



OAK KNOLL

Design Guidelines

May 2016

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1.0 INTRODUCTION





View looking east from new bridge over Rifle Range Creek

1.1 COMMUNITY VISION

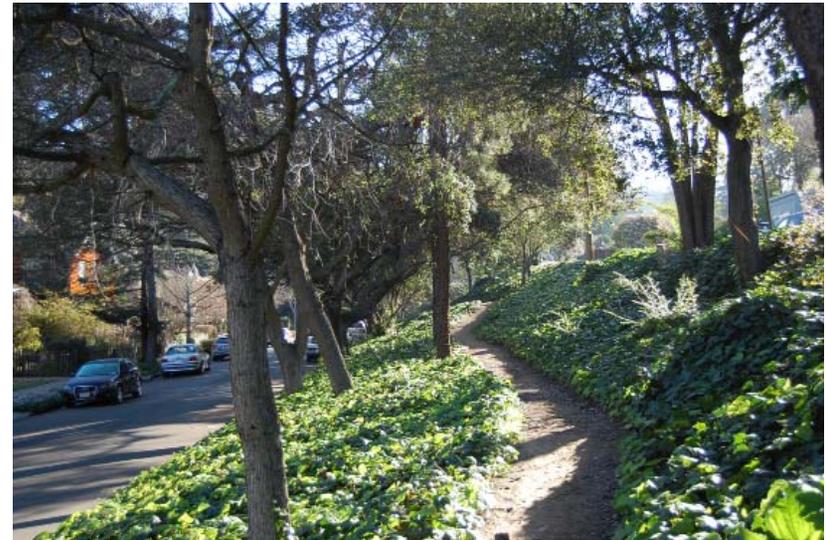
The Community at Oak Knoll is planned as a walkable system of neighborhoods anchored by a community scale retail village, neighborhood parks, and natural and accessible open space. The neighborhoods are woven together through an extensive system of trails and carefully designed streets. The primary landscape features around which the land plan is shaped is the restored branch of the Rifle Range Creek and the surrounding upland areas to the north, south and east of the creek.

The local climate at Oak Knoll is characterized by temperate weather and is considered one of California's finest for habitation as well as horticulture. Because of this, the masterplan and residences are organized around the outdoors and integration with the landscape. In addition to the architectural features of the homes that provide links to the outdoors (porches, stoops, verandas, courtyards, decks, etc), the abundance of trees and plants produces a vibrant natural setting.

Integrated into this larger landscape and streetscape vision, the residential neighborhoods will have a diverse mix of residential sizes and types and are planned to be executed in a range of architectural styles appropriate to the setting.



Retail Village



Community Open Space and Trails



OAK KNOLL DESIGN GUIDELINES | MAY 2016

Figure 1.1- Illustrative Master Plan

1.2 HOW TO USE THESE GUIDELINES

These Design Guidelines provide design principles to future builder/ applicants. Final Development Plans shall be substantially consistent with the Preliminary Development Plan. The Design Guidelines refine and clarify the direction in the Planned Unit Development and Preliminary Development Plan.

Where the Design Guidelines are silent or vague, the Preliminary Development Plan shall be used for the purposes of interpretation, and/or directly applied as appropriate.

This book is divided into three chapters: Planning, Architecture and Landscape, each of which addresses topics critical to achieving the community vision. The appendices to this book include materials, color, and plant palettes. Final Development Plans will be reviewed for their consistency with the principles and regulations set forth in these three chapters. Below is an outline of the content of each chapter:

PLANNING

The Planning chapter addresses the selection of an appropriate plan type, the placement of the building on the lot, driveway and garage design, and building façade regulations as they relate to general neighborhood planning principles.

ARCHITECTURE

The Architecture chapter introduces the principles of Oak Knoll architecture and how they are applied in the detailed design of a home or building. This includes the secondary massing, the roof forms, and the components, details, and finishes of all vertical improvements.

LANDSCAPE

The Landscape chapter addresses landscape elements within community streetscapes, community open spaces and residential lots. This includes fences and site walls, , planting requirements, plant lists and signage regulations.



Oak Knoll Community



Typical Residential Neighborhood



Mountain Boulevard Entry - Retail Village

2.0 PLANNING GUIDELINES





Figure 1.2- Neighborhoods Plan

2.1 OAK KNOLL NEIGHBORHOODS

The site at Oak Knoll features three upland areas surrounding a lowland valley with a creek running through it. The neighborhoods that make up this community are defined as the Retail Village, Creekside Village, and the Uplands. See Figure 1.2 Neighborhoods Plan on the facing page.

RETAIL VILLAGE

The Retail Village area is designed as a modestly-sized gathering spot to provide basic needs to the community (such as groceries, restaurants, banking). It is envisioned as a cluster of buildings at varying scales fronting a 'Main Street' and a 'Plaza'. It will feature landscape and street furnishings that give it a distinct identity similar to other neighborhood centers in the Oakland hills. Please refer to the landscape chapter for further information on these features.

CREEKSIDE VILLAGE

The Creekside Village neighborhoods are medium to high density residential areas laid out in the lowland areas flanking the restored Rifle Range Creek corridor. These neighborhoods are compact and walkable and feature a framework of parks and open space which connect to the creek. The Creekside Village will offer a range of residential product types from townhomes to single family detached residences.

THE UPLANDS

Residential development in the Uplands is designed to maximize views as well as provide a pleasing appearance as viewed from adjacent areas. The Uplands neighborhoods offer a range of residential product types from townhomes to single family detached residences. The Uplands connect to the surrounding community via a system of trails and preserved open space. Please also refer to the City of Oakland's Residential Hillside Development Regulations for further restrictions on lots with slope within the development envelope.



Retail Village - Main Street and Plaza



Club Knoll- Community Center

2.2 NEIGHBORHOOD STREETSCAPES

The Oak Knoll neighborhood streets are designed to be pedestrian friendly in both function and appearance. A line of street trees flanks either side of the street, with a generous sidewalk. Planting and fences in the front yard zone between the sidewalk and the homes is designed to define an appropriate transition to the semi-private yard and porch zone. Porches will be designed as outdoor rooms and lighted to provide a sense of security to the pedestrian. Please refer to the Landscape Chapter of these Design Guidelines for specific proposed street sections.



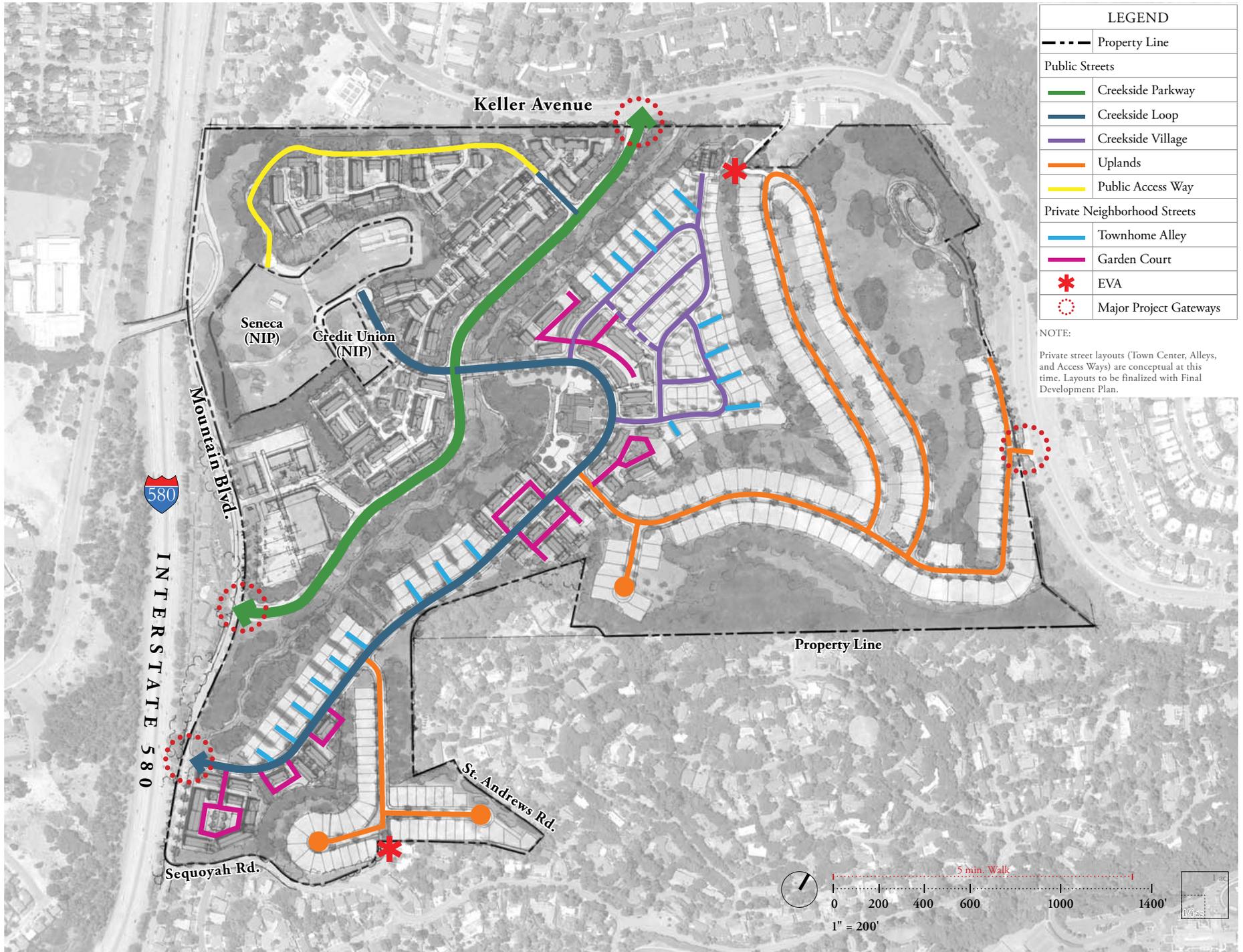
Typical Neighborhood Streetscape



Integrated Stormwater Treatment - "Rain Gardens"



Street Trees



| LEGEND | |
|------------------------------|------------------------|
| --- | Property Line |
| Public Streets | |
| — | Creekside Parkway |
| — | Creekside Loop |
| — | Creekside Village |
| — | Uplands |
| — | Public Access Way |
| Private Neighborhood Streets | |
| — | Townhome Alley |
| — | Garden Court |
| * | EVA |
| ⊙ | Major Project Gateways |

NOTE:
Private street layouts (Town Center, Alleys, and Access Ways) are conceptual at this time. Layouts to be finalized with Final Development Plan.

Figure 1.3- Circulation Plan

HIGH VISIBILITY FACADES - STREET FACING

All facades which are visible from the street, including setback garages and all sections of side facing façades which are in front of garages must follow High Visibility standards as defined in the Architectural Guidelines of this book.

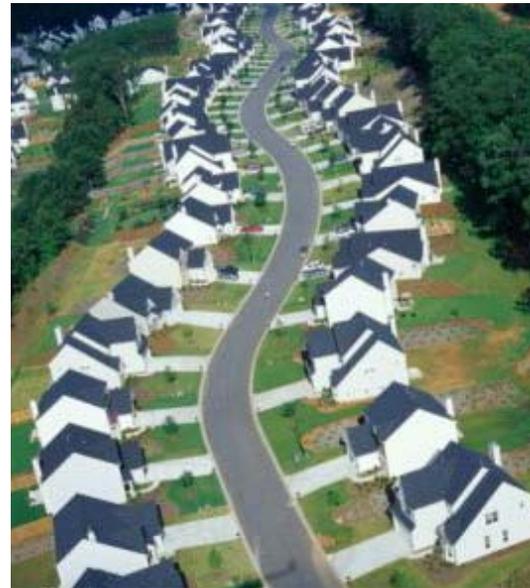
HIGH VISIBILITY FACADES -OPEN SPACE FACING

The intention for an open space facing home is to present a pleasing appearance towards the open space and to take advantage of views towards the surrounding creek or woodland areas. These facades must follow High Visibility standards as well.

ARCHITECTURAL DIVERSITY AND ‘THE MONOTONY CODE’

The purpose of the Monotony Code is to create variation and hierarchy within the Oak Knoll streetscape, giving the community an appearance of growth over time. This can be done by designing a range of home layouts and sizes that respond to the location of the lot within the overall neighborhood. The Monotony Code will be enforced through the use of a matrix tracking the following:

For each single-family detached lot type, there must be a minimum of three unique floor plan types, with three façade variations each;
 A different porch or stoop type will be considered a façade variation;
 No two detached homes of the same design may be repeated within 2 adjacent lots on a given Block Face or a facing Block Face;
 Homes on corner lots are encouraged to have architectural features such as wrapped porches, side porches, or bay windows facing the secondary street. Both the front as well as side facing facade on corner lots will be considered High Visibility Facades.



The Monotony Code aims to produce neighborhoods that have diverse streetscapes and architectural features like the images on the facing page.

The Monotony Code aims to prevent uniform streetscapes and architecture like the image to the left.



Typical Streetscapes - Creekside Village



Typical Streetscapes - Uplands



Typical Streetscapes - Uplands

2.3 COMMERCIAL

The Retail Village at Oak Knoll is meant to provide public gathering spots and convenience shopping for local residents. It is envisioned as urban in character similar to other local neighborhood commercial corridors (such as sections of Park or Lakeshore Boulevards) and should feature retail facades on the street rather than an isolated 'strip' type development laid out alongside a parking lot. In addition to following the cities zoning ordinances,, the following guidelines will apply to the Retail Village, see figure 1.6:

Design Objectives:

- Building placement which reinforces the concept of the 'Main St' and the 'Plaza', and orients service areas away from these and is screened from view from Mountain Blvd
- Appropriate Glazing requirements for all facades facing primary streets and public areas
- Awnings to provide outdoor gathering areas and shade
- Sidewalk widths at primary retail facades sufficient to provide tree planting, signage, furnishings, lighting and outdoor seating areas where appropriate to adjacent retail use
- Hardscape and Planting which reinforces the outdoor pedestrian realm, but provides equal access to vehicular traffic

A final design for the retail village will be submitted by a retail developer. Retail signage locations and design shall be reviewed at the Final Development Plan submittal stage, and a Signage Master Plan will be submitted as part of that application.



Retail Village - Bldgs oreint towards Main St



'Main St' retail facade treatment example

MAIN STREET AND PLAZA

The Retail Village is designed around the primary components of a Main St and Plaza. The siteplan (fig 1.6) is meant to be one possible configuration of this concept, with applicable development standards applied to it. Final Plans will need to follow the spirit of these Design Guidelines although ultimate building configurations may vary.

The Main St is intended to create an ideal frontage for Retail facades while creating comfortable circulation for both pedestrians and vehicles. Primary retail facades and adjacent outdoor areas should all orient towards this main st.

The Retail Plaza is an intimately scaled pedestrian plaza that provides expanded frontage for retail facades as well as opportunities for soft programming such as outdoor dining, street faires, and weekend markets. The Main St and Plaza should have the option of being closed to vehicles for special events.

ARCHITECTURAL AND LANDSCAPE CHARACTER

The Character of the Retail village should be inspired by the open-air neighborhood shopping districts typical to the Bay Area. These districts are typified by simple facades with ample glazing, clerestory windows, awnings and shade structures. Recommended materials, colors and plant palettes are similar to the residential guidelines and are contained in Appendix x and the photo references on these pages are meant to convey the general features which convey character.



