 
- METAL TRELLIS OR CANOPY 
- LARGE FORMAT CERAMIC TILE 
- CERAMIC TILE 
- MURAL WALL 
- CAST IN PLACE CONCRETE 
- CEMENT PLASTER A 
- CEMENT PLASTER B 
- CEMENT PLASTER C 
- CEMENT BOARD & BATT 

MATCH LINE

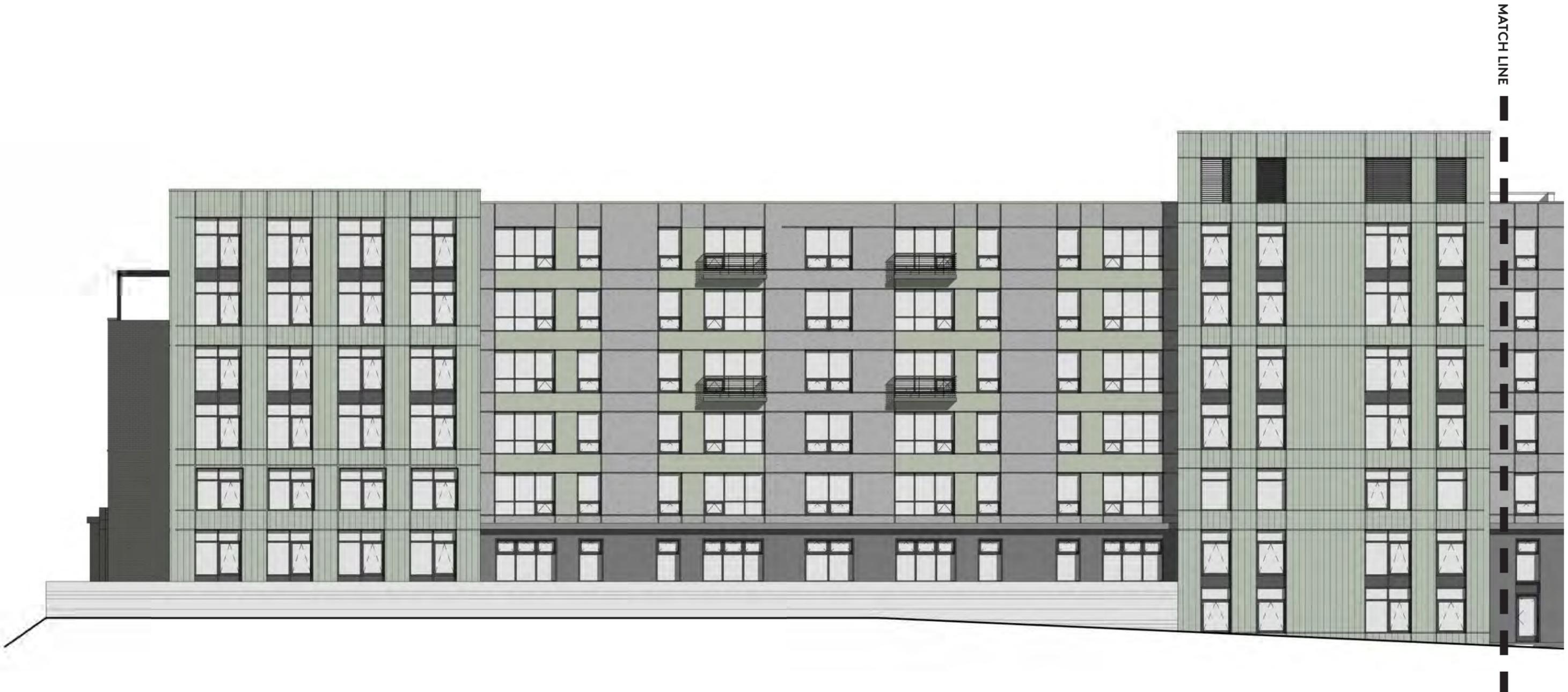


90
ELEVATIONS & SECTIONS

SCALE: 1/16" = 1' *NOTE: FOR DIMENSIONS SEE SECTIONS

BUILDING ELEVATIONS: BUILDING B - EAST (PARTIAL SOUTH SIDE)

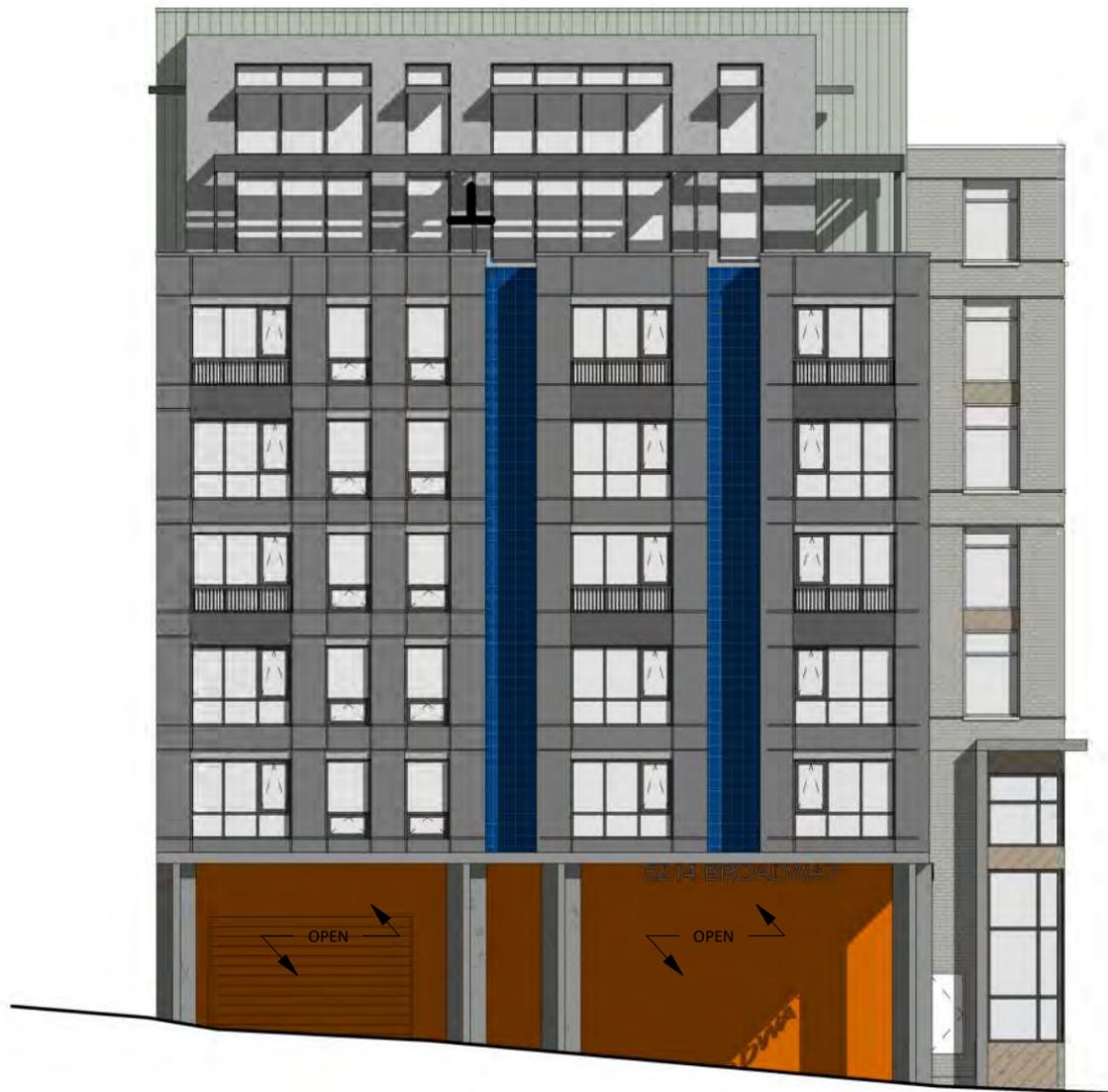
- BRICK VENEER 
- METAL TRELLIS OR CANOPY 
- LARGE FORMAT CERAMIC TILE 
- CERAMIC TILE 
- MURAL WALL 
- CAST IN PLACE CONCRETE 
- CEMENT PLASTER A 
- CEMENT PLASTER B 
- CEMENT PLASTER C 
- CEMENT BOARD & BATT 



SCALE: 1/16" = 1' *NOTE: FOR DIMENSIONS SEE SECTIONS

BUILDING ELEVATIONS: BUILDING B - NORTH & SOUTH

- BRICK VENEER 
- METAL TRELLIS OR CANOPY 
- LARGE FORMAT CERAMIC TILE 
- CERAMIC TILE 
- MURAL WALL 
- CAST IN PLACE CONCRETE 
- CEMENT PLASTER A 
- CEMENT PLASTER B 
- CEMENT PLASTER C 
- CEMENT BOARD & BATT 



ELEVATION: BUILDING B NORTH



ELEVATION: BUILDING B SOUTH

SCALE: 1/16" = 1' *NOTE: FOR DIMENSIONS SEE SECTIONS

PARTIAL BUILDING ELEVATION: BUILDING B



Aluminum Louvers, Bronze Anodized

Board & Batt Fiber Cement Siding (Painted)

Aluminum Window System, Clear Anodized, Typ.

Metal Guardrail (Painted) at French Balconies

Large Format Ceramic Tile

Running-Bond Brick Veneer

Ceramic Tile

Metal Awning (Painted) with Wood Infill

Metal Building Signage, 14" Letters Suspended From Trellis

Aluminum Window System, Clear Anodized

Opaque Spandrel Panel At Floorline

Metal Trellis (Painted)

Cement Plaster (Painted)

Metal Guardrail (Painted)

Aluminum Window System, Bronze Anodized, Typ.

Reveal, Typ.

Cement Plaster (Painted)

Metal Guardrail

Cement Plaster (Painted)

Wood Trellis

Cast In Place Concrete

Aluminum Window System, Bronze Anodized, Typ.