Figure 1.5- 'Main Street' Conceptual Section

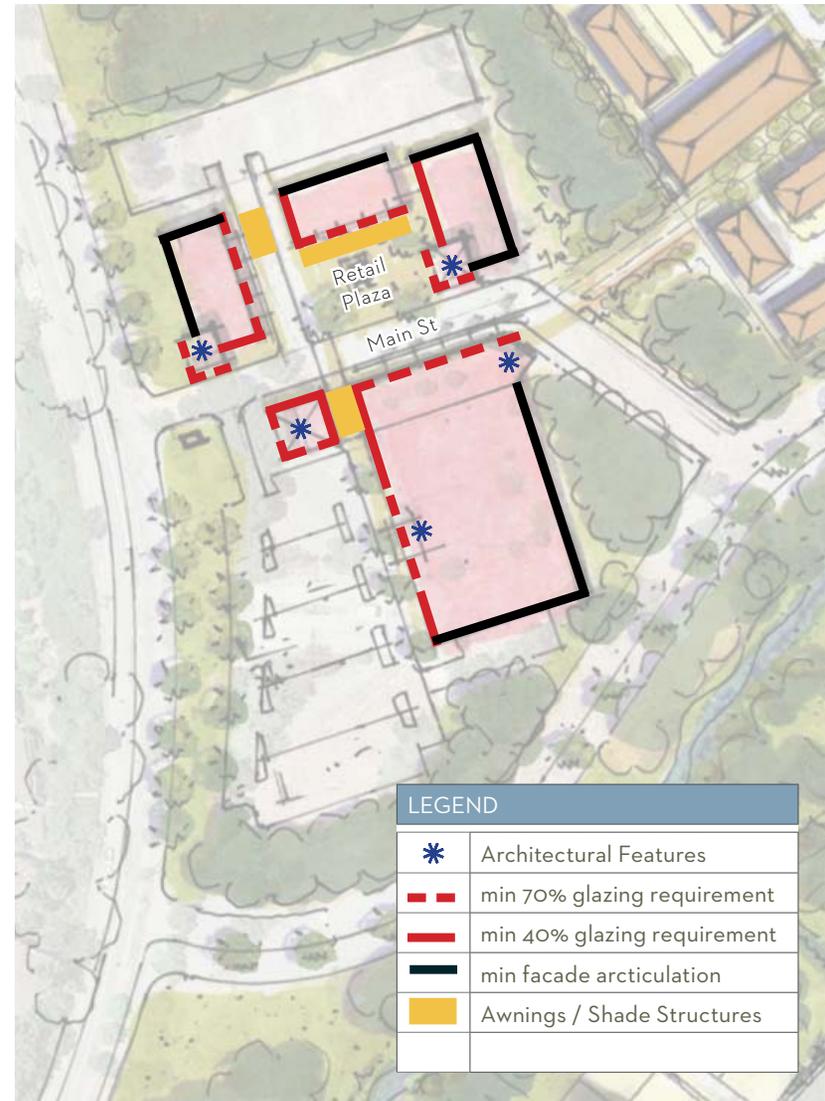


Figure 1.6- Facade Treatments, Architectural Elements, Example of Conceptual Layout, this example plan intended to show compliance with the design objectives of a 'Main St' and 'Plaza', actual site and building configuration may vary.



Trellis structures and integrated planting



Clerestory windows and natural lighting



Outdoor Seating Areas



Example of typical row of retail facades



Awnings and Shading Devices



Simple facades



Lighting and Signage



Trees and plantings informally integrated into public areas



Arcades

2.4 TOWNHOMES

Townhome development at Oak Knoll will be designed to create functional and pedestrian friendly streetscapes. The orientation and layout of buildings should create 'addresses' and a sense of place for individual homes. Townhomes should feature adequate open space and common amenities for the inhabitants as defined in the City of Oakland's Zoning Ordinances. Final design of townhome parcels will be submitted to the City of Oakland in a form of a Final Development Plan, and designs will be evaluated using these guidelines.

Design Objectives:

- Create a 'sense of address' and a front door for each unit by providing 'door yards', gates, and access to public streets and paseos;
- All units should feature covered entry areas either in the form of a stoop or entry porch;
- Variation of design is encouraged, and corner units should be treated differently than middle units;
- End facades should be treated as high visibility and should feature windows, entries where appropriate, and other design features normally on the front facade.
- Odd numbers of units in a row are encouraged;
- Stepping between units is encouraged to provide private balconies and a varied building frontage as viewed from the street.
- Landscape planting should be integrated in with streetscapes and provide screening for parking & alleys. Please refer to the Preliminary Development Plan for example designs for Paseos and Pocket Parks.



'Door yards' and orientation of entry onto a street or pedestrian path



Typical Elevation example



Corner 'end facades'



Covered Entry



Stepped Massing



Balconies and individualized unit designs



Typical Elevation Example

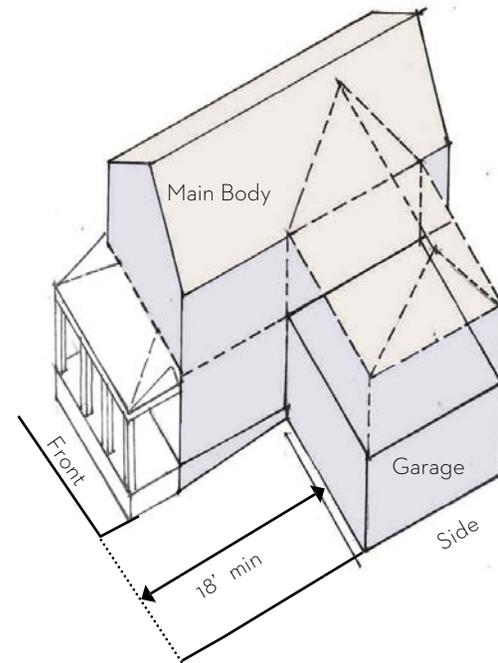


Typical Elevation Example

2.5 SETBACK AND HEIGHT REGULATIONS

Building setback and height requirements are contained in the Development Standards with the proposed zoning and vary according to lot size and building type. In addition to those standards, the intent of these guidelines is to address additional massing considerations such as 'under the roof' or 'attic' 1/2 stories, and setback garages. These considerations are described further in the Architectural chapter.

Within the small lot area (lots of less than 4000 sf), up to 100 sf of a covered porch area is allowed to encroach up to 5' into the front yard setback, provided that on-lot storm water treatment is adequately accommodated. In no case shall a porch be closer than 3' from a sidewalk or common access drive.



Two-story garage volume without dormers

2.6 DRIVEWAYS AND GARAGE PLACEMENT

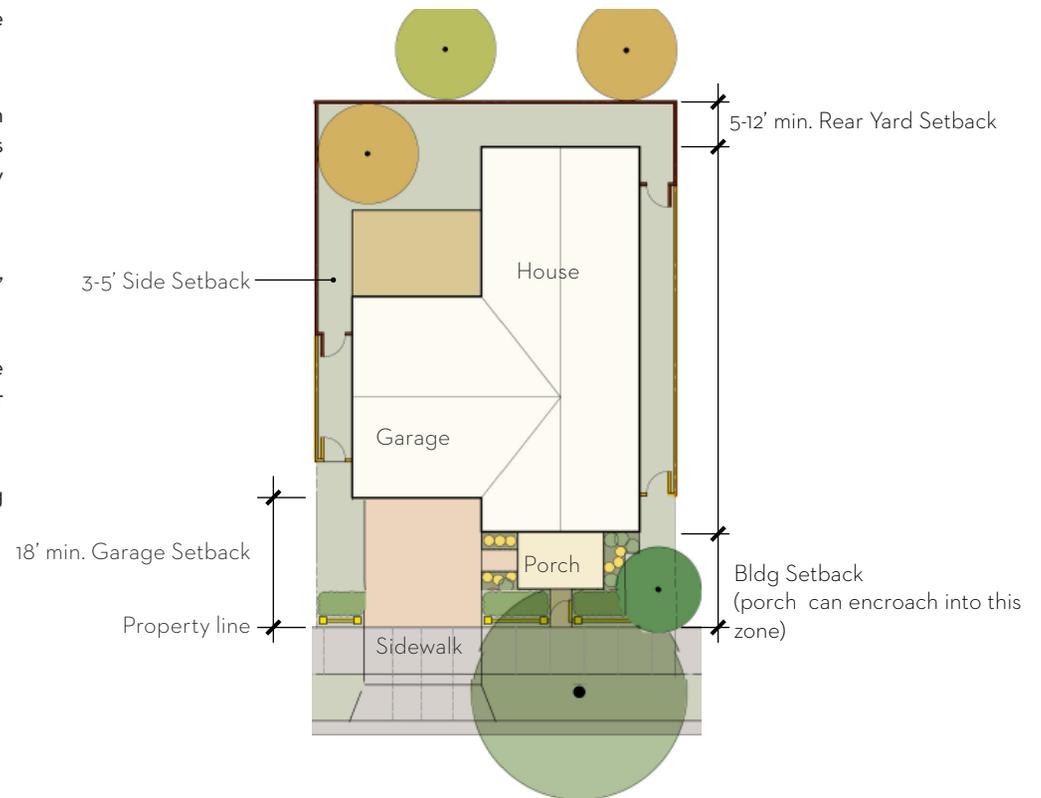
Driveways and garages within Oak Knoll should be designed to reinforce the dominance of a tree-lined streetscape.

Garages on hillside lots should follow Oakland's Hillside Design Guidelines and further illustration of typical designs for garages and driveways on sloped streets are contained in the Preliminary Development Plan documents.

Limiting curb cuts to 16' in width is strongly encouraged, where feasible, for front loaded lots.

Driveway width in front of 2 car garages should be 18' wide at garage entry allowing for two off-street parking spaces in front of garage. Refer to Figure x.x below.

Refer to Chapter 4.0, Landscape Guidelines, for allowable paving materials for driveways



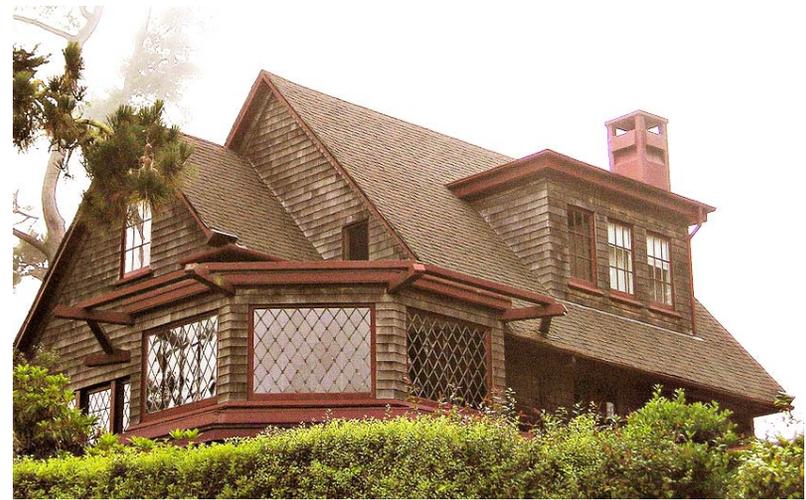
An architectural sketch of a building facade, rendered in a light brown or sepia tone. The drawing shows a multi-story structure with a prominent gable roof on the left side. The gable contains a window. Below the gable, there is a large window with a decorative frame and a small balcony or ledge. To the right of this, there are several more windows of varying sizes and styles, some with decorative elements. The sketch includes fine lines for structural details and shading to indicate depth. The overall style is that of a hand-drawn architectural study.

3.0 ARCHITECTURAL GUIDELINES

3.1 THE 'BAY AREA' REGIONAL STYLE

The Bay Area has a unique and home-grown residential character which has evolved in response to the local climate, cultural history, and lifestyle of its inhabitants. Many respected names in the field of architecture, landscape design and development have contributed to this character throughout history. The East Bay's early development phase included names like Bernard Maybeck, Julia Morgan, Walter Ratcliff, Henry Gutterson, Mason/McDuffie, and Frederick Law Olmsted; the mid-century included names like Joseph Eichler, William Wurster, Joe Esherick, Charles Moore, and many others. While the styles that make up this character are diverse, they are bound by common themes that form a sense of place and will inform the identity of Oak Knoll. Among these themes are:

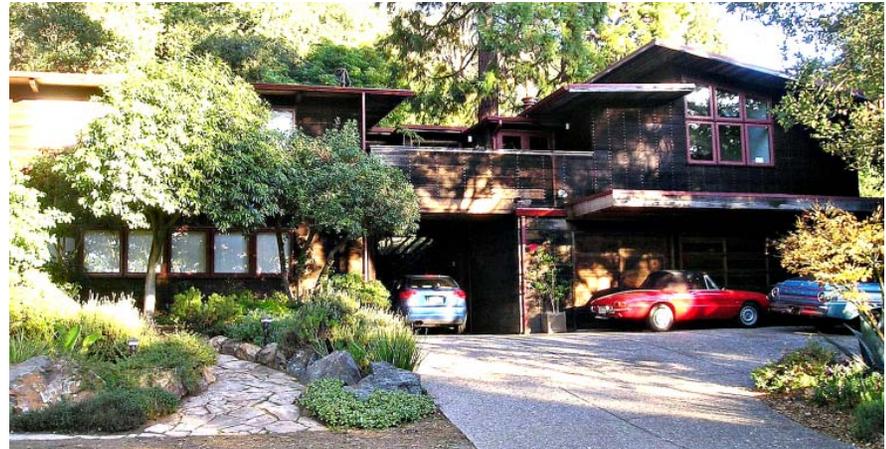
- Buildings which connect to and are inspired by the natural setting
- Simple building mass with additive elements
- Natural Materials (wood, stone, terra cotta, stucco)
- Subdued earth-tone paint colors and light colored stuccos



Bay Area Regional Style - Shingle



Bay Area Regional Style - Contemporary



Bay Area Regional Style - Mid Century Modern

For the purposes of style classification, the following styles are identified as typical to the area and considered appropriate to Oak Knoll:

ARTS & CRAFTS

- Craftsman Bungalow
- Shingle
- Tudor
- Arts and Crafts

MEDITERRANEAN

- Spanish Colonial
- Mission
- Tuscan

CALIFORNIAN

- Farmhouse
- California Modern (mid-century modern)
- California Contemporary



Bay Area Regional Style - Arts and Crafts



Bay Area Regional Style - Spanish Colonial

THE HISTORIC PRECEDENTS

The style of the architecture at Oak Knoll draws from examples of the historic styles typical in the area. These images show inspirational historic 'ancestors'; new homes will not be replications of these but rather derived from similar design principles. These principles will then be applied to current designs taking into consideration today's materials, construction practices, and modern lifestyle considerations.



Bay Area Regional Style - Craftsman Bungalow



Bay Area Regional Style - Tuscan



Bay Area Regional Style - Arts and Crafts



Bay Area Regional Style - Contemporary

3.2 ARCHITECTURAL STYLE MATRIX - BY FAMILY

| | Massing / Roof Form | Windows and Doors | Porches / Balconies and Details | Materials and Color* |
|----------------------------------|---|---|---|---|
| ARTS AND CRAFTS | | | | |
| Craftsman Bungalow | <ul style="list-style-type: none"> Lower pitch gable roofs (4/12 - 8/12) Broad eaves with exposed rafters Wide shed dormers 1/2 story upper floors | <ul style="list-style-type: none"> Double hungs, single or grouped Casements, single or grouped Bay windows Wide panelled entry doors | <ul style="list-style-type: none"> Wide porches, often covered by primary roof form, integrated into primary mass Thick porch columns | <ul style="list-style-type: none"> Wood or composite siding and trim Cast stone brick used as accent materials Subdued earth tone colors with warm accent colors |
| Shingle | <ul style="list-style-type: none"> Medium pitch gable and hip roofs (6/12 - 12/12) Gable and shed dormers 1/2 story upper floors | <ul style="list-style-type: none"> Cottage style double hungs Casements, single or grouped Bay windows Panelled entry doors | <ul style="list-style-type: none"> "innie" porches, often covered by primary roof form, integrated into primary mass | <ul style="list-style-type: none"> Wood shingle with wood or composite trim Natural stained base color with darker accent color on trim |
| Tudor Arts and Crafts | <ul style="list-style-type: none"> Steeper pitch gable roofs (8/12 - 18/12) Cross-gables and dormers 1/2 story upper floors Assymetric massing | <ul style="list-style-type: none"> Casements, single or grouped Bay windows Arched entry doors, pointed or round | <ul style="list-style-type: none"> Assymetric entry features (stoops or porches) integrated into primary bldg mass | <ul style="list-style-type: none"> Wood and stucco walls Brick used as accent material White or rich earth tone base color with darker accent color on trim |
| MEDITERRANEAN | | | | |
| Spanish Colonial Mission revival | <ul style="list-style-type: none"> Lower pitch hip roofs (4/12-8/12) Secondary shed roofs Secondary flat roofs areas with shaped parapets | <ul style="list-style-type: none"> Casements, single or grouped Tall double hungs Arched entry doors | <ul style="list-style-type: none"> Covered entry arcades Juliet balconies Painted metal railings and window grilles | <ul style="list-style-type: none"> Stucco walls Terra cotta roof tiles Colored glazed tile and cast ornamental details as accents Light colored walls |
| Tuscan | <ul style="list-style-type: none"> Lower pitch hip roofs (4/12-8/12) Projected eaves with flat soffit and corbels | <ul style="list-style-type: none"> Tall casement style windows Pedimented front entry | <ul style="list-style-type: none"> Loggias at entry or upper level Balconies with balustrades or painted metal railings | <ul style="list-style-type: none"> Stucco walls Cast stone as accents Earth colored walls (sienna and umber) |
| CALIFORNIAN | | | | |
| Farmhouse Traditional | <ul style="list-style-type: none"> Medium pitch gable roofs (6/12 - 12/12) and simple primary mass Gable and shed dormers 1/2 story upper floors | <ul style="list-style-type: none"> Double hungs, single or grouped Casements, single or grouped Panelled entry doors | <ul style="list-style-type: none"> Front or side porches - shed roof, additive to primary mass Shed awnings | <ul style="list-style-type: none"> Vertical wood or composite siding, board and batten White and light colors |
| Mid Century Modern | <ul style="list-style-type: none"> Lower pitch gable and hip roofs (3/12 - 6/12) Broad horizontal eavelines, with exposed rafters or flat soffits Secondary shed roofs Secondary low-pitch shed roofs | <ul style="list-style-type: none"> Wide horizontal window rows Sliding, double hung, or casement Corner windows | <ul style="list-style-type: none"> Wide extended eaves over entry areas | <ul style="list-style-type: none"> Vertical or horizontal wood or composite siding Subdued natural colors |
| Contemporary | <ul style="list-style-type: none"> Stepped building massing Flat roofs Monopitch roof, split gable monopitch | <ul style="list-style-type: none"> Large expanses of glass, gridded or single frame Sliding or casement Corner windows | <ul style="list-style-type: none"> Flat roof or shed awning over entry | <ul style="list-style-type: none"> Vertical or horizontal wood or composite siding Smooth-textured stucco walls Whites and subdued natural colors |

*See Appendix for detailed spreads of Materials and Colors



Craftsman Bungalow



Shingle



Tudor



Arts and Crafts



Spanish Colonial



Spanish Colonial



Mission



Tuscan



Farmhouse



Mid Century Modern



Contemporary



Contemporary

3.3 MASSING – PRIMARY VOLUMES

BUILDING ORIENTATION

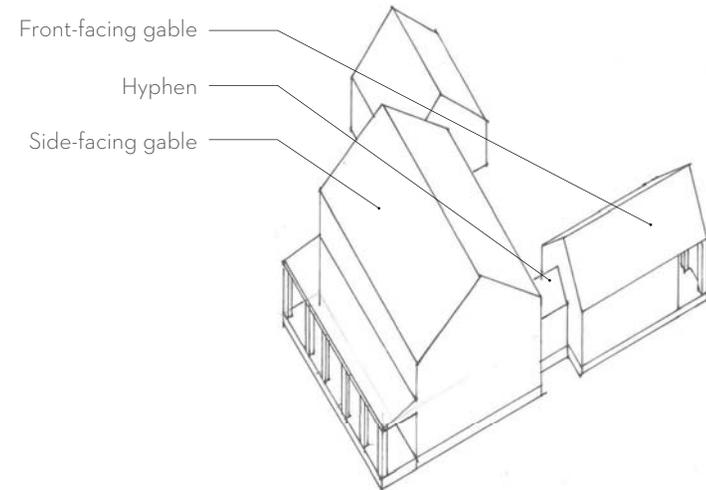
A variety of symmetrical and asymmetrical massings can be used when laying out an Oak Knoll home. First, it is important to determine the building orientation based on lot conditions. Typically, this will either be perpendicular or parallel to the street.

SECONDARY VOLUMES

Next, an assessment of secondary volumes -- garages and additional building wings -- will help determine the appropriate roof profile. This may be gable, gambrel, hip, shed, or a combination thereof. For further information on roof profiles, see Section 3.3: Roofs.

ADDITIVE BUILDING ELEMENTS

Ultimately, the massing should be simple and understated, and should provide a backdrop to unique building elements like porches, dormers, and other details while logically shaping the interior spaces.

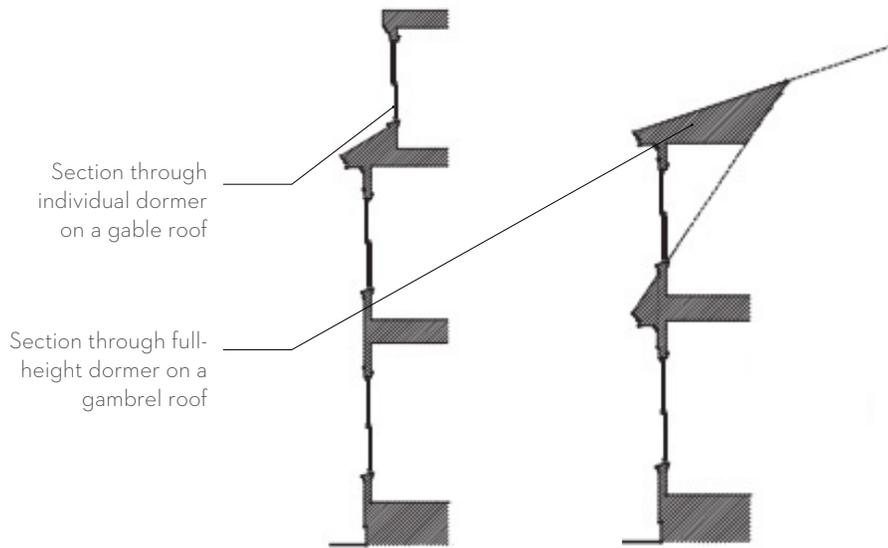


Primary and Secondary Volumes

3.4 ROOFS

ROOF TYPES AND SLOPES

Acceptable roof types include front-facing and side-facing gable, gambrel, hip, and shed roofs, or some combination thereof. Flat roofs are permissible but will be reviewed during Design Review for their visual impact on adjacent properties. Please refer to the Architectural Style Matrix on pg 30 for roof design recommendations by style.



12/12 steeper pitch roof with dormers



3/12 shed roof



12/12 steeper pitch roof with dormers



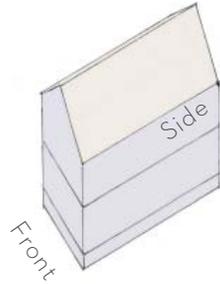
4/12 tile roof

1. PRIMARY VOLUME

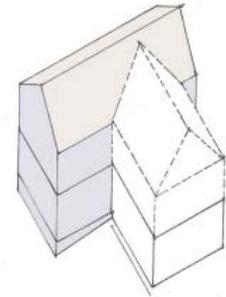
2. SECONDARY VOLUME

DETACHED LOTS

- Most small lots will have Primary Volumes that are oriented perpendicular to the street.
- May be one to two-and-a-half stories.

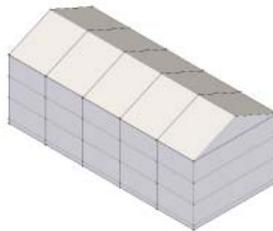


- Most Secondary Volumes on small lots will be oriented perpendicular to Primary Volumes
- Shall be setback from the Primary Volume a minimum of five (5) feet
- May be one to 2.5 stories.
- May be detached from the Primary Volume.

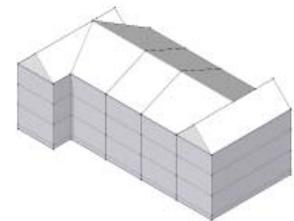


ATTACHED UNITS - TOWNHOMES

- Primary Volumes oriented parallel to the street or entry walk
- May be three to four stories



- Create secondary volumes to differentiate roofscape where appropriate
- Corner Units should be differentiated

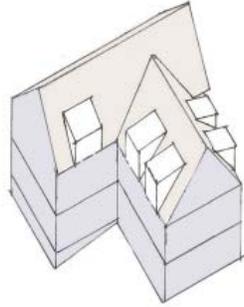


3. COMPONENTS/FEATURES

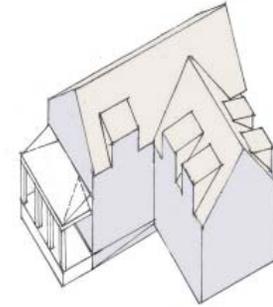
4. PORCHES

DETACHED LOTS

- Dormers, chimneys, bay windows, and other building components may be added to Primary and Secondary Volumes.

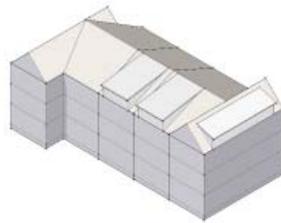


- Porches may be single-bay, full-width, wraparound or stacked.
- Refer to pages 46 & 47 for examples of porch types.

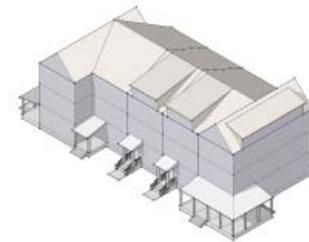


ATTACHED LOTS - TOWNHOMES

- Dormers, chimneys, bay windows, and other building components may be added to Primary and Secondary Volumes.

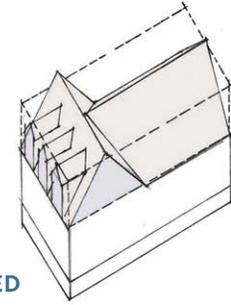
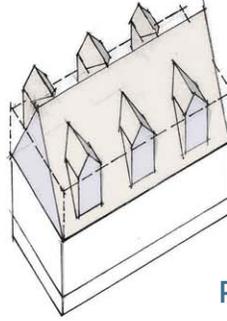
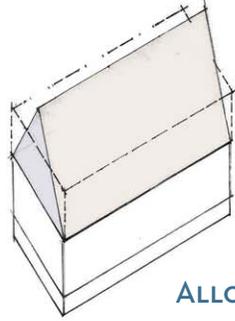
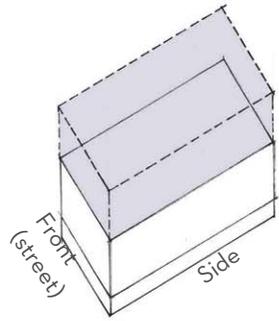
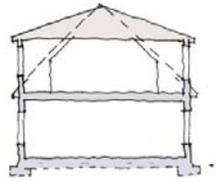


- Porches may be single-bay, full-width, wraparound or stacked.
- Refer to pages 46 & 47 for examples of porch types.

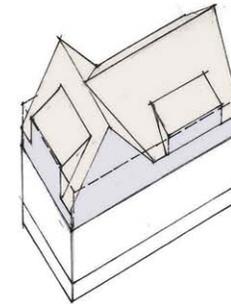
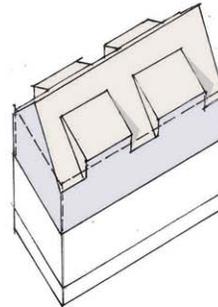
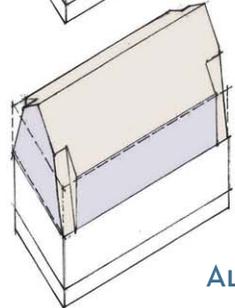
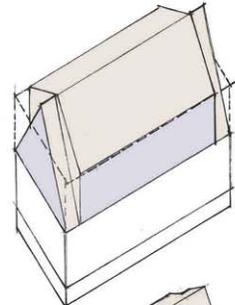
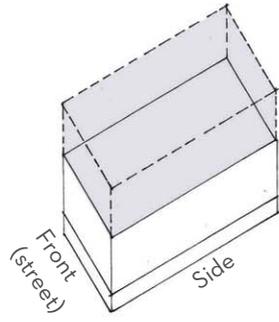
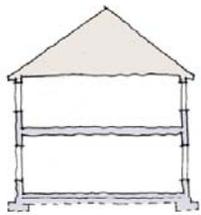
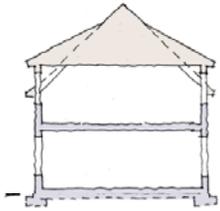


ROOF & DORMER OPTIONS- PERPENDICULAR TO THE STREET

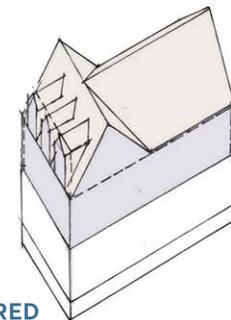
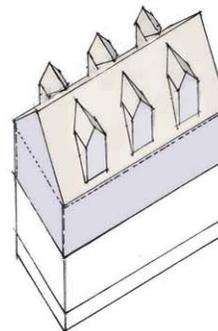
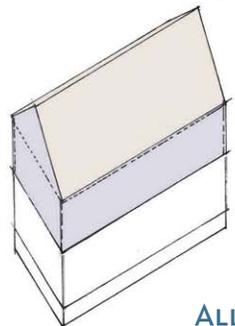
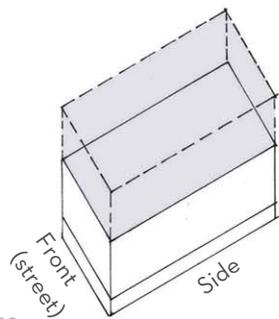
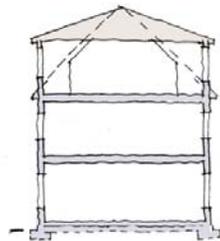
1.5 STORIES