Ceramic Tile

Large Format Ceramic Tile

Painted Unit Entry Door

Metal Guardrail (Painted)

Board Formed Concrete

PARTIAL ELEVATION: WEST

SCALE: 3/32" = 1'

BUILDING ELEVATIONS: EXISTING BUILDINGS

MACKY HALL

Scope of modifications to historic structure:

- None



MACKY HALL NORTH



MACKY HALL SOUTH



MACKY HALL EAST

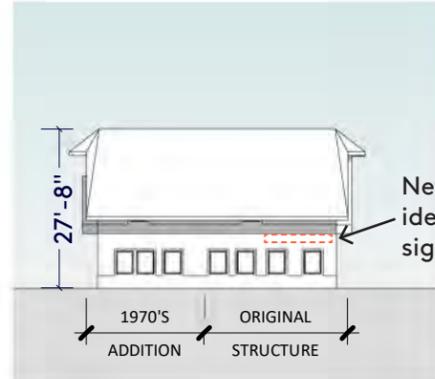


MACKY HALL WEST

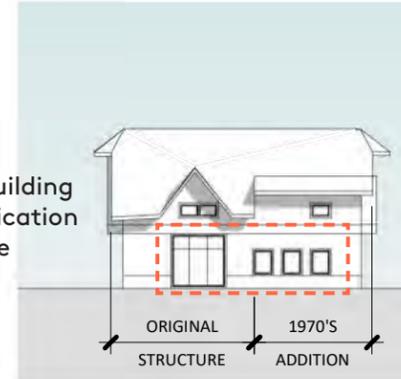
CARRIAGE HOUSE

Scope of modifications to historic structure:

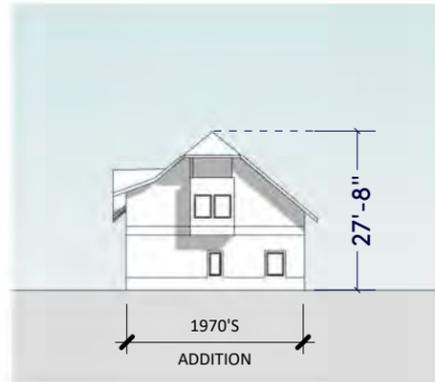
- Potential opening modification to south elevation. Opening size and location derived from original Carriage House door with additional windows to promote daylight on southern elevation.



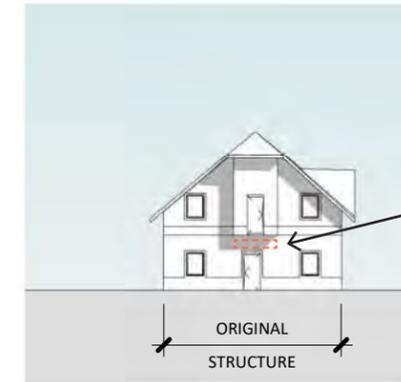
CARRIAGE NORTH



CARRIAGE SOUTH

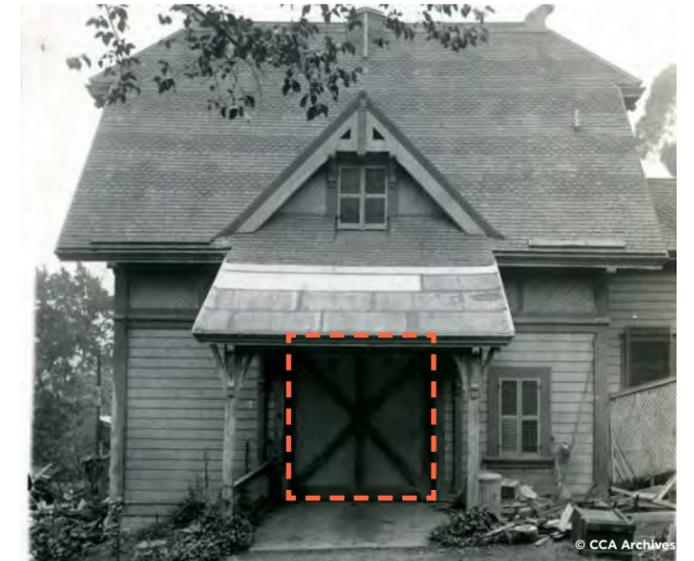


CARRIAGE EAST

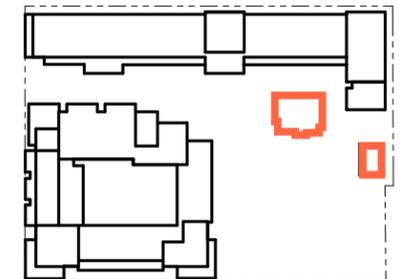


CARRIAGE WEST

NOTE: BUILDING HEIGHTS SHOWN ARE ESTIMATED



ORIGINAL CARRIAGE HOUSE ENTRANCES (CURRENT SOUTH ELEVATION)



SCALE: 1/32" = 1'