2 STORIES

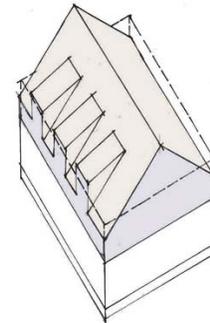
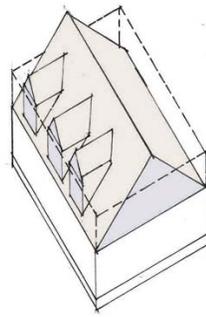
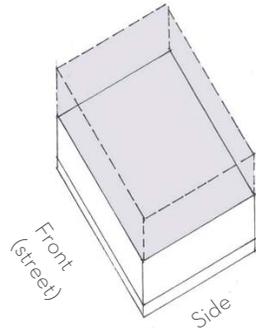


2.5 STORIES



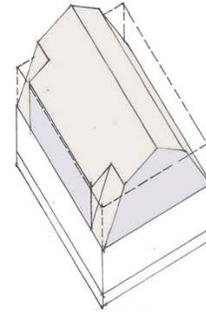
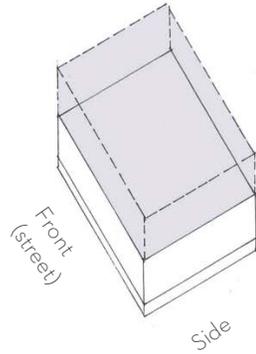
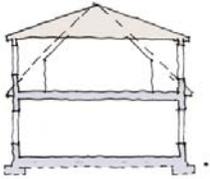
ROOF & DORMER OPTIONS- PARALLEL TO THE STREET

1.5 STORIES



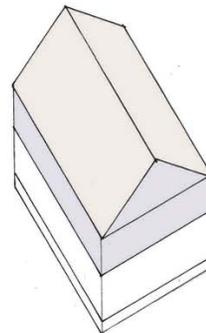
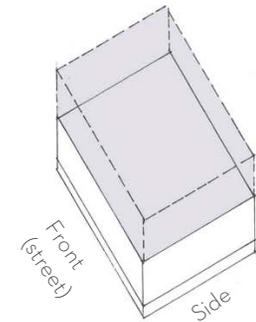
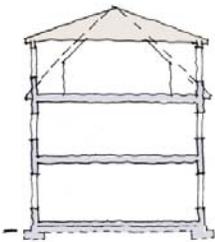
PREFERRED

2 STORIES



ALLOWED

2.5 STORIES



ALLOWED

ROOF MATERIALS

Please refer to the Appendix for acceptable roof materials.

SUCCESSFUL ROOF DESIGNS

While a variety of roof types suit the Oak Knoll home, successful designs will support the simple massing of primary and secondary volumes and interior spaces, visually reduce the scale of the home, and provide adequate shading.

DORMER SIZING

Dormers are an important element that allows upper stories of a home to be usable as well as visually diminishing the scale of the upper level. Dormers may contain one window, or a string of windows, depending on the functional needs of the spaces within.

Dormer eaves and overhang details should be scaled accordingly, and should be consistent with the overall roof details.

All dormers shall be functional and bring light into occupiable interior spaces.

DORMER SIDING

Siding may be applied on the side walls of dormers either horizontally or sloped to match the adjacent roof. Siding may be applied on the front face of dormers only upon approval by the DRC.



1/2 Story 2nd floor with dormers

3.5 HIGH VISIBILITY FACADES

High Visibility Facades are visible from the street and from open space. Please refer to neighborhood site plans in Chapter 2.0: Planning Guidelines for the anticipated locations of High Visibility Facades. High Visibility Facades are entry facades; hillside rear facades (facing the view); and corner lot facades. The High Visibility Facade of all homes should welcome residents, be inviting to neighbors and guests, and must follow guidelines defined in this section.

HIGH VISIBILITY FACADES - OPEN SPACE

While the entry facades of all homes in Oak Knoll shall be considered High Visibility Facades, select facades that face the Open Space shall also be considered High Visibility Facades. Use of porches and balconies are encouraged on these facades, and they should be designed with their visibility in mind, as well as the privacy of the homeowner.

CORNER LOT FACADES

Corner lot facades should carry distinct compositional and material elements from the entry facade to the side facade, to create a dynamic perspective of the home from the street. Corner lot facades shall have consistent details and elements on elevations facing both streets. The rhythm of openings established on the entry facade shall continue on the side facade that faces the street, and divided window patterns shall be consistent on both elevations. If shutters are incorporated on the entry facade they shall likewise be incorporated on the side facade that faces the street.

ADDITIVE FACADE ELEMENTS

Once the design of the High Visibility Facade openings has been determined, additive building elements like porches and dormers should follow the rhythm of the facade composition. Wraparound porches are encouraged on corner lots, as well as projected window bays. Porch columns should be spaced equally to either side of facade openings. Satellite dishes and external antennas are not permitted on High Visibility Facades.

SUCCESSFUL EXECUTION OF SECONDARY FACADES

Secondary Facades that successfully follow the above guidelines will support a composition of the Bay Area home that is balanced and continuous rather than one-sided and fragmented.



Secondary Facades

3.6 OPENINGS - WINDOWS

WINDOW TYPES

Homes may have single-hung, double-hung, triple-hung, awning, and casement windows. Square transom windows are allowed on Secondary Facades, and may be used in bedrooms, bathrooms, stairwells, etc. Arch windows shall be permitted where appropriate to the style. Please refer to the Architectural Style Matrix on pg 30 for window recommendations by style. Bay windows may encroach into front and rear yard as permitted by zoning and building codes. All windows shall be fully trimmed on the exterior with appropriate head, side, and sill details. Mitered joints are not permitted.

WINDOW PROPORTIONS

Windows may be mulled together to achieve wider expanses of glass, but shall not exceed 12' in total width. Windows may have no muntins, a 2 over 2, 4 over 1, 4 over 4, 6 over 1, or 6 over 6 muntin pattern. True divided lites are preferred, simulated divided lites are acceptable, and removable muntins are prohibited.

SHUTTERS

If shutters are incorporated in Primary Facades they should likewise be incorporated in High Visibility Facades. Each shutter shall be a minimum of half of the window dimension. Louvered or panelized shutters are acceptable.



Casement Style windows



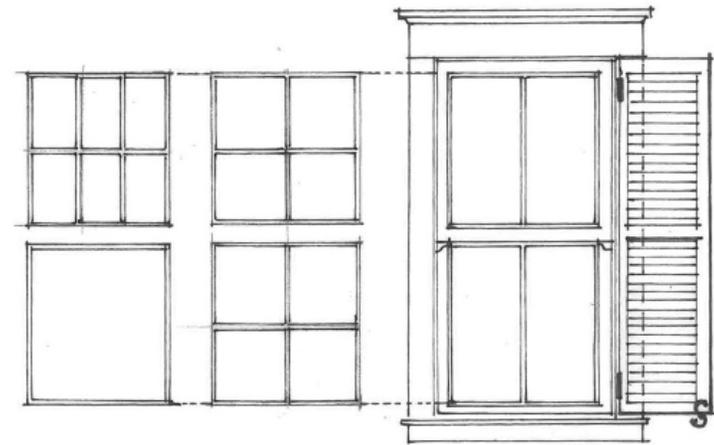
Double-hung windows



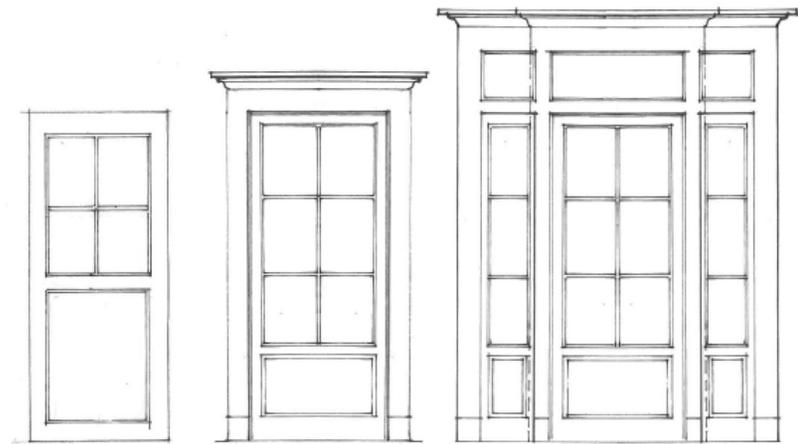
Casement Style windows



Casement Style Windows



6 over 1; 4 over 4; and 2 over 2 muntin patterns



3.7 EXTERIOR DOORS

Exterior Main Entry doors can be flat or traditionally paneled doors. Please refer to the Architectural Style Matrix on pg 30 for design recommendations by style.

3.8 PORCHES & STOOPS

TYPES

The porch or stoop is the signature element of an Oak Knoll home. As such, all homes must have either a porch or stoop. Multiple types are acceptable and encouraged, from single-bay to full-width, wraparound, and stacked. Pages 41 and 42 illustrate examples of porch and stoop types. Entry Courts are also an entry feature of certain styles of homes and are addressed in the landscape section.

PORCH DIMENSIONS

All porches or stoops on detached homes shall be a minimum of 30 sf of covered area, and designed in a manner appropriate to the style of architecture.

Porches shall be elevated a minimum of 8 (8) inches above grade. Wherever possible, porch decks should not exceed thirty (30) inches above grade; the necessity of a guard rail is to be avoided.

Covered porches are allowed encroachments into front yard setbacks, see lot diagrams on pages 24-27.



Entry Porches

PORCH DETAILS

Porch columns should be with round or square profiles, and shall have a minimum dimension of eight (6) inches. Columns shall have defined capitals and bases. Porch design should be consistent with the chosen style of the house. Please refer to the Architectural Style Matrix on pg 30 for design recommendations by style.

Porch beams shall align over supporting columns. Porch eaves and rakes should extend beyond porch beams. Porch ceilings must be fully trimmed.

Porch railings and balusters shall be round or square and set between a top and bottom rail. The bottom rail shall be 4" above the porch deck and the top rail shall be elevated 34-36" above the porch deck.

STOOPS

Stoops should be detailed in a similar way to porches, but are smaller in size and may indent into the building wall. The landing should be a minimum of five (4) feet deep by six (5) feet wide and a minimum of 50% of the landing should be covered.



Entry Porch



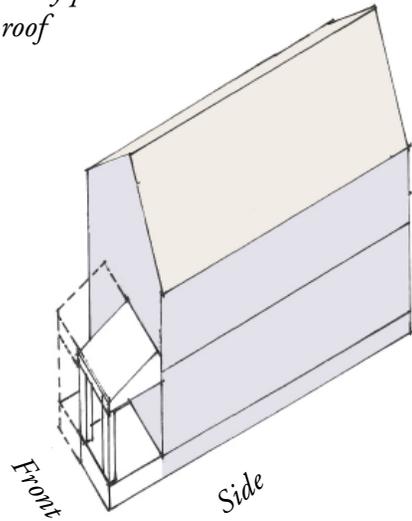
Entry Stoop



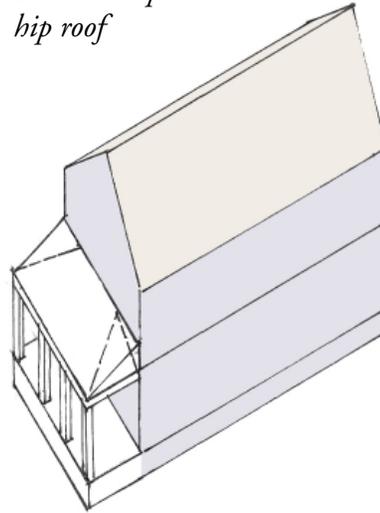
Entry Porch

3.6 PORCHES- *Porch and Stoop Types*

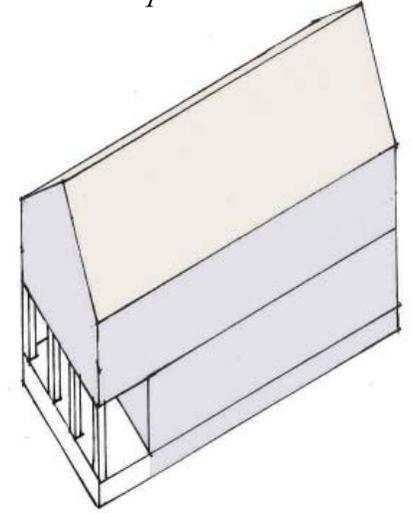
Single-bay porch with shed roof



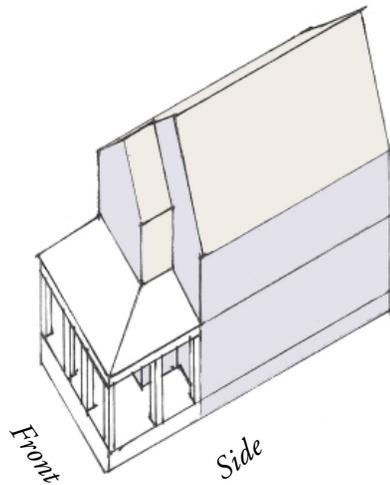
Full-width porch with hip roof



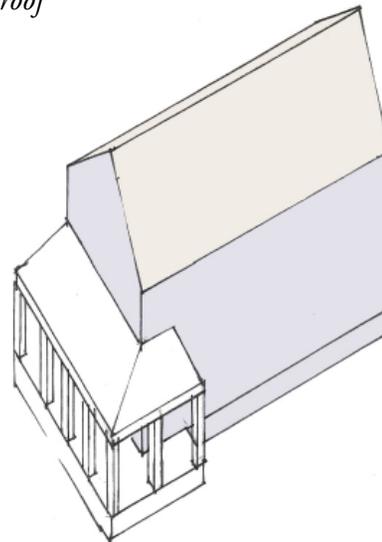
Full-width porch



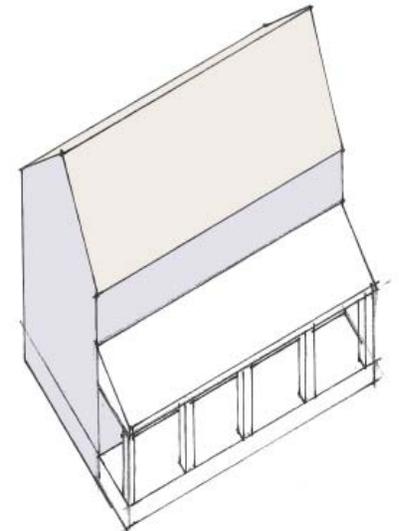
Wraparound porch with hip roof



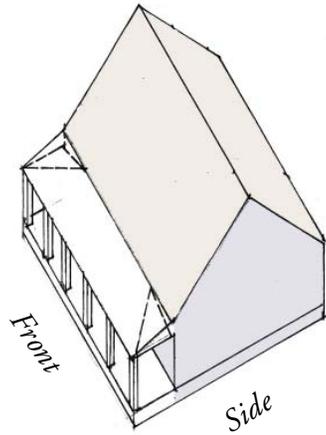
Wraparound porch with hip roof



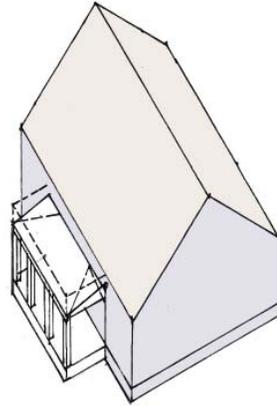
Side porch with shed roof



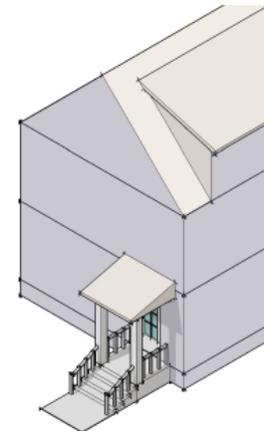
Full-width porch



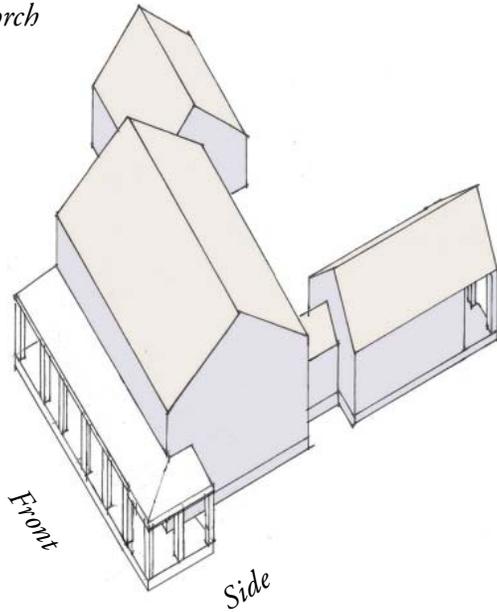
Single-bay porch



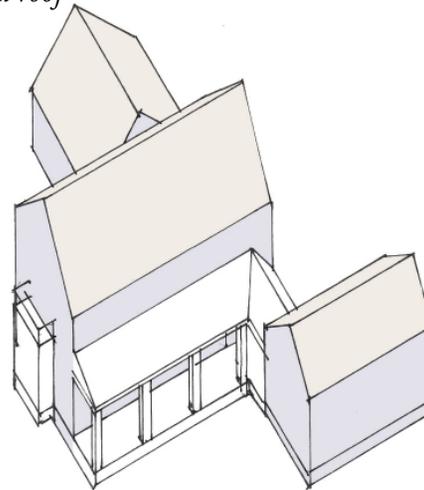
Standard Stoop



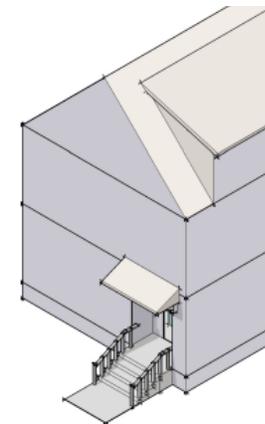
Full-width porch



Single-bay porch with flat roof; side porch with shed roof



Inset Stoop



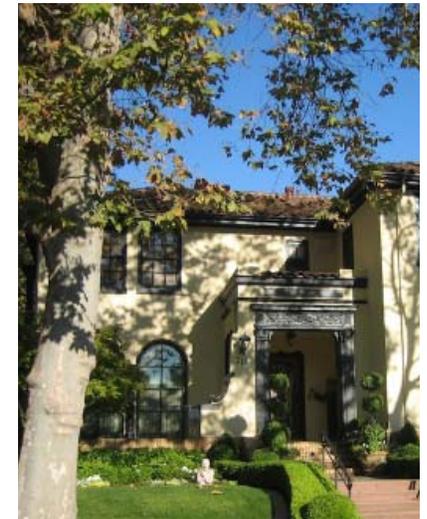
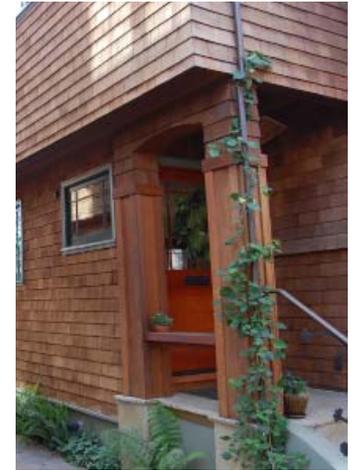
PORCH MATERIALS

Porches may be constructed from wood, wood-like composites, stucco, or concrete faced with brick or stone veneer. Entry stoops, porches, and stairs that are constructed with wood shall be screened with wood or manufactured wood trim or lattice.

Entry stoops or porches constructed of masonry may have stair risers and treads constructed of masonry and may be finished with brick pavers. When finished walking surfaces, including stair treads, are brick pavers, all vertical surfaces from the top of the porch deck to grade shall be of brick. Bare or painted concrete is also a permitted finish material.

The porch ceiling may be composite bead-board planks or wood with appropriate molding.

Composites, and fiberglass trim moldings are allowed on a case-by-case basis as reviewed in Design Review. Vinyl trim is prohibited. Refer to Chapter 4.0: Landscape for planting requirements at base of porch.



3.9 GARAGES

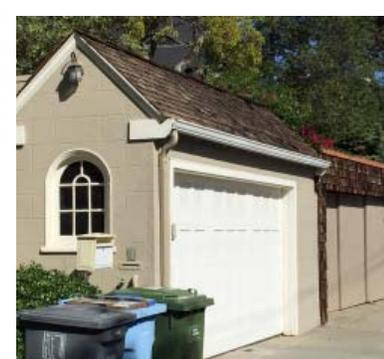
GARAGE DIMENSIONS

The design and placement of garages is important to creation of a pleasing streetscape and a domestic 'neighborhood' feel. A minimum setback is required to allow a parked car in front of garage within the lot and not overlapping with adjacent sidewalks or common drive aisles. Exceptions may be granted through the Design Review process to allow the garage face closer to the front lot line per city codes.

Garages preferably will have individual carriage doors, but double garage doors no wider than 15' are permissible as well. Garage doors shall not exceed eight (8) feet in height, and shall be recessed from the exterior garage face a minimum of six (6) inches. Garage doors should be traditionally panelled, and windows courses at the upper panel are desirable features. Single car garages and tandem garages are also encouraged where circumstances favor this layout on the lot.

GARAGE DETAILS

Where the garage is not integrated into the primary mass of the home, they shall be considered a Secondary Volume, and shall have the same or shallower roof pitch than that of the Primary Volume of the home, and set back from the Primary Volume. Garage doors should incorporate details that complement the design of Entry and Secondary Facades, such as windows, patterned paneling, trellis and roof details.



3.10 LIGHTING

ARCHITECTURAL LIGHTING

A well-lighted porch or stoop is a critical element to the Oak Knoll streetscape. As such, all homes must have porch lighting appropriate to the style of the house.

Garages should also have exterior lighting integrated over or adjacent to the door bays.



4.0 LANDSCAPE GUIDELINES



4.1 LANDSCAPE VISION

The landscape design for Oak Knoll is intended to integrate the new community into an existing context of hillsides, creeks and drainages, and oak woodland. Proposed landscape elements will reinforce the new patterns of buildings, roads, public spaces, and recreational and open space amenities, creating a framework for the new community while also providing for habitat restoration and sustainability.

The proposed landscape elements are also intended to celebrate the rich heritage and historic context of the North Oakland communities, celebrating historic community values of respect for land, nature, and a tradition of craftsmanship that was expressed by neighborhood community designs at the turn-of-the century in the East Bay neighborhoods of Berkeley, Claremont, Piedmont, and Rockridge.

The community landscape is shaped to provide accessible open space and access to nature, and to encourage active and healthy outdoor living. Neighborhoods are woven together with natural open space settings and carefully designed streets with generous sidewalks, punctuated by neighborhood and pocket parks. Landscape materials emphasize the use of native materials and plant communities within natural settings, intended to restore the site's ecology and benefit wildlife, while presenting a unique, nature-rich environment for the residents of the community.

In order to promote the conservation and efficient use of water, landscaping shall comply with the provisions established in the California Code of Regulations Title 23, Division 2, Chapter 2.7 Model Water Efficient Landscape Ordinance (MWEL0).

4.2 STREETScape DESIGN

Street trees are important thematic elements of the neighborhoods, where strong patterns reinforce the neighborhood identity, define road edges and provide a shaded overstory. A strong overhead tree canopy will modify the climate and bring streets into a more balanced scale with the overall landscape.

The community streetscape features a natural setting of Coastal Oak woodland, comprised of native London Plane and Coast Live Oak along street edges. Plantings are low groundcovers in composed drifts, using selections from the Approved Plant List. (Refer to the PDP for public street sections.)

The Creekside Village, Retail Village, Creekside Townhomes and Garden Court neighborhoods utilize native Oak woodland as the predominant framework plantings, with London Plane, Trident Maple, Red Maple and Brisbane Box as canopy street or parking lot trees.

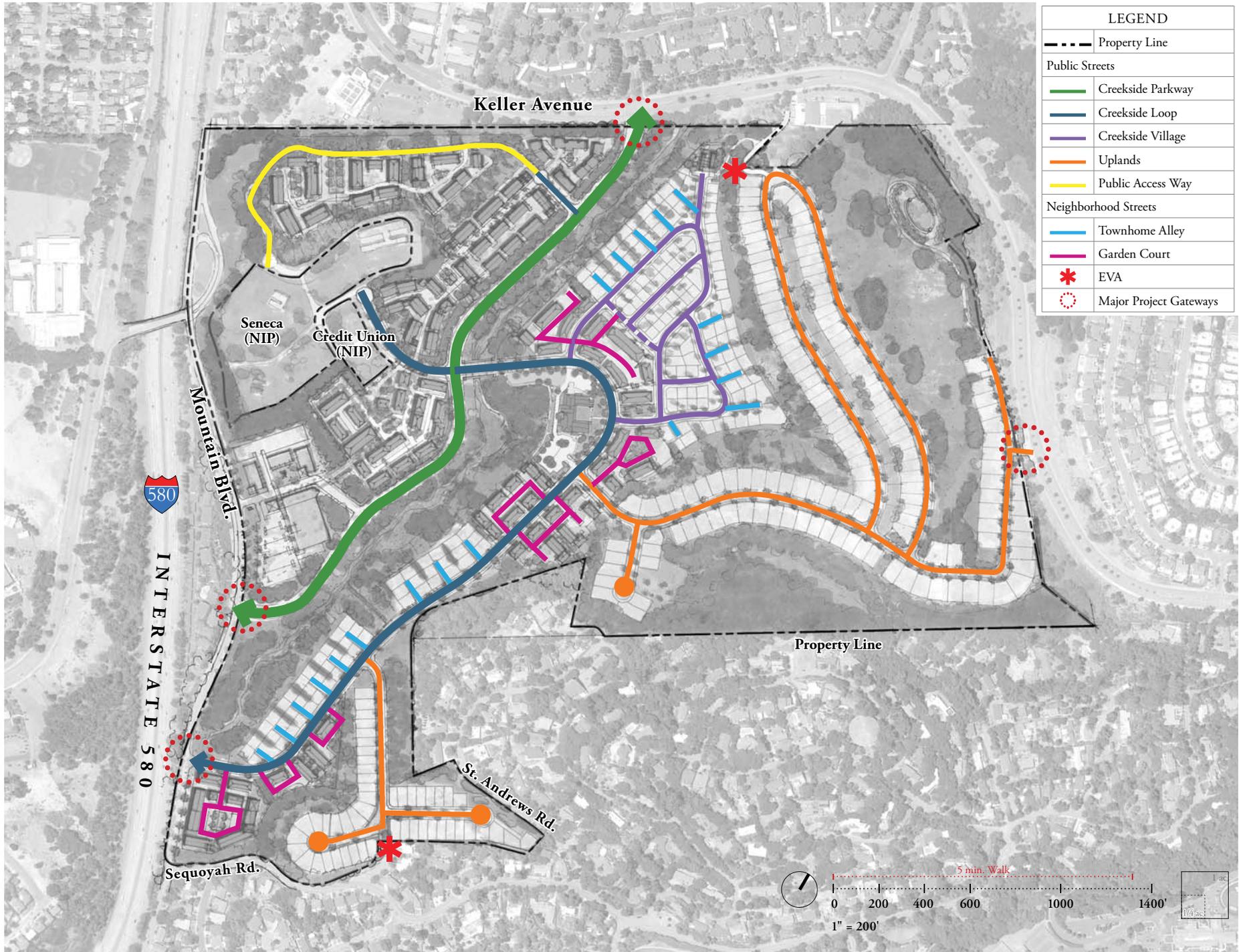


Figure 4.1- Circulation Network

| | CREEKSIDE PARKWAY | CREEKSIDE LOOP | CREEKSIDE VILLAGE | UPLANDS | TOWNHOME ALLEY | GARDEN COURT |
|---|-------------------------------------|-------------------------------------|--|---|--|--|
| On-street Parking | Parallel on Both Sides | Parallel on Both Sides | Primary: Parallel on 1 side Secondary: None | Primary: Parallel on 2 sides Secondary: Parallel on 1 side | Primary: Parallel on 2 sides Secondary: Parallel on 1 side | None |
| Bike Lane | Class I multi-use path | Class III | None | None | None | None |
| Landscape Character | - Large deciduous street tree | - Large deciduous street trees | - Large deciduous street trees with medium evergreen and deciduous alley trees - Fall color | - Large evergreen street tree | - Medium deciduous trees - Fall color | - Medium deciduous trees - Fall color |
| Drainage | Bulb-out Infiltration Basins in ROW | Bulb-out Infiltration Basins in ROW | Bulb-out Infiltration Basins in ROW/Parks | Bulb-out Infiltration Basins in ROW/ In Board Bioswales | In-tract detention and infiltration basins | In-tract infiltration basins |
| Drainage in R.O.W. | Yes | Yes | Yes | Yes | No | No |
| Representative Landscape Species | STREET TREE: - London Plane | STREET TREE: - London Plane | STREET TREE: - London Plane ALLEY TREE: - Trident Maple - 'Elegant' Brisbane Box | STREET TREE: - Coast Live Oak | STREET TREES (North Creekside): - 'Redpointe' Red Maple (South Creekside): - Trident Maple | COURT TREE: - 'Redpointe' Red Maple |