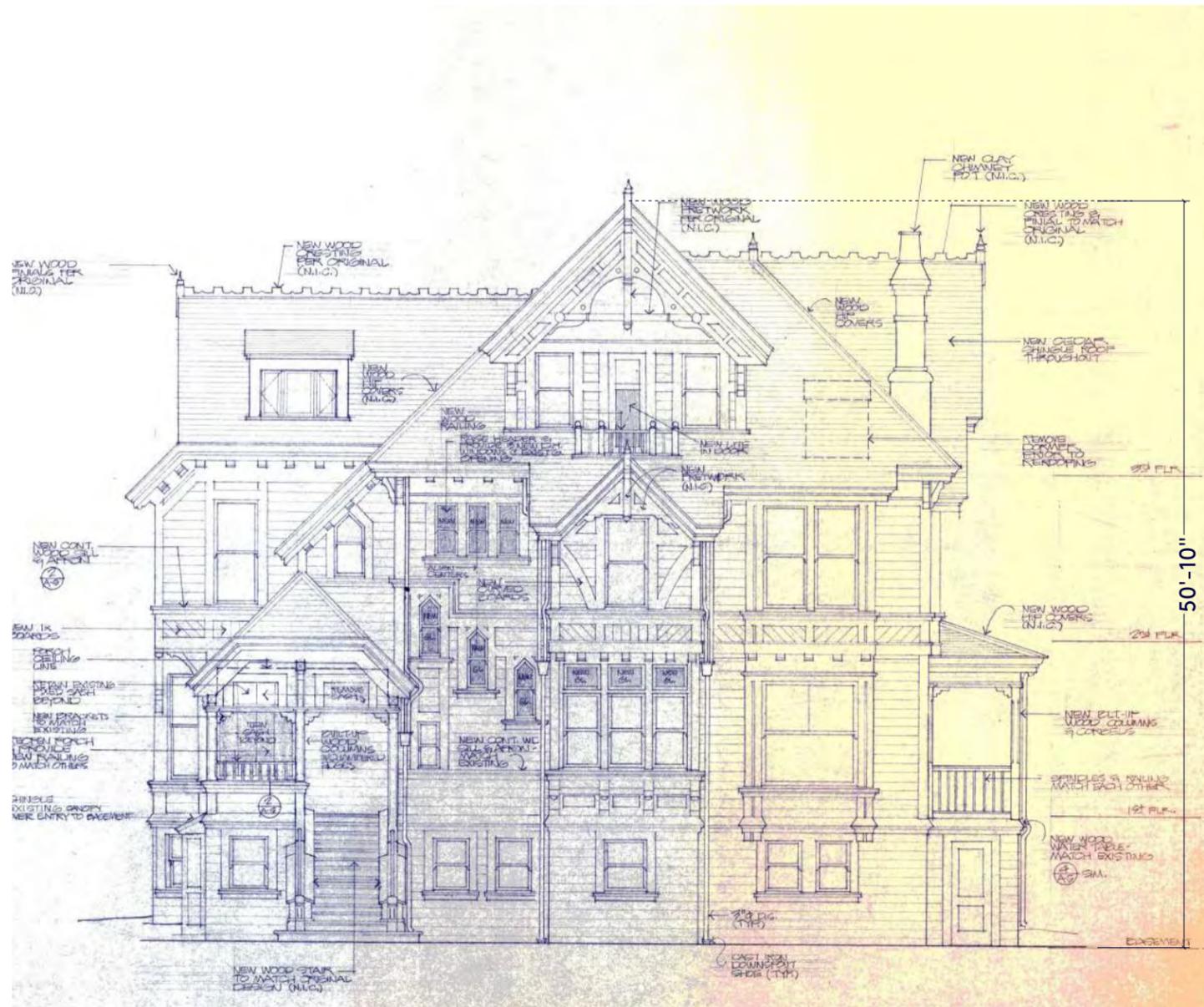


BUILDING ELEVATIONS: EXISTING BUILDINGS

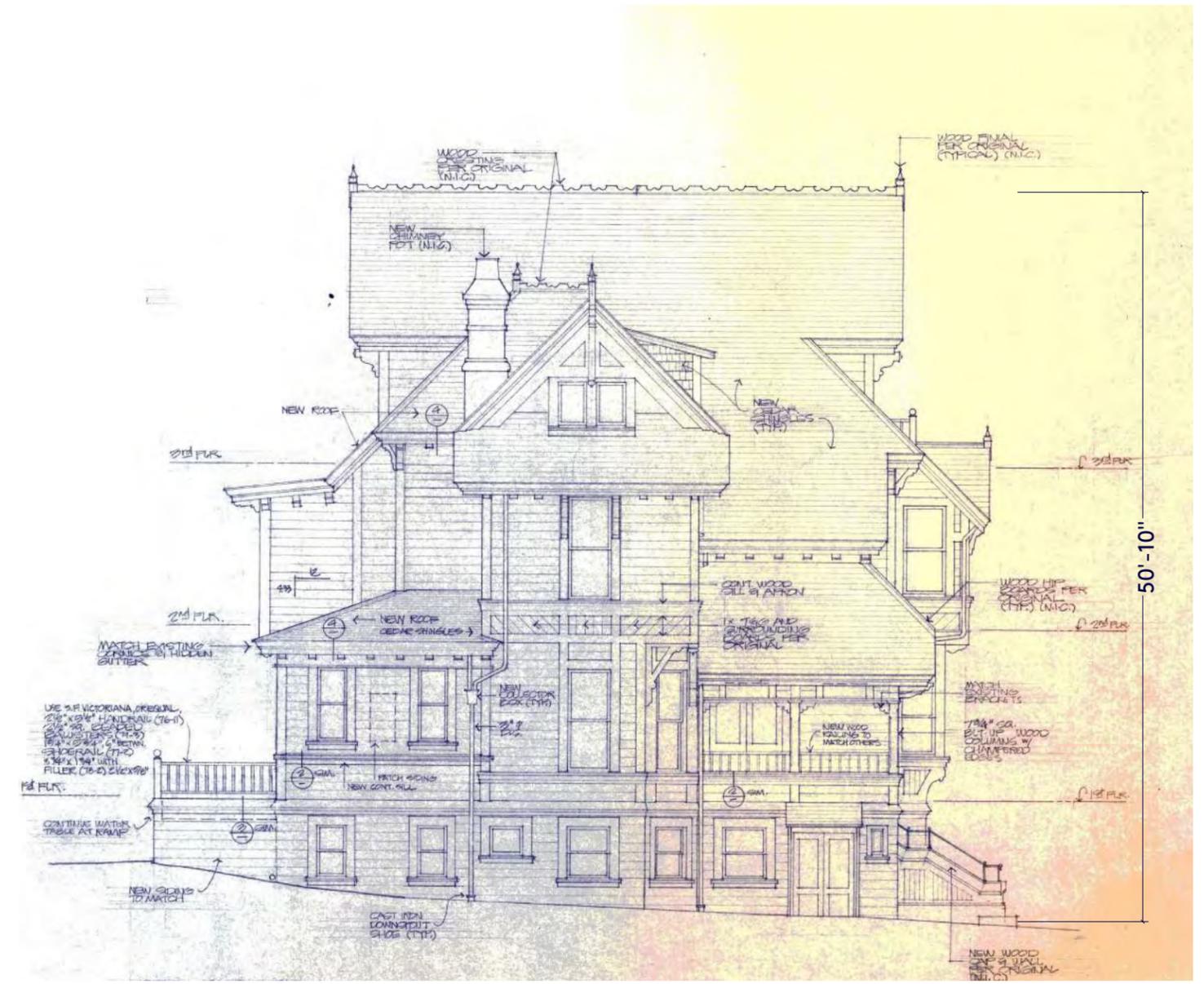
MACKY HALL

Scope of modifications to historic structure:

- None



MACKY HALL WEST

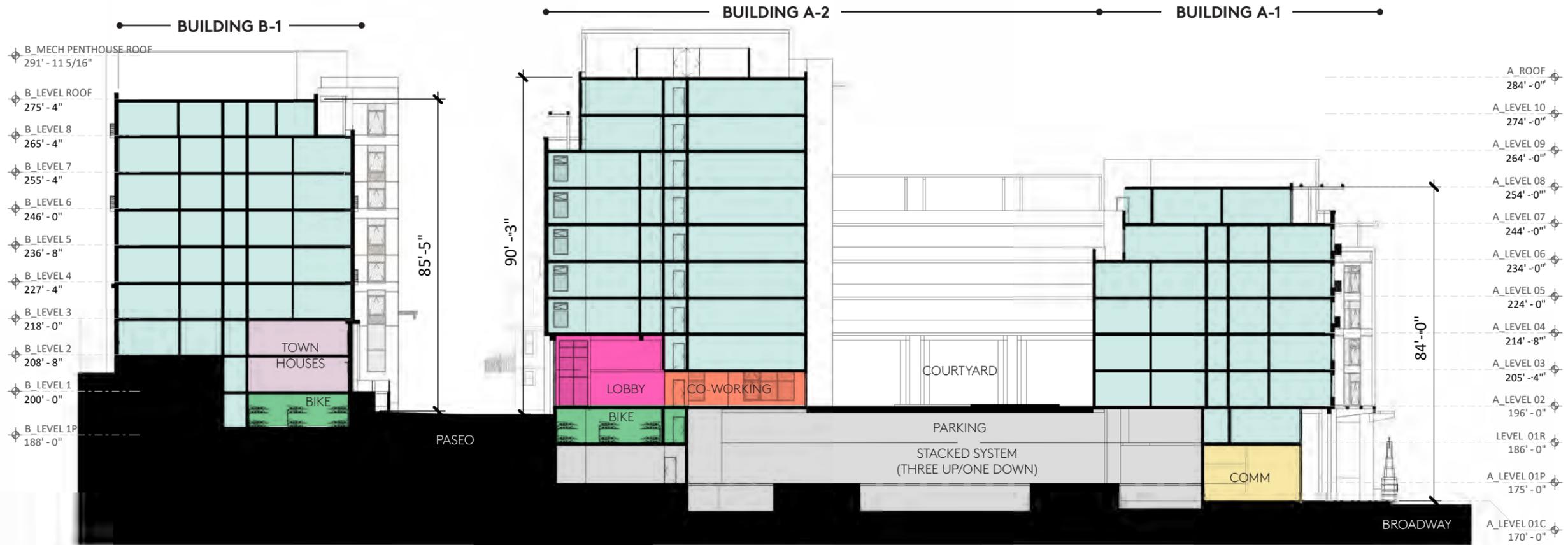


MACKY HALL NORTH

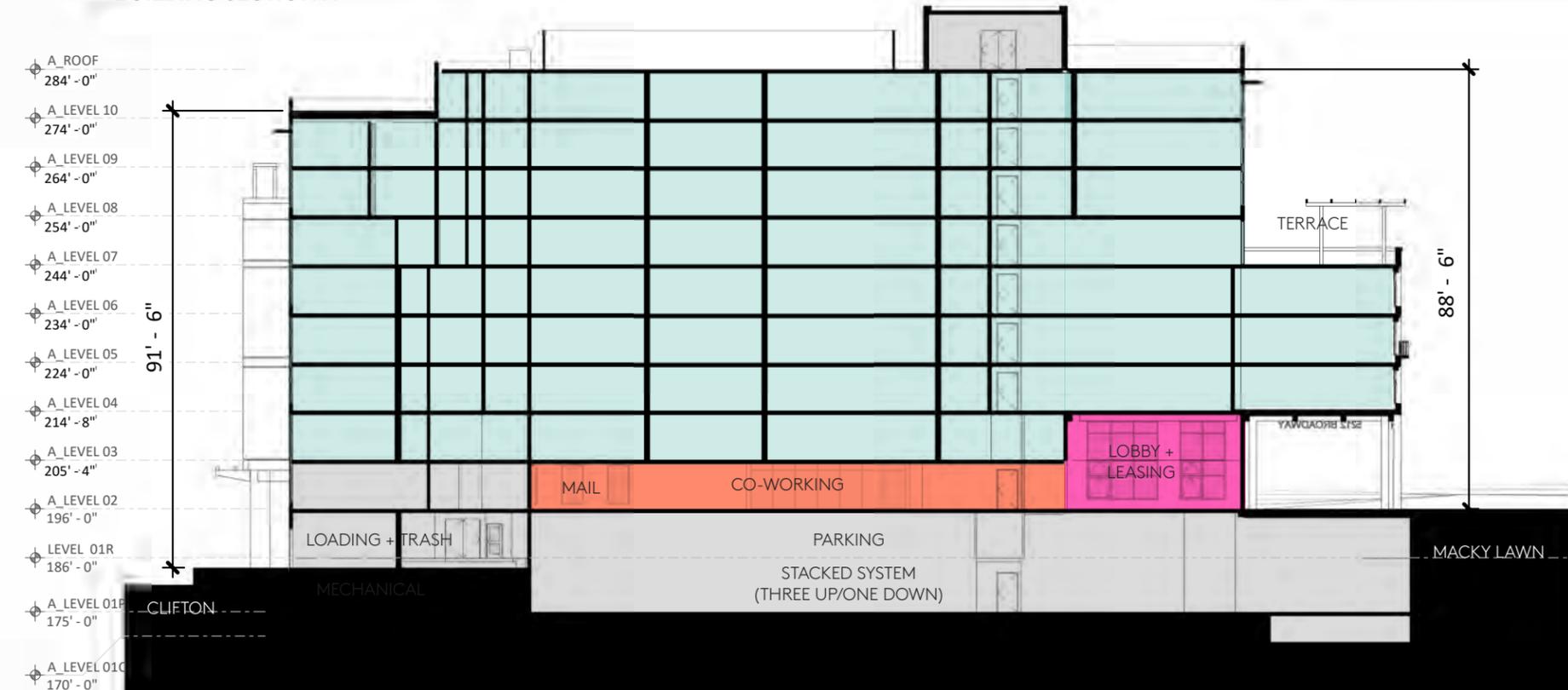
NOTE: BUILDING HEIGHTS SHOWN ARE ESTIMATED

SCALE: NOT TO SCALE

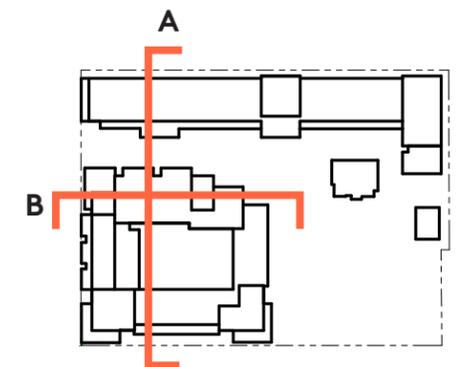
SITE SECTIONS



BUILDING SECTION A

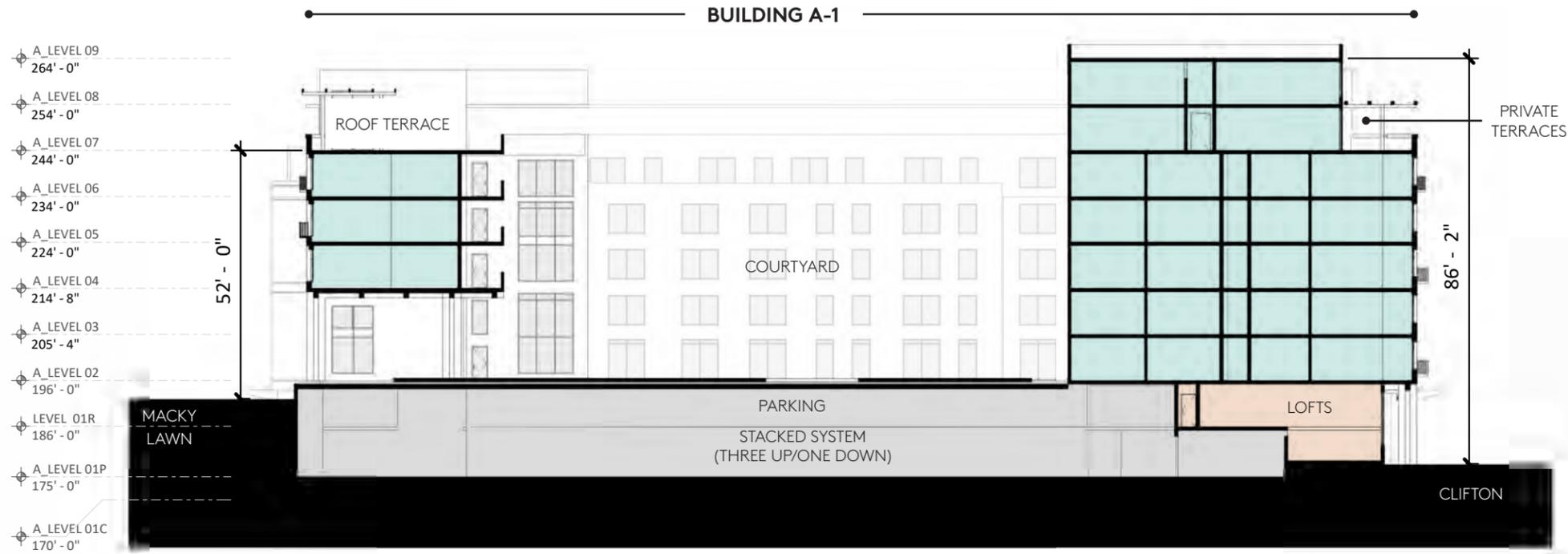


BUILDING SECTION B

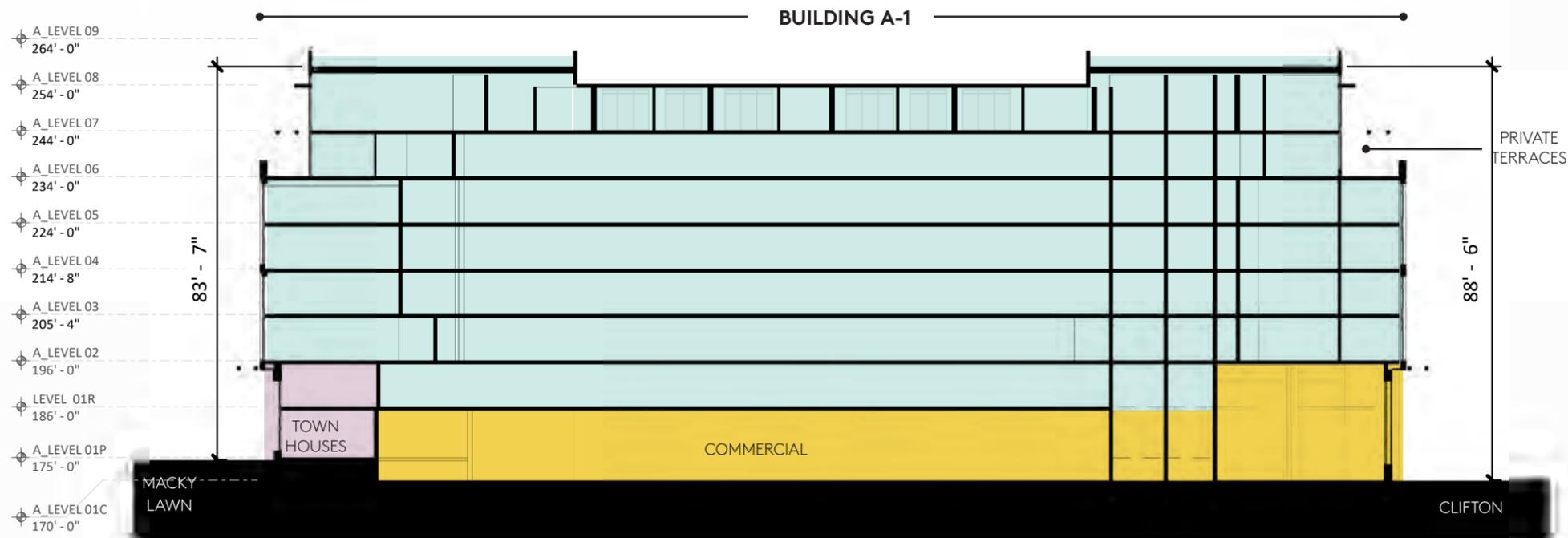


SCALE: 1/32" = 1'

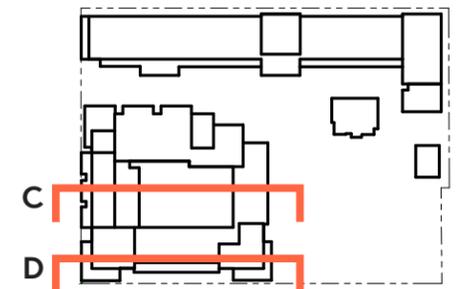
SITE SECTIONS



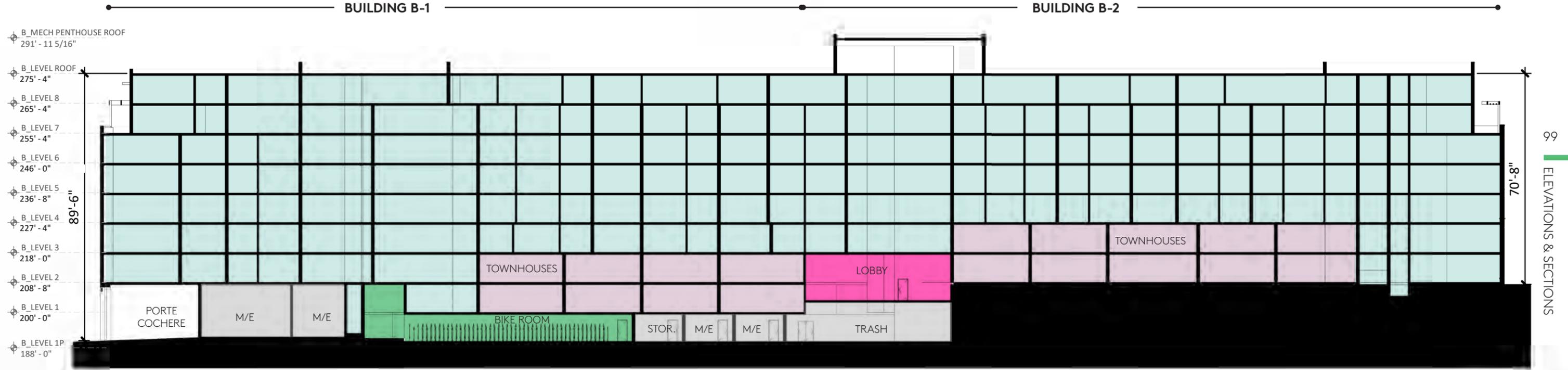
BUILDING SECTION C



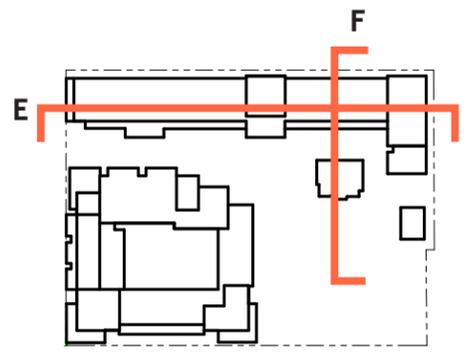
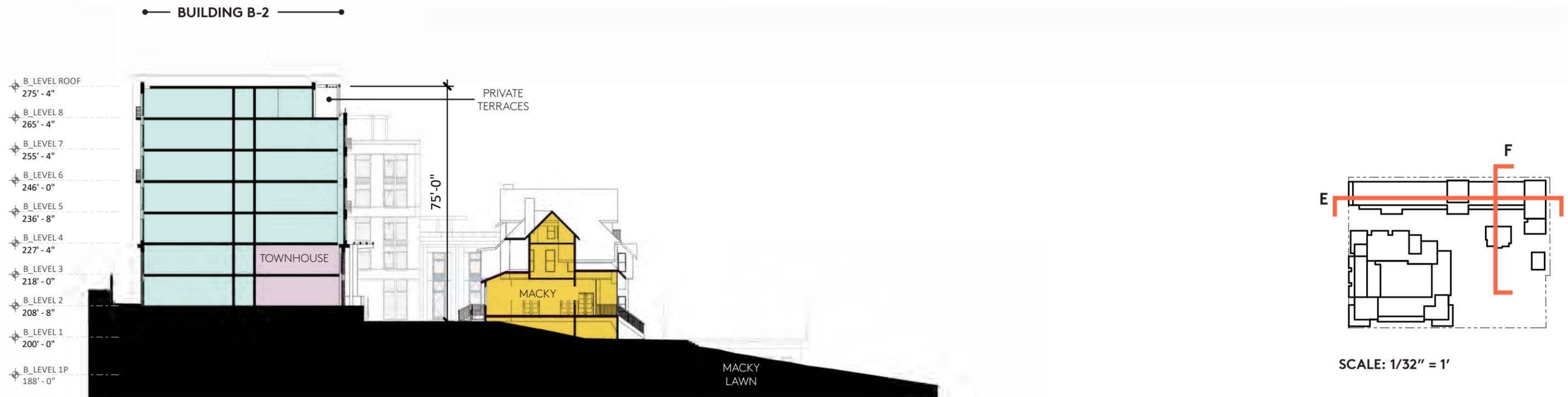
BUILDING SECTION D