London Plane



Coast Live Oak



'Redpointe' Red Maple



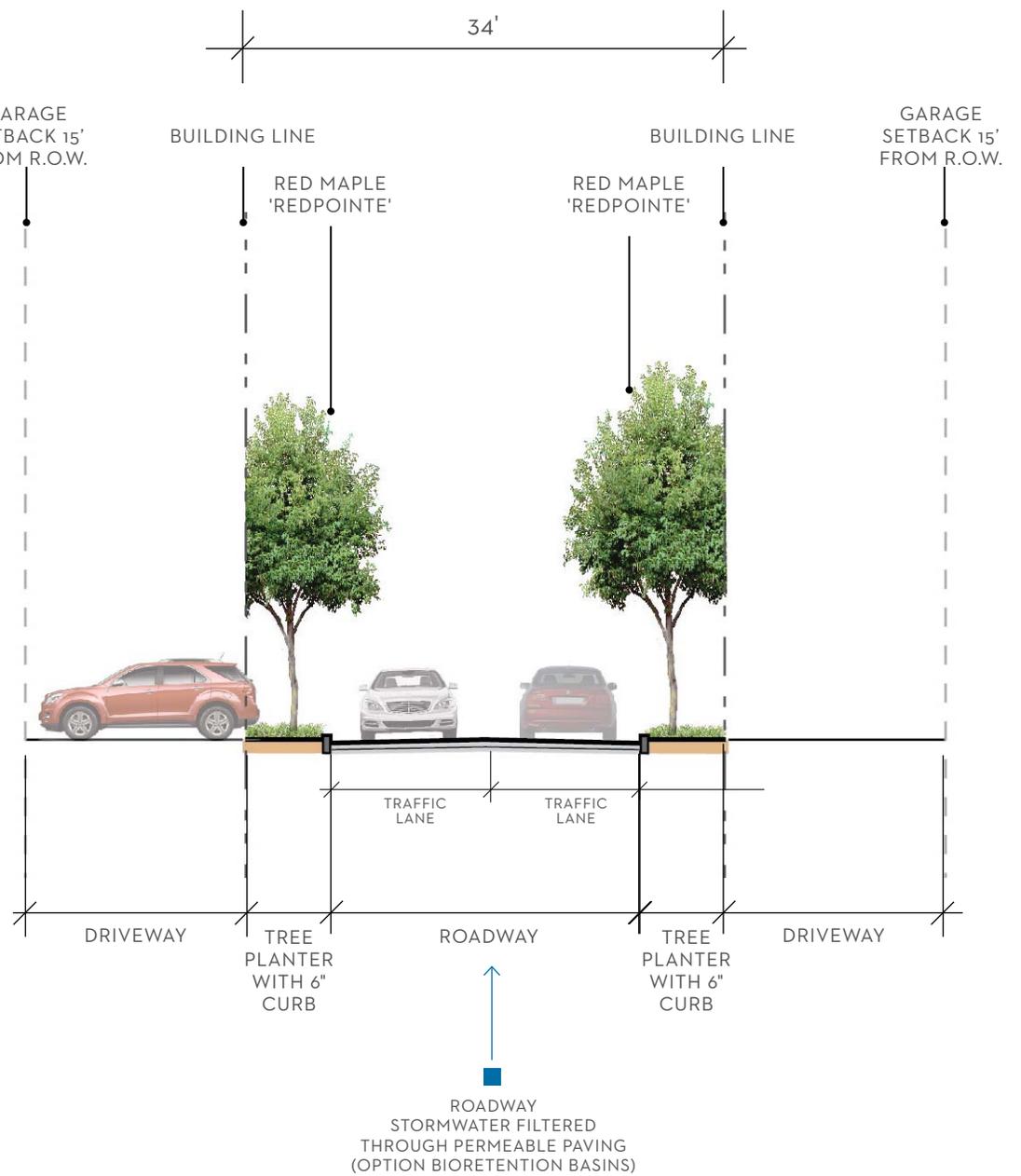
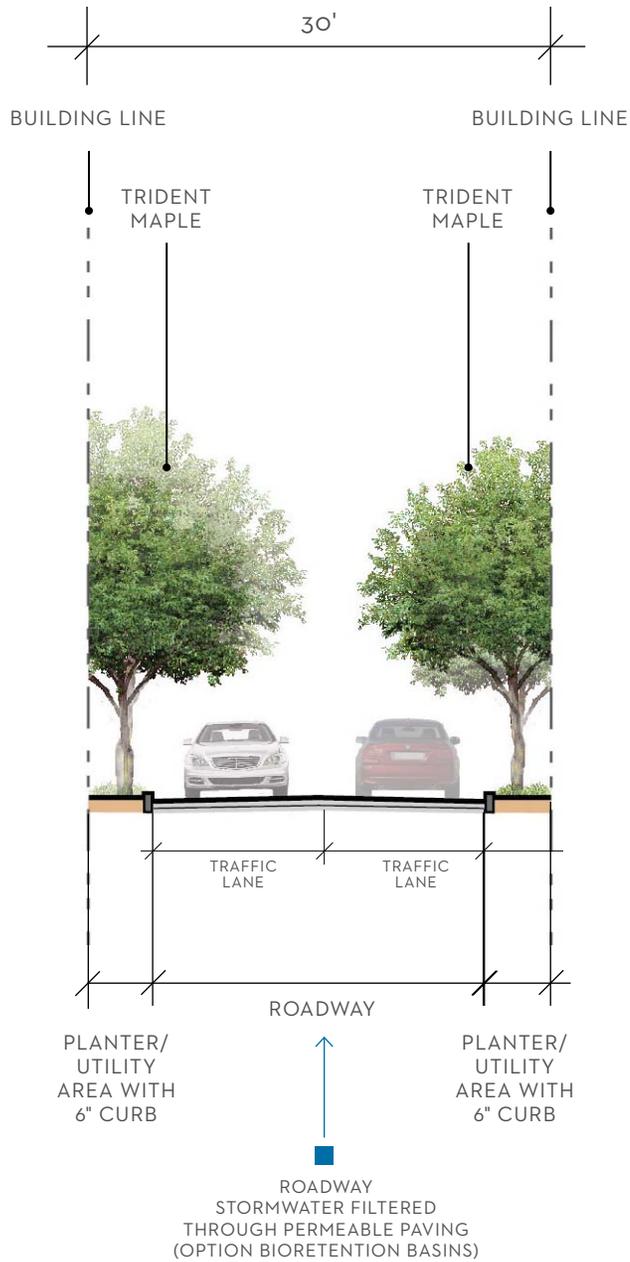
Trident Maple



Brisbane Box

TOWNHOME ALLEY 'TYPICAL'

GARDEN COURT 'TYPICAL'



Neighborhood Streetscape

Proposed Plant List

| Botanical Name | Common Name | Size/ Foliage Character | | | | | | | | | | |
|--|-----------------------------|-------------------------|----------------------------|-----------------------------|----------------------------|----------------------------|----------------------------|----------------------------|----------------------------|----------------------------|------------|-----------------|
| | | Native | Large Deciduous Trees >30' | Large Evergreen Trees > 30' | Small Deciduous Trees <30' | Small Evergreen Trees <30' | Large Deciduous Shrubs >4' | Large Evergreen Shrubs >4' | Small Deciduous Shrubs <4' | Small Evergreen Shrubs <4' | Fall Color | Wildlife Forage |
| Trees | | | | | | | | | | | | |
| <i>Acer buergeranum</i> | Trident Maple | | | | x | | | | | | x | |
| <i>Acer rubrum</i> 'Redpointe' | Red Maple | | x | | | | | | | | x | |
| <i>Magnolia soulangiana</i> 'Alexandrina' | Saucer Magnolia | | | | | | | | | | | |
| <i>Platanus acerifolia</i> 'Yarwood' or 'Columbia' | London Plane | | x | | | | | | | | x | |
| <i>Quercus agrifolia</i> | Coast Live Oak | x | | x | | | | | | | | x |
| <i>Sequoia sempervirens</i> (Parks only) | Coast Redwood | x | | | | | | | | | | |
| <i>Tristania laurina</i> | Brisbane Box | | | | | | | | | | | |
| <i>Tristania laurina</i> 'Elegant' | Elegant Brisbane Box | | | | | x | | | | | | |
| Shrubs | | | | | | | | | | | | |
| <i>Arbutus unedo</i> 'Compacta' | Compact Strawberry Tree | | | | | | | | x | | | x |
| <i>Arctostaphylos densiflora</i> 'Howard McMinn' | Vine Hill Manzanita | x | | | | | | | x | | | |
| <i>Arctostaphylos densiflora</i> 'Lutsko's Pink' | Manzanita | x | | | | | | | x | | | |
| <i>Arctostaphylos hookeri</i> 'Wayside' | Monterey Manzanita | x | | | | | | | | x | | |
| <i>Ceanothus</i> 'Dark Star' | Dark Star Wild Lilac | x | | | | | | | x | | | |
| <i>Ceanothus</i> 'Julia Phelps' | Julia Phelps Lilac | x | | | | | | | x | | | |
| <i>Cercis occidentalis</i> | Western Redbud | x | | | | | | x | | | x | |
| <i>Heteromeles arbutifolia</i> | Toyon | | | | | | | | | | | |
| <i>Mahonia</i> 'Golden Abundance' | Oregon Grape | | | | | | | | | | | |
| <i>Phormium</i> spp. | Flax | x | | | | | | | x | | | |
| <i>Rhamnus</i> 'Mound San Bruno' | Mound San Bruno Coffeeberry | | | | | | | | | | x | |
| <i>Rhamnus californica</i> 'Eve Case' | Eve Case Coffeeberry | x | | | | | | | x | | | |
| <i>Rhamnus californica</i> 'Seaview' | Seaview Coffeeberry | x | | | | | | | x | | | |
| <i>Rhamnus californica</i> 'Leatherneck' | Leatherneck Coffeeberry | x | | | | | | | | | x | |
| <i>Rosmarinus</i> spp. | Rosemary | x | | | | | | | x | | | |
| <i>Salvia leucantha</i> | Mexican Bush Sage | x | | | | | | | | | | |

Neighborhood Streetscape

Proposed Plant List

| Botanical Name | Common Name | Native |
|--|----------------------------|--------|
| Ground Covers, Perennials and Grasses | | |
| <i>Anigozanthos cultivars (dwarf)</i> | Kangaroo Paws | |
| <i>Arctostaphylos 'Emerald Carpet'</i> | Emerald Carpet Manzanita | x |
| <i>Arctostaphylos edmundsii 'Carmel Sur'</i> | Carmel Sur Manzanita | x |
| <i>Arctostaphylos uva-ursi 'Point Reyes'</i> | Point Reyes Manzanita | x |
| <i>Berberis 'Crimson Pygmy'</i> | Berberis | |
| <i>Calamagrostis foliosa</i> | Pacific Reed Grass | x |
| <i>Ceanothus gloriosus exaltatus 'Valley Violet'</i> | Wild Lilac | x |
| <i>Cotoneaster 'Lowfast' and 'Coral Beauty'</i> | Cotoneaster | |
| <i>Echium fastuosum</i> | Pride of Madeira | |
| <i>Eriogonum fasciculatum</i> | California Buckwheat | x |
| <i>Erisimum linifolium 'Bowles Mauve'</i> | Wallflower | |
| <i>Festuca mairei</i> | Atlas Fescue | |
| <i>Festuca 'Molate'</i> | Molate Fescue | x |
| <i>Festuca 'Siskiyou Blue'</i> | Fescue | x |
| <i>Lavandula angustifolia</i> | English Lavender | |
| <i>Lavandula ang. Hidcote Improved</i> | Hidcote Lavender | |
| <i>Myoporum parvifolium 'Putah Creek'</i> | Creeping Myoporum | |
| <i>Pennisetum spathiolatum</i> | Slender Veldt Grass | |
| <i>Ribes viburnifolium</i> | Catalina Fragrance | x |
| <i>Rosmarinus 'Huntington Carpet'</i> | Huntington Carpet Rosemary | |
| <i>Teucrium chamaedrys dwarf</i> | Dwarf Germander | |

4.3 OPEN SPACE DESIGN

The open space network consists of a range of open spaces including existing undisturbed open space, the restored Rifle Range Creek Corridor, revegetated hillsides and publicly accessible neighborhood parks.

- The existing grassland on the upper hillside and areas of existing preserved oak woodland are protected natural resources.
- The lower hillside will be extensively planted as a restored oak woodland natural setting, consisting of several native oak species, Toyon and California Buckeye.
- The restored Rifle Range Creek will be revegetated with an appropriate and diverse native plant community to recreate a natural setting that benefits wildlife, and includes a multi-use trail serving the community. Refer to the Oak Knoll Mixed Use Community Development Project Regulatory Permit Application Package.
- Tree mitigation occurs site-wide in a variety of locations. Refer to the Tree Removal Permit Package for recommended mitigation locations and species.





Figure 4.2- Open Space and Parks

4.4 PARKS AND PLAZA DESIGN INTENT

There are three kinds of public parks offering active and passive recreational opportunities as described in the PDP. Larger more active community parks (see Figure 4.2) include the park areas at the Club Knoll community center and the neighborhood park near the project's northern boundary. Smaller more passive neighborhood parks are planned near the Community Center and within the townhome in-tract parcels. The plaza at the retail Village Center will serve as a social gathering and event space for the community, with decorative hardscape, benches, informal seating and canopy shade trees. Landscape guidelines for parks and plazas include:

- The parks should emphasize use of native trees, shrubs, and groundcovers in both organic and formal settings. Refer to the Neighborhood Streetscape Plant List for Proposed Plants.
- Parks should incorporate community-wide furnishings and signage consistent with other design elements in the community.
- Parks should provide shaded seating areas, picnic tables, and trash receptacles.
- Hardscape areas should avoid asphalt and large expanses of concrete. Natural stone, pavers, high quality stamped concrete, and decomposed granite should be utilized in the appropriate settings.
- A tot lot with play structures and picnic benches and lawn areas will be located at two locations and should include play equipment that is durable, safe, appropriately scaled, shaded and maintainable.
- Recreation areas such as playfields and multi-use courts should employ high quality turf and/or hardscape surfaces. Site drainage shall be extensively utilized on playfields and other higher impact natural areas.
- All fencing should be natural in character and follow these design guidelines direction on fencing.
- Parks should provide connections and wayfinding to the project-wide trail and bikeway system.
- Where public art is included in park settings, designers should coordinate with artists prior to park design to ensure art elements are well integrated, accessible and compliment other elements of the park design.

COMMUNITY PARK



RETAIL VILLAGE



NEIGHBORHOOD PARKS



4.5 COMMUNITY TRAILS AND RECREATION

An extensive network of trails extend throughout the community, affording a range of experiences, challenges levels and activity options, including running, hiking, walking, dog walking and accessibility.

- Emphasis is on use of natural materials and simple treatments that are intended to integrate fully with the natural setting.
- Use of reclaimed timber for benches, signage, and trail markers with opportunities to incorporate hand-crafted artisan designs.