SITE SECTIONS

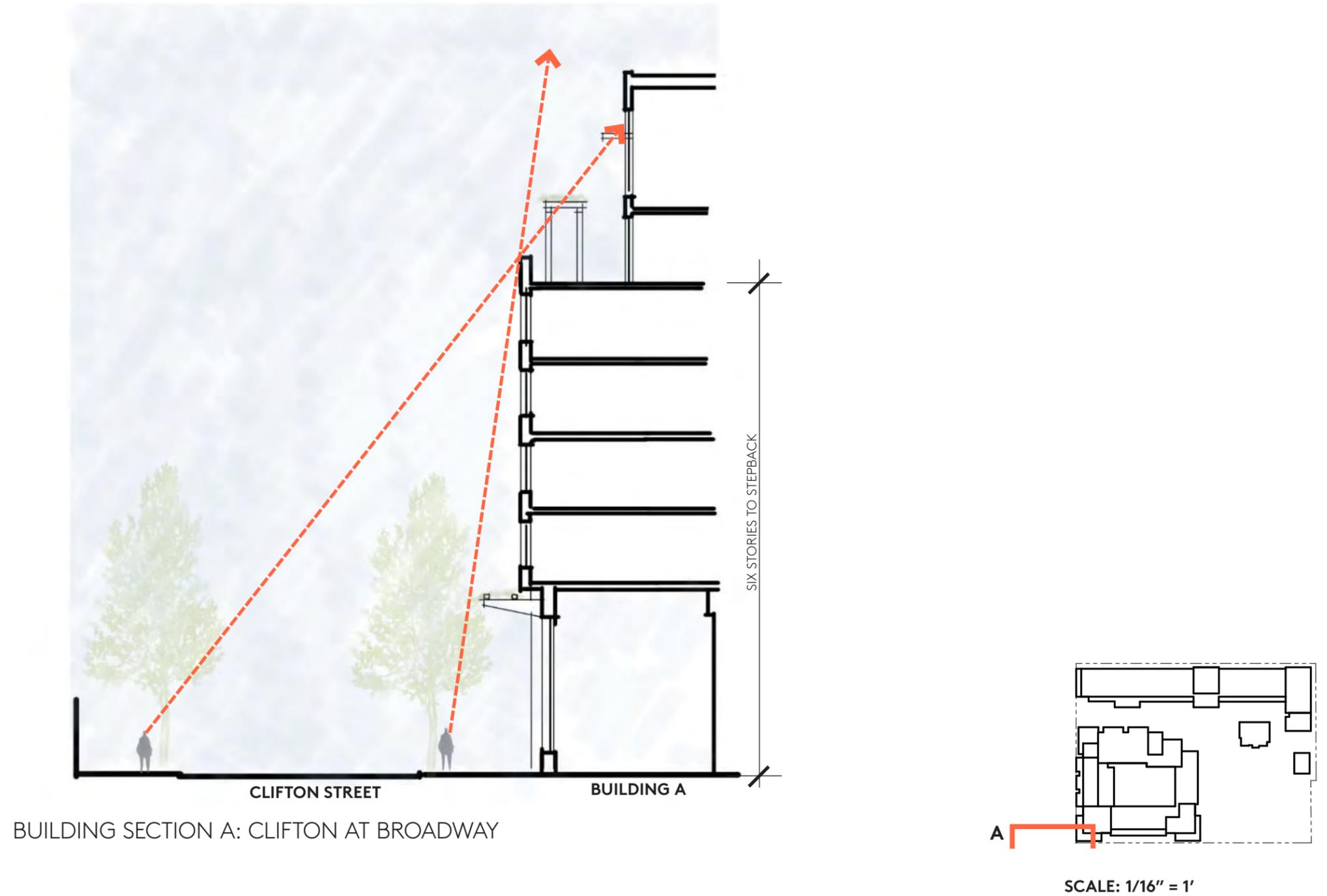


99
ELEVATIONS & SECTIONS



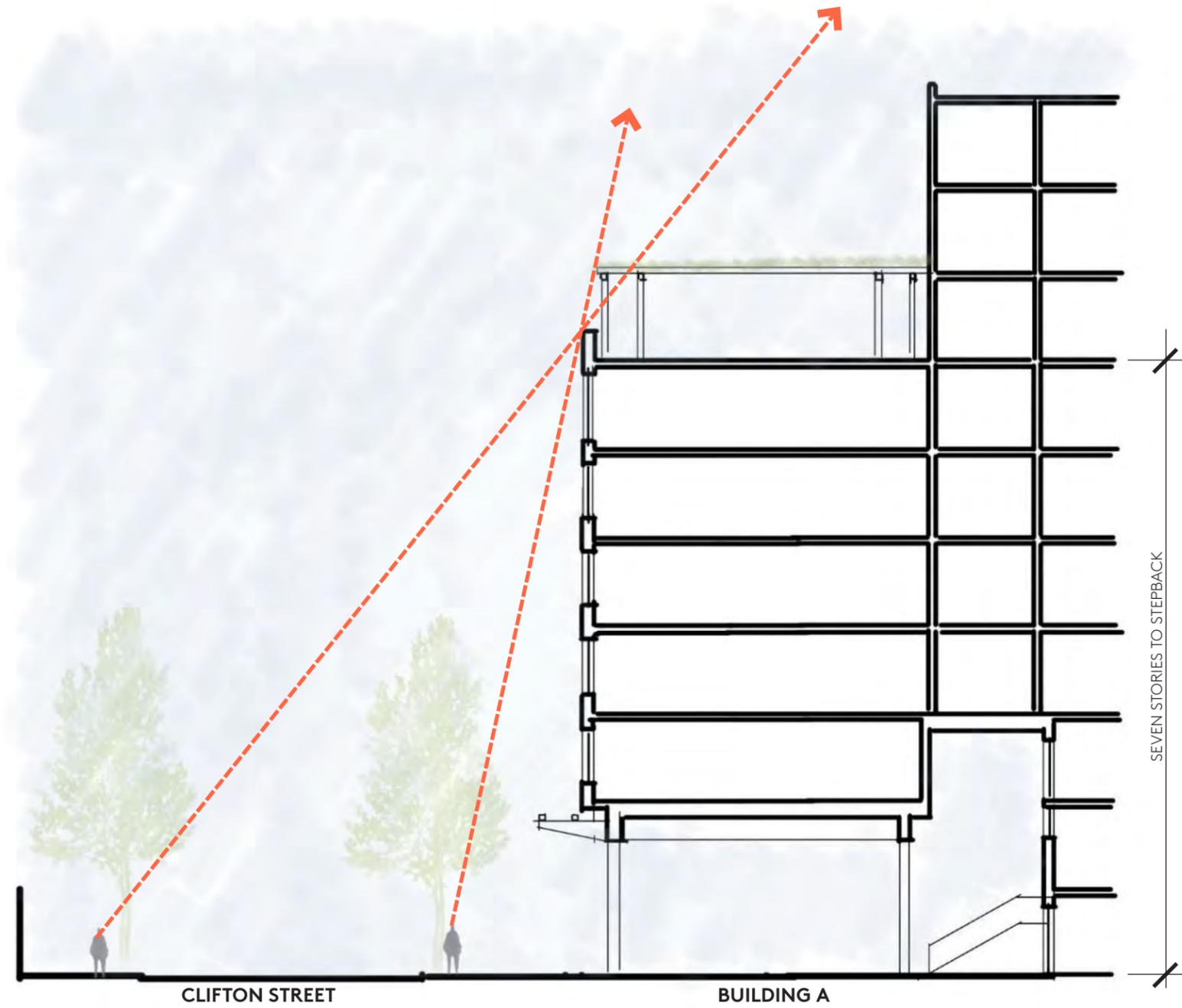
SCALE: 1/32" = 1'

BUILDING SECTIONS



BUILDING SECTION D

BUILDING SECTIONS

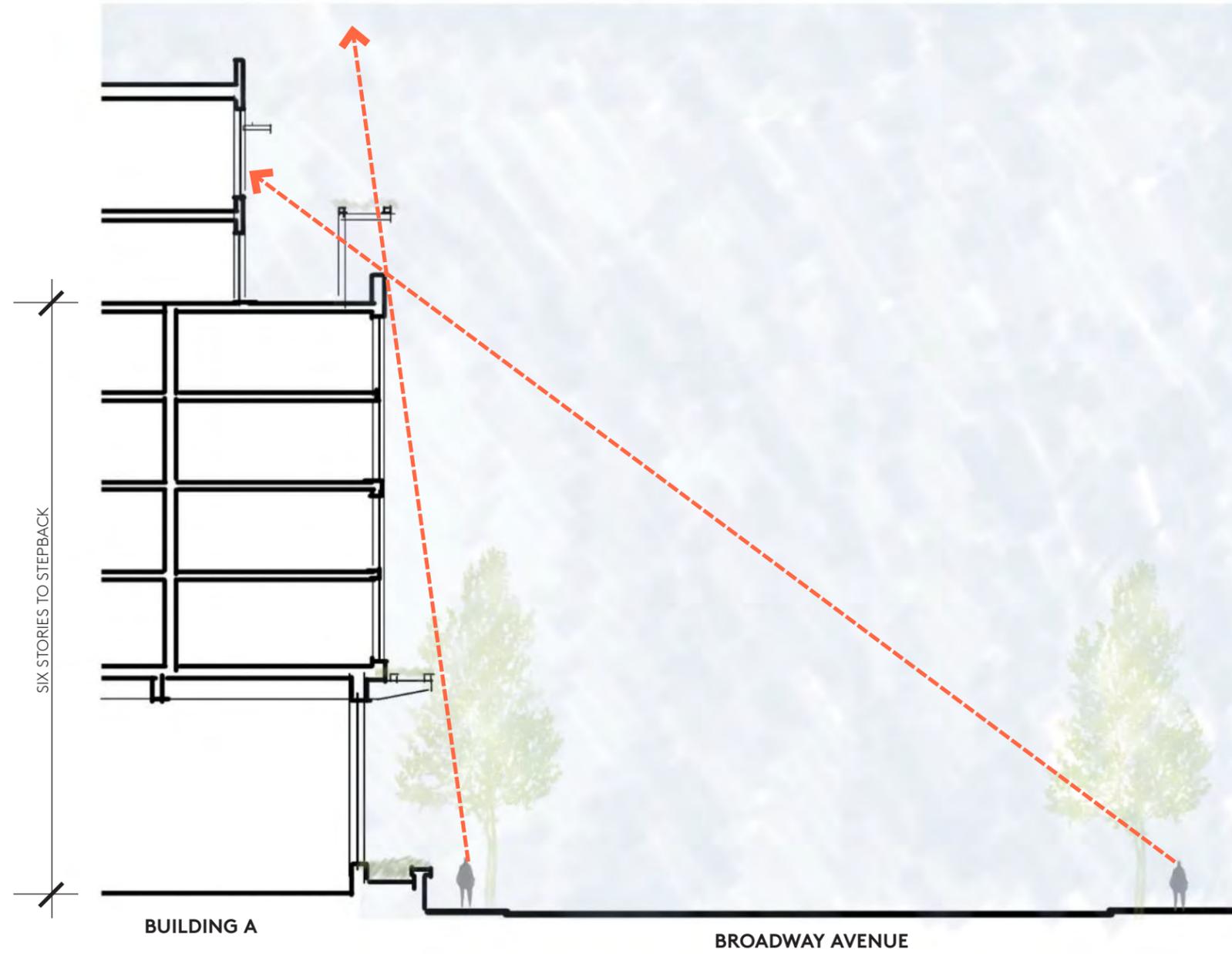


BUILDING SECTION B: CLIFTON AT PASEO



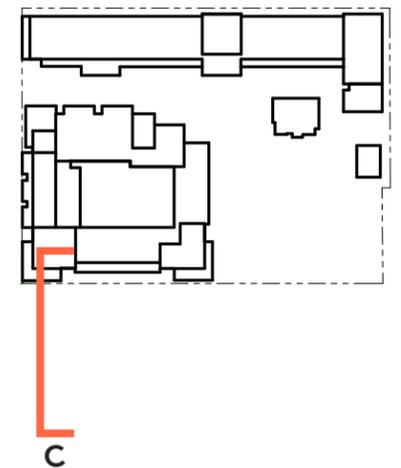
SCALE: 1/16" = 1'