Trails for Oak Knoll are classified as follows:

- Hiking Trails
- Multi-Use Path (Walking/ Running/Biking)
- Neighborhood Path
- Bike Route

Location of the trails systems should meet the following design objectives:

- Safety
- Connectivity to on-site and off-site destinations
- Diversity in experiences and user types
- Conforms to site attributes, opportunities and constraints



Wayfinding Sign



Trailhead Signage



Bay View telescope at Vista Point



Soil cement surface



Unique wood benches

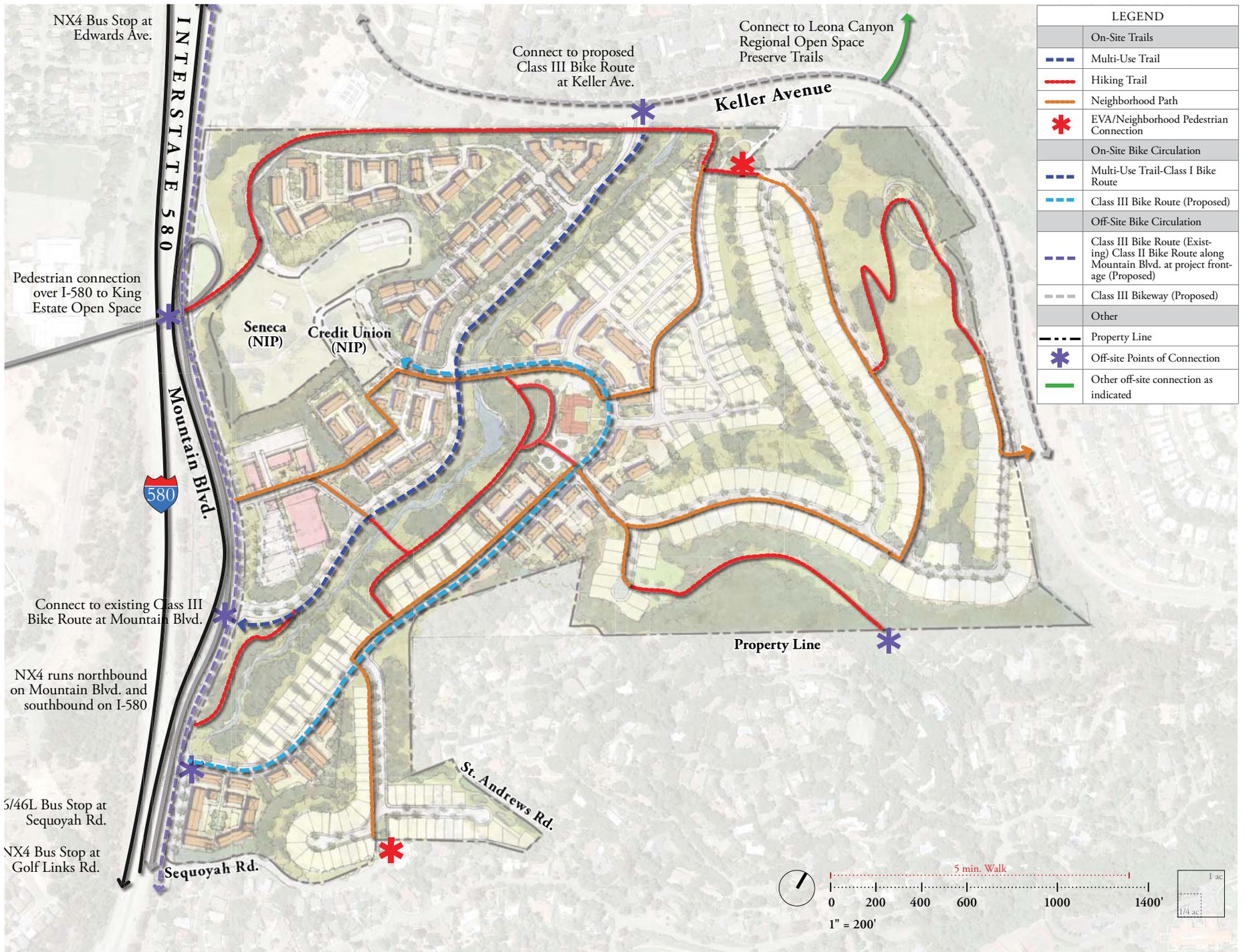


Figure 4.3- Bike and Pedestrian Trails and Connections

4.6 SIGNAGE AND MONUMENTATION

Stone piers with historic details are envisioned for use to celebrate the main entry points and secondary neighborhood entry points. A hierarchy of scale will differentiate the entry and neighborhood monuments, while incorporating unique details and establishing a common approach. Materials and craftsmanship will employ a unified approach to unify the community design, including stone details at the vehicular bridge crossing the creek and community center entrance.

The vision for the main entry monument on Mountain Boulevard and Keller Avenue is for a collection of native rock and trees (oaks, manzanita, etc) in a naturalized composition. Community signage may be integrated into the rock similar to the tradition of the neighborhood street names at neighborhood entries.



Community Entry Monument Concept



Stone Neighborhood Entry Piers



Stone Community Entry Sign



Community Entry Conceptual Plan - Mountain Boulevard and Creekside Parkway



Figure 4.4 - Signage and Monumentation Plan

4.7 WALLS

SITE RETAINING WALLS

Retaining walls will be needed due to the sloping topography of the site. See the Appendices for Approved Retaining Wall. Low shrubs are required where space between the face of retaining walls and right of way or swale exceeds 2'. Retaining walls greater than 4' tall require top of wall planting, Retaining walls greater than 6' tall shall have vines planted on the face of walls in drifts of single species; each drift of vine planting should not exceed 50' before blending into another species.

Retaining walls taller than 30" shall incorporate a 42" cyclone fence. Fences shall be set behind the top of wall (or top of wall swale where occurs) 4' to allow for shrub massing.

The Approved Plants include the following:

Vines for Retaining Walls (plant on face in drifts of single species, 8' spacing to achieve 50% cover when mature):

- Parthenocissus tricuspidata 'Veitchii'/Dwarf Boston Ivy
- Solanum rantonetti/Potato vine

Shrub massing for base of walls, where planting area (clear of drainage swales) measures 2'-4':

- 40% Ceanothus gloriosus 'Valley Violet'/Valley Violet Wild Lilac
- 40% Westringia fruticosa 'Grey Box' or 'Jervis Gem'
- 20% Erysimum Bowle's Mauve'

Shrub massing for base of walls (clear of drainage swales) where planting area measure 4' to 10':

- 40% low shrub massings:
- Ceanothus maritimus cultivars planted in drifts alternating with Manzanita:
- "Frosty Dawn', 'Valley Violet' and/or 'Point Sierra'
- 30% Arctostaphylos hookeri 'Wayside'
- 30% Feijoa sellowiana/Pineapple Guava (taller shrub massings where walls exceed 7 feet)

The Approved Site Retaining Wall is:

- Pavestone 'Anchor Diamond Pro' Retaining Wall
- Face Style: Straight
- Color: Sandstone Blend



Vines planted on face of retaining wall

4.8 RESIDENTIAL LANDSCAPE DESIGN

The following principles embedded in the landscape design philosophy closely mirror the architectural design principles:

- Oak Knoll landscapes and gardens are versatile, imaginative and offer a range of expressions.
- Landscapes encourage a relaxed, informal and practical approach while accommodating contemporary lifestyles.
- Landscapes are designed to respond to unique characteristics, such as lot configuration, topography, existing vegetation, and the design and location of the house and ancillary structures.

Residential landscaping will be the responsibility of the individual Homeowners and Builders and shall be thoughtfully designed according to these guidelines. A palette of plant and landscape materials is established in these guidelines to ensure visual unity within visible lot areas while allowing room for individual creative design solutions.

4.9 SINGLE FAMILY RESIDENTIAL

Landscape guidelines and requirements within this Section address unique landscape conditions that occur for the single family residential lots found at Oak Knoll.

OBJECTIVES

- Integrate the built environment with a dominant landscape.
- Blend landscapes between lots and neighborhood streets as a unified community landscape setting.
- Establish a healthy, sustainable and natural landscape environment.
- Prioritize front yard landscapes to reinforce neighborhood streets as livable, walkable places. The combination of front porches and front yard gardens within the private frontages activate the streetscape, and shall contribute to a consistent, high quality neighborhood landscape.
- Low groundcovers have low water requirements and are composed in drifts, using selections from the Approved Plant (see Appendices).

Three general landscape zones have been defined for each home site. Objectives and guidelines regarding landscaping, planting, paving, walls and fencing within each zone are described in this chapter. The three landscape zones are described as follows:

FRONT YARD ZONE

The front yard is defined by the area between the front property line and the front face of the building, extending to the side property lines. The objectives within this zone are to reinforce and enrich the neighborhood street scene and to provide a transition from the street to the private landscape. All plantings within this zone are to occur prior to home occupation.

SIDE YARD ZONE

The side yard areas maintain privacy for indoor and outdoor living spaces while also providing access around the home. A range of creative solutions such as using architectural site walls and fences combined with neat vertical plantings and groundcovers are encouraged. Sensitivity to neighboring lots is required in the design of side yards in order to avoid blocking light or creating maintenance and nuisance issues.

REAR YARD ZONE

This area is defined as the area between the rear property line and the rear face of the building, extending to the side property lines. The objective within this zone is to provide privacy, pleasant outdoor living spaces and shade for building western exposures. Sensitivity to neighboring lots is required in the design of the rear yard areas in order to avoid blocking light or creating maintenance and nuisance issues.

Refer to Figure 4.5- Typical Home Site Planting Diagram for planting requirements for each zone.

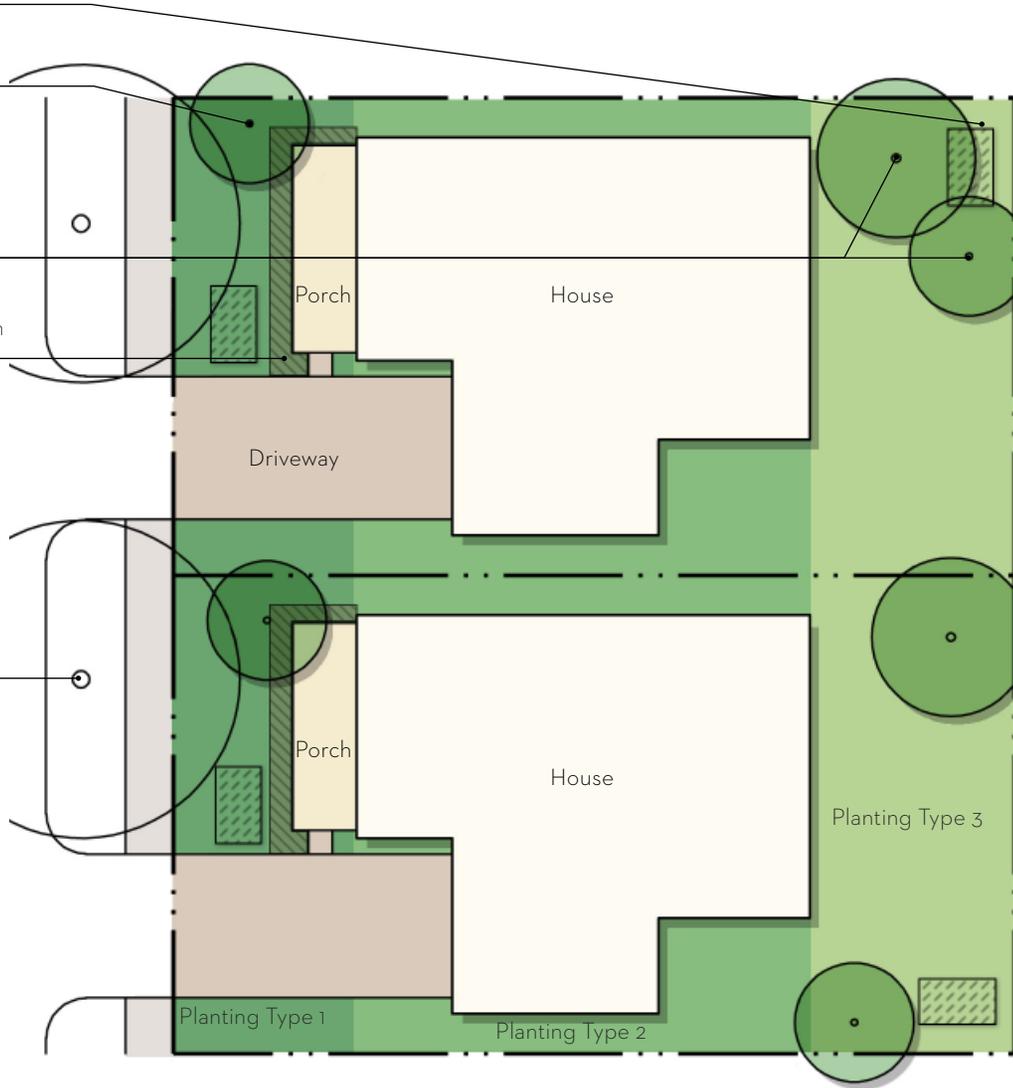
Required Rain Garden at Front and Rear Yard (60 square feet Minimum)

Required (1) Small Tree at Front Yard

Required (1) 15 gal. Medium Tree and (1) 15 gal. Small Tree at Rear Yard

Required Foundation Planting at Porches

Required Street Tree per Final Development Plan



PLANTING PALETTE

Small Trees

(4) 15 gallon total

- Arbutus unedo/Strawberry Tree (compact form)
- Magnolia x s. 'Lilliputian'/ Saucer Magnolia (dwarf form)

Medium Trees

(1) 15 gallon total

- Quercus agrifolia/Coast Live Oak
- Arbutus 'Marina'/ 'Marina' Madrone

Planting Type 1

(perennials, low shrubs and groundcover)

Lavandula angustifolia 'Hidcote'/English Lavender (dwarf cultivars) qty:10

- Arctostaphylos 'Point Reyes'/Manzanita
- Ceanothus gloriosus 'Frosty Dawn'/Wild Lilac
- Rhamnus 'Seaview'/Seaview Coffeeberry
- Festuca rubra 'Molate'/Creeping Red Fescue

Planting Type 2

(rain garden grasses/perennials, accent taller shrubs and fence vine)

- Festuca rubra 'Molate'/Creeping Red Fescue
- Ribes sanguineum/Pink winter Currant
- Pacific Coast Iris cultivars
- Hardenbergia comptoniana/Lilac Vine

Planting Type 3

(lawn, meadow grasses, groundcovers and low shrubs)

- Dwarf Tall Fescue lawn sod or seed
- Carex pansa/California Meadow Sedge pots or plugs
- Calamagrostis foliosa/Feather Reed Grass
- Rhamnus 'Leatherneck'/Coffeeberry

Figure 4.5: Typical Home Site Planting Diagram

FRONT YARDS ON SLOPED LOTS

Lots located on streets with slopes greater than 10% shall be completely vegetated and may use a combination of low walls and plantings to achieve changes in grade. Plants that aid in erosion control are recommended.

GUIDELINES

- Front yard slopes may not exceed 2:1.
- Front yards shall integrate a 60 square foot infiltration basin.
- Retaining walls, if used, shall be a maximum of 30" and set back a minimum of 2' from sidewalks.
- Retaining walls shall be integrated with shrub planting to soften and screen walls.

See Section 4.11 Retaining Walls on Lots for Approved Materials.



Sloped Lot Planting



Combination of Planting and Retaining Walls at Sloped Lots

4.10 SIDE AND REAR YARD FENCING

Side yard fencing is required for functional and safety reasons. All fencing shall use quality materials and follow the Approved Standard Fence Details in Appendix A.

GUIDELINES

- All fencing may either slope with grades or adjust as a vertical offset between panels. Offsets shall not exceed 12 inches.
- All fencing between adjoining lots shall have a height of 6 feet. Corner lots and end lots are encouraged to reduce fence heights at side yards to allow views with a minimum height of 4 feet.
- All fencing shall be softened with flowering vines and shrubs to soften their visual appearance where visible from public areas.
- A few upper hillside home sites with sloped rear yards in excess of 20% shall utilize the Approved Hillside Fence in the rear yard.
- Lots with pools and spas require fencing and gates that meet all applicable codes.
- Typical side and rear yard fencing is a solid cedar or redwood fence with a stained finish.
- For upland lots with rear yards with onsite and offsite visibility, rear yard fencing, if used, shall use the Approved Hillside Fence to ensure visual consistency.