BUILDING SECTIONS

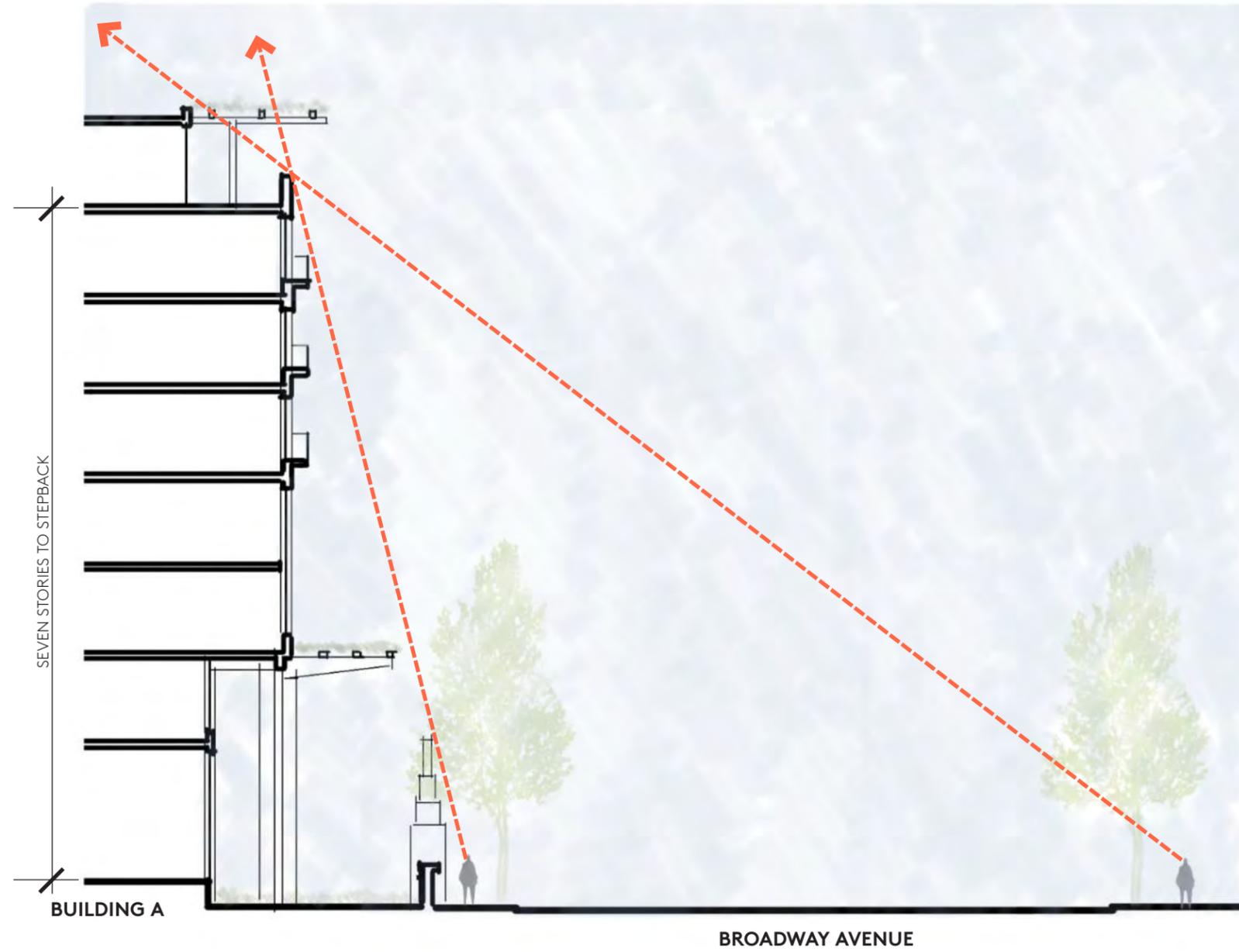


BUILDING SECTION C: BROADWAY AT CLIFTON

SCALE: 1/16" = 1'

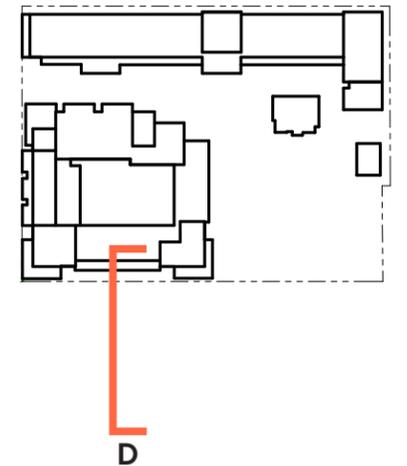


BUILDING SECTIONS

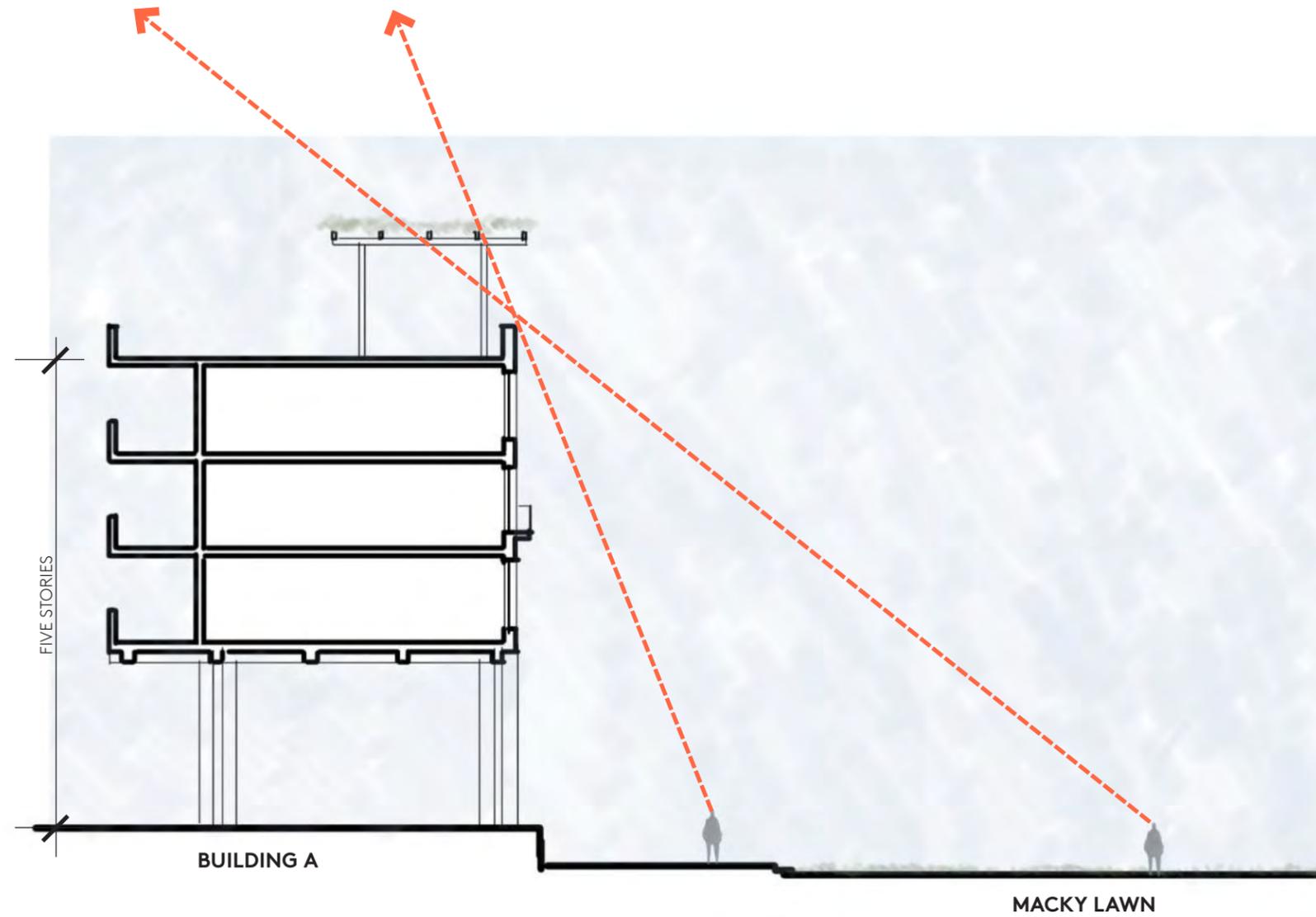


BUILDING SECTION D: BROADWAY

SCALE: 1/16" = 1'

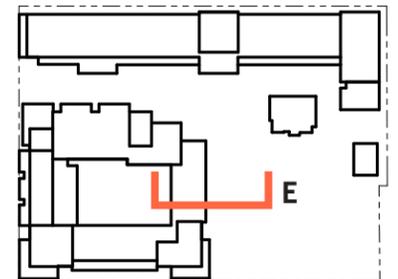


BUILDING SECTIONS

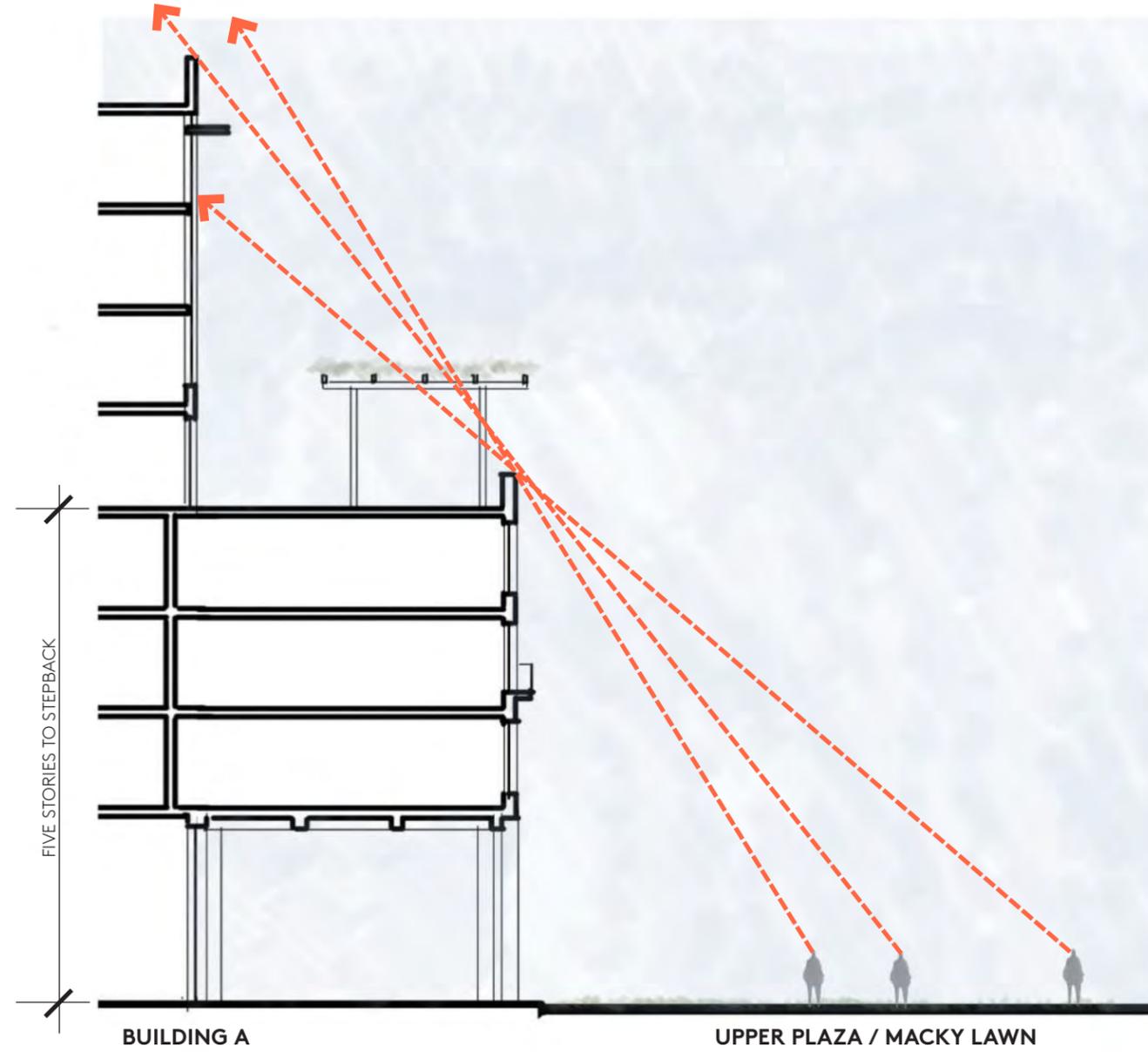


BUILDING SECTION E: MACKY LAWN

SCALE: 1/16" = 1'

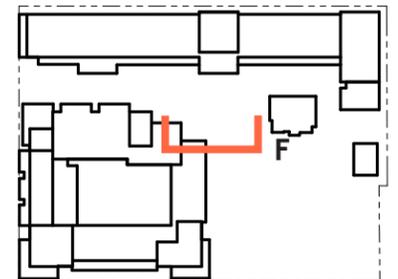


BUILDING SECTIONS

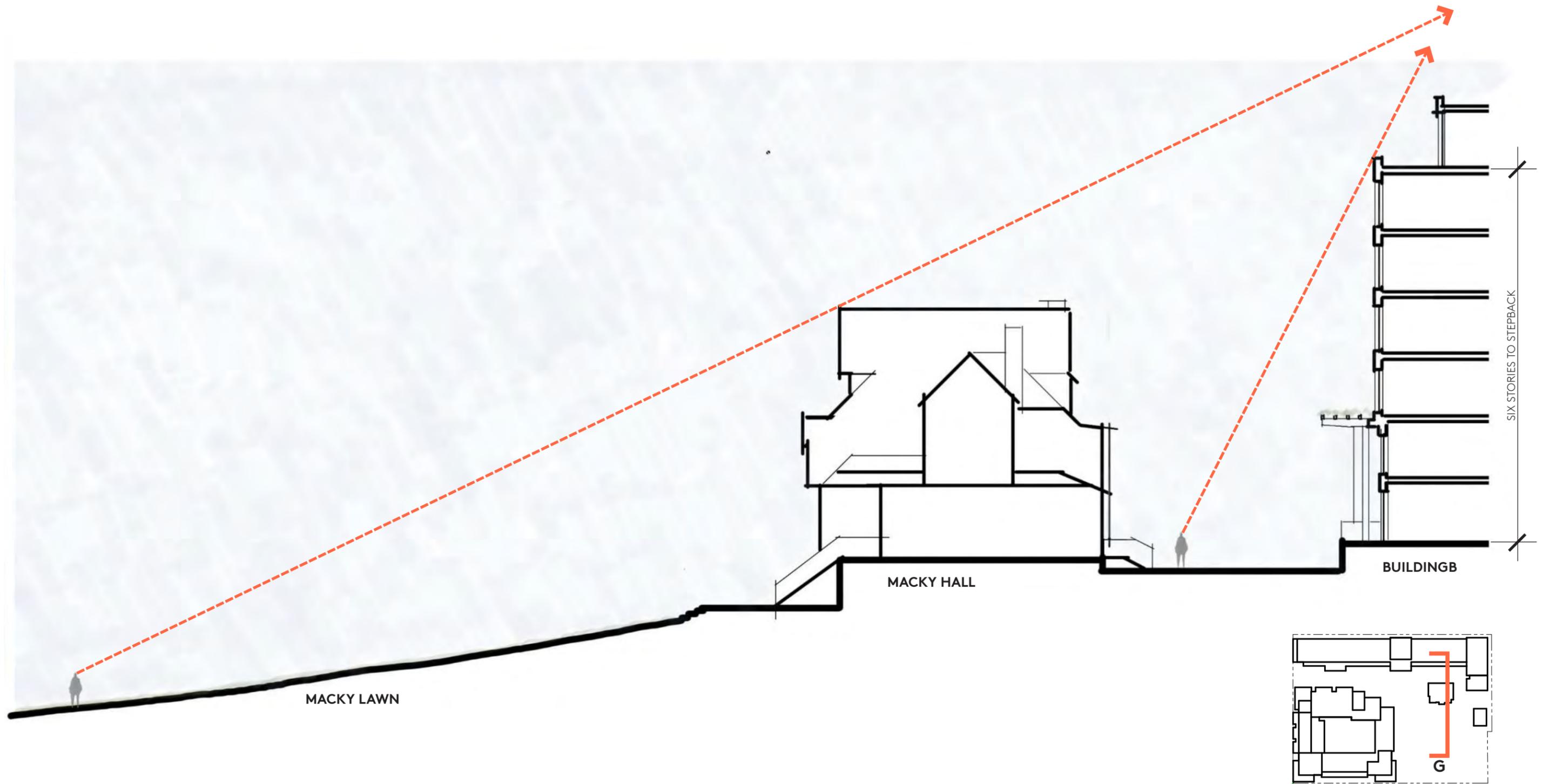


BUILDING SECTION F: UPPER PLAZA / MACKY LAWN

SCALE: 1/16" = 1'



BUILDING SECTIONS



BUILDING SECTION G: BUILDING B FROM MACKY LAWN

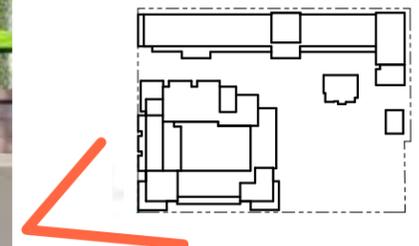
SCALE: 1/16" = 1'

SUPPLEMENTS

CONCEPTUAL RENDERING: BROADWAY & CLIFTON



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CONCEPTUAL RENDERING: BROADWAY & CLIFTON



CONCEPTUAL RENDERING: BROADWAY WALL AND GATE



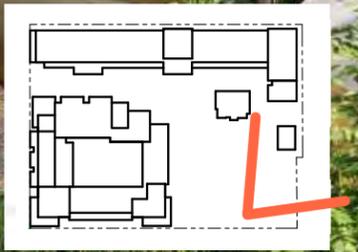
CONCEPTUAL RENDERING: BROADWAY VIEW NORTH



CONCEPTUAL RENDERING: MACKY LAWN & HALL



CONCEPTUAL RENDERING: ADVENTURE PLAYGROUND & CARRIAGE HOUSE



CONCEPTUAL RENDERING: BUILDING A FROM MACKY



CONCEPTUAL RENDERING: BUILDING A FROM PLAZA



CONCEPTUAL RENDERING: BUILDING A FROM PLAZA



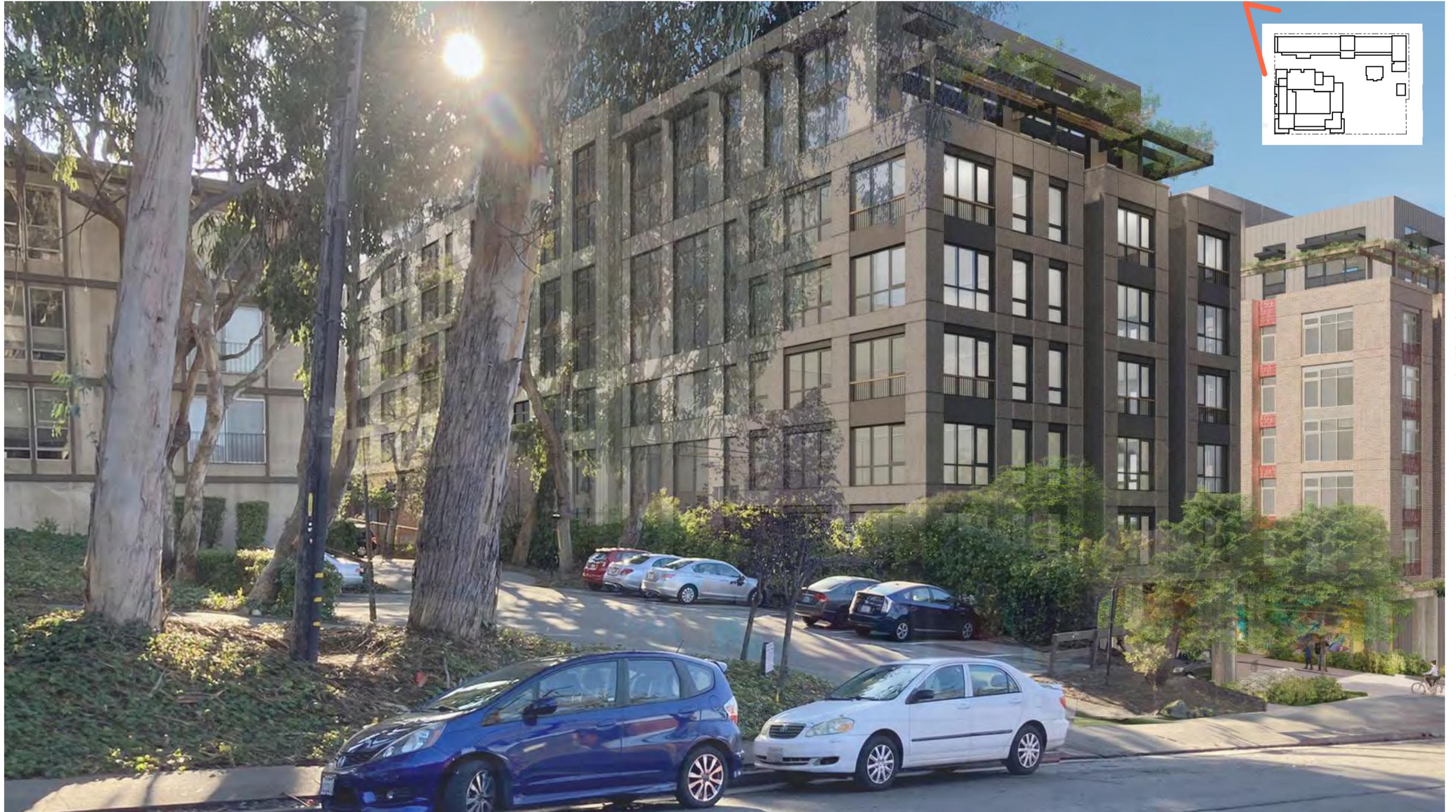
CONCEPTUAL RENDERING: BUILDING B & MACKY HALL



CONCEPTUAL RENDERING: CLIFTON STREET



CONCEPTUAL RENDERING: CLIFTON STREET



CONCEPTUAL RENDERING: CLIFTON STREET



SITE LIGHTING PLAN



Legend

- ⊙ Existing street light to remain
- New Pedestrian pole light
- /// Architectural Lighting



- New Bollard light



- New Bench strip light



- ⋯ New Handrail strip light

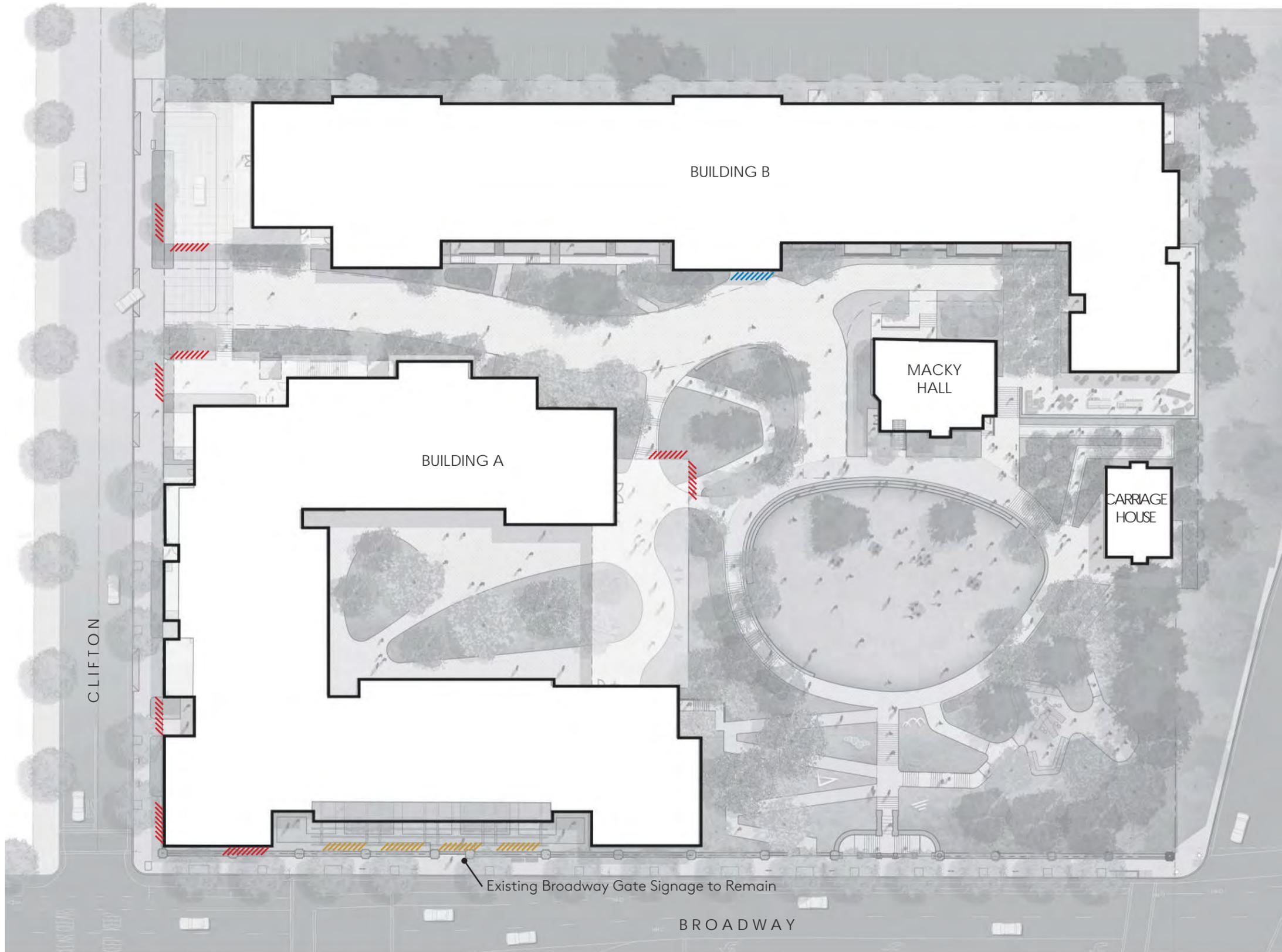


- New LED Tree Uplights at existing Coast Redwood trees



LANDSCAPE DESIGN

SITE SIGNAGE PLAN



Legend

- //// 18" Suspended Metal Building Signage
- //// 14" Suspended Metal Building Signage
- //// 12" Suspended Metal Building Signage

SIGNAGE MATERIAL

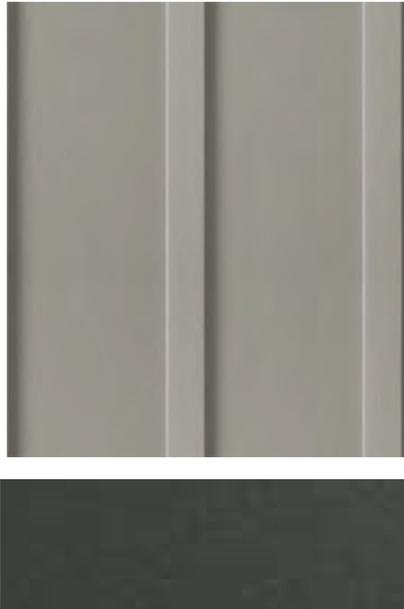


SIGNAGE PRECEDENT

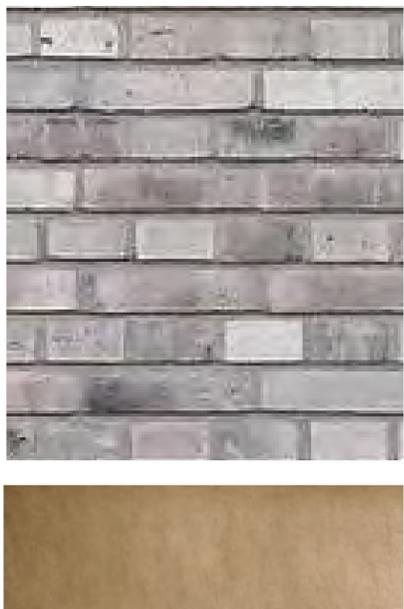
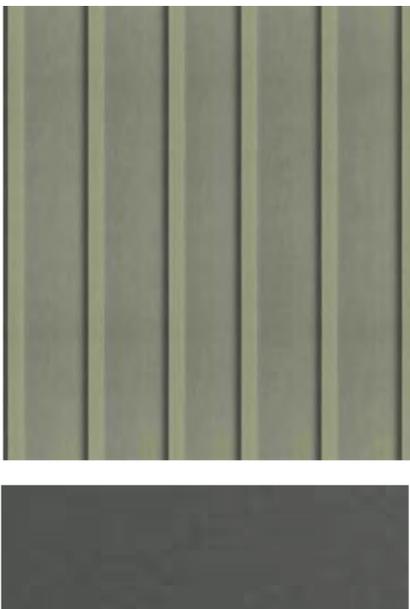


BUILDING MATERIALS BOARD

BUILDING A

	corner volumes	field	field upper	vertical volumes	base	
						
	brick veneer*/decorative aluminum perf	cement plaster/cement plaster	cement plaster/painted metal trellis structure	vertical volumes	ceramic tile/cast in place concrete	wood trellis beams

BUILDING B

	central volume	field	field	upper	base	
						
	brick veneer*/tile spandrel	cement plaster/metal panel spandrel	field	upper	large-format tile, ceramic tile/board formed concrete	wood trellis beams

*StoCast Brick or Equal