Typical Side Yard Board-on Batten Style Privacy Fence



Typical Hillside Fence where slopes exceed 20% (stepped or sloping rear yard conditions)

4.11 RETAINING WALLS ON LOTS

Retaining walls may be needed due to sloping topography on individual lots. Retaining walls shall be minimized and designed to fit the topography. Retaining walls in the side or rear yard shall use the Approved Retaining Wall design shown in the Appendices.

GUIDELINES

- Use of stucco, brick, painted brick or natural stone veneer may be used for site walls in front and side yards that are visible from public areas. Materials shall complement the building architecture.
 - Wall heights shall be appropriate to context and shall not exceed 6' in height per Code.
 - Tiered walls shall be integrated landscape design.
 - Tops of walls may either slope or step with the topography as required. Walls may slope at 1:8 maximum or use vertical offsets of 12" maximum.
 - Use of vines, trailing evergreen groundcovers and shrub massings are encouraged to soften walls.
 - Retaining walls in side and rear yards- Walls not closely associated with the architecture and not visible from public areas may use the Approved Standard Wall System described in the Appendices.
 - Retaining walls in rear yards shall be located a minimum of 4' from the property line to allow room for fencing.
 - Retaining walls and steps at front walkways are allowed to resolve site grading.
- The following retaining wall materials are allowed:
 - Brick
 - Painted brick
 - Natural stone veneer
 - Approved concrete block wall system in rear and side yards (refer to Appendices)
 - Gabions
 - Pressure-treated wood
 - The following retaining wall materials are **not** allowed:
 - Railroad ties
 - Metal cribs
 - Concrete pylons



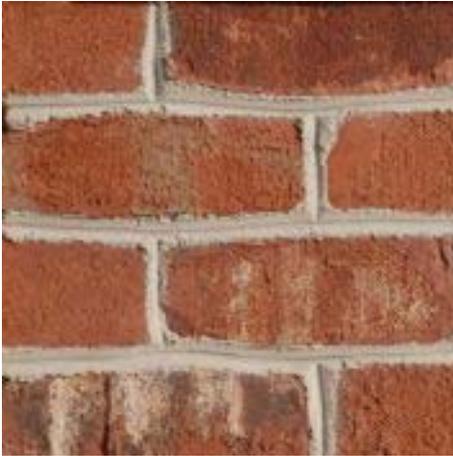
APPENDICES

APPENDIX A

The following colors and materials have been assembled to give developers guidance. They are intended to communicate the vision of the Oak Knoll character. Nonetheless, creativity is encouraged, and alternatives to these materials, which adhere to the spirit of these guidelines will be considered by the DRC.

APPENDIX A - APPROVED MATERIALS & COLOR PALETTE

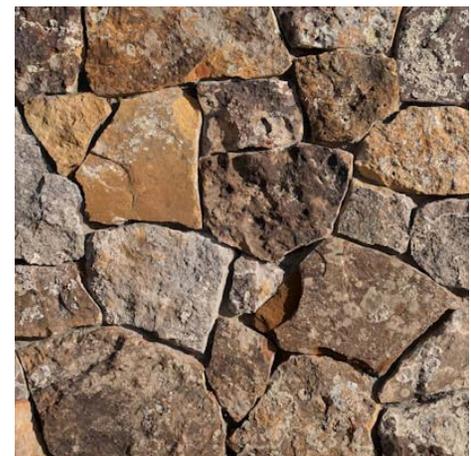
**ARCHITECTURAL BRICK (FACE BRICK) AND STONE
VENEER PALETTE**



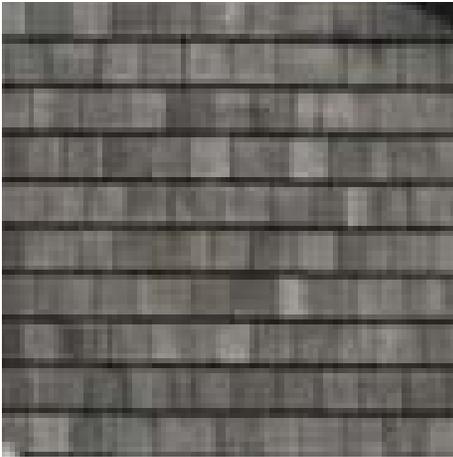
EXAMPLES OF ACCEPTABLE BRICK FINISHES



EXAMPLES OF ACCEPTABLE STONE VENEER FINISHES



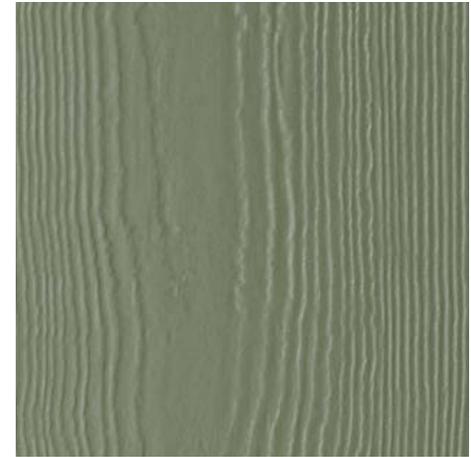
ARCHITECTURAL SIDING AND ROOF PALETTE



STAINED OR PAINTED SHINGLE SIDING



STAINED OR PAINTED SHINGLE SIDING



PAINTED WOOD OR WOOD COMPOSITE SIDING



CLAY TILE ROOF

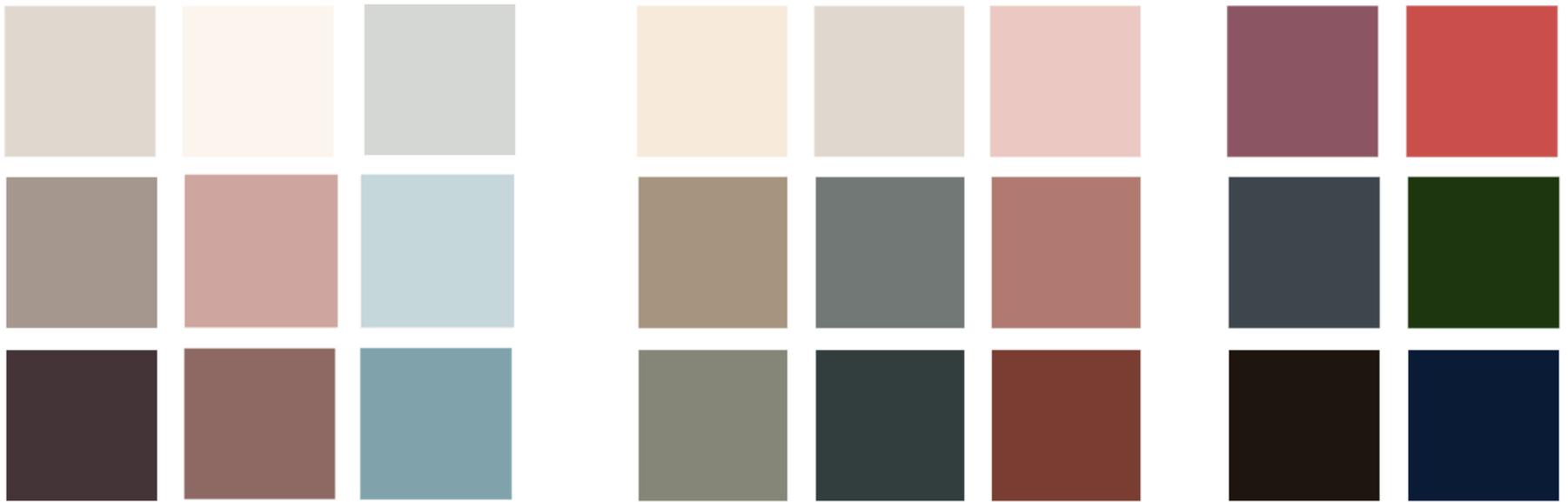


ASPHALT TILE ROOF - GRAY



ASPHALT TILE ROOF - BLACK

ARCHITECTURAL PAINT COLORS





APPENDIX B

APPROVED STANDARD RETAINING WALL SYSTEM ON LOTS

- 'Anchor Highland Stone Retaining Wall 6" Combo' (Product 876) by Pavestone, Inc. : 3 piece system, sizes 18"x12"x6", 12"x12"x6", and 6"x12"x6". Color to be determined. Cap #819. (<http://www.pavestone.com/anchor-highland-stone-retaining-wall-6-combo/>)

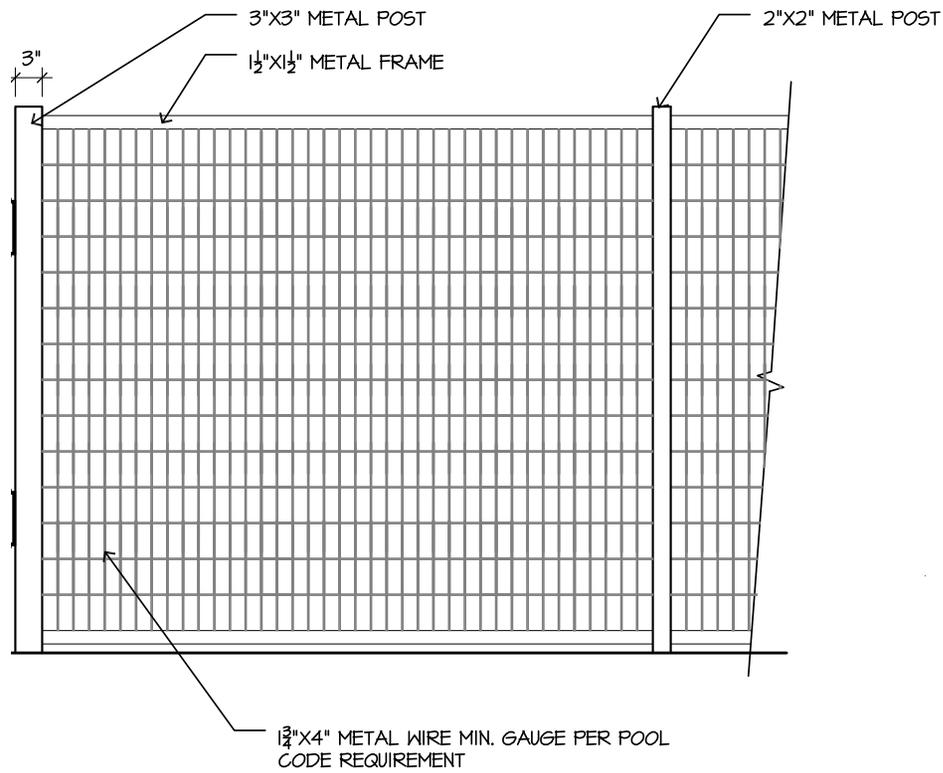


STANDARD APPROVED SIDE YARD AND REAR YARD FENCES

- Minimum Standard Material: #1 grade Western Red Cedar or Redwood
- Stain finish: Cabot 'Red Cedar'
- Note: Both sides are finished equally
- 4x6 posts Western Red Cedar posts 6' apart
- Boards: 1x8, Battens: 1x3 (both sides), Cap: 1x6 with 1x4 facer
- Height: 6'-0"
- add low plants at base like a low grass or liriopse



STANDARD APPROVED GUARDRAIL



APPENDIX C

The following Approved Plant List and Prohibited Plant List are intended to communicate the vision of the Oak Knoll landscape character. Nonetheless, creativity is encouraged, and alternatives to these materials, which adhere to the spirit of these guidelines will be considered.

APPENDIX C - APPROVED PLANT LIST

| Botanical Name | Common Name | Street Trees | | | | | | | | | |
|--|--------------------------------|--------------|--------|-------|--------|----------|----------------|------------|-------------|--|---|
| | | Large | Medium | Small | Native | Full Sun | Part Sun/Shade | Full Shade | Rain Garden | | |
| TREES | | | | | | | | | | | |
| <i>Acer buergeranum</i> | Trident Maple | | x | x | | x | | | | | |
| <i>Arbutus 'Marina'</i> | Madrone 'Marina' | | x | | | x | | | | | |
| <i>Agonis flexuosa</i> | Peppermint Tree | | | | | x | | | | | |
| <i>Arbutus menziesii</i> | Madrone Tree | | | x | | x | | | | | |
| <i>Leucadendron hybrids</i> | Hybrid leucadendron | | | | | x | | | | | |
| <i>Lepotospermum laevigatum 'Dark Dancer'</i> | Dark Dancer Tea Tree | | | | | x | | | | | |
| <i>Magnolia grandifolia 'Little Gem'</i> | Dwarf Southern Magnolia | | | | | x | | | | | |
| <i>Magnolia soulangiana 'Lilliputian'</i> | Saucer Magnolia | | | | x | x | | | | | |
| <i>Ceanothus 'Ray Hartman'</i> | Ray Hartman Wild Lilac | | | x | x | x | | | | | |
| <i>Cercis occidentalis</i> | Western Redbud | | | x | x | x | x | | | | |
| <i>Heteromeles arbutifolia</i> | Toyon | | | x | x | x | x | | | | |
| <i>Arbutus unedo</i> | Strawberry Tree | | | x | x | x | x | | | | |
| <i>Laurus nobilis 'Saratoga'</i> | Saratoga Bay Laurel | | | | x | x | x | | | | |
| <i>Quercus agrifolia</i> | Coast Live Oak | x | | | | x | x | | | | |
| SHRUBS | | | | | | | | | | | |
| <i>Arctostaphylos cultivars</i> | Manzanita | | x | | x | | | | | | |
| <i>Arctostaphylos densiflora 'Lutsko's Pink'</i> | Manzanita | x | | | x | x | | | | | |
| <i>Carpenteria californica</i> | Bush Anemone | | | | | | | | | | |
| <i>Ceanothus 'Dark Star'</i> | Dark Star Wild Lilac | x | | | x | x | | | | | |
| <i>Ceanothus 'Blue Jeans'</i> | 'Blue Jeans' Wild Lilac | x | | | x | x | | | | | |
| <i>Chondropetalum tectorum</i> | Cape Rush | | | | x | | | | | | x |
| <i>Ribes sanguineum</i> | Pink Flowering Currant | | x | | x | x | x | | | | |
| <i>Loropetalum chinese</i> | Fringe Flower | | | | x | | | | | | |
| <i>Hebe species</i> | Hebe | | x | x | | x | x | | | | |
| <i>Heteromeles arbutifolia</i> | Toyon | | | | | | | | | | |
| <i>Fremontodendron californicum</i> | Flannel bush | | | | | | | | | | |
| <i>Ligustrum ovaifolium</i> | California Privet | | | | | | | | | | |
| <i>Mahonia 'Golden Abundance'</i> | Oregon Grape | x | | | x | x | x | | | | |
| <i>Phormium spp.(dwarf form)</i> | Flax | | x | x | | x | x | | | | |
| <i>Rhamnus 'Mound San Bruno'</i> | Mound San Bruno Coffeeberry | | x | | x | x | x | | | | |
| <i>Rhamnus californica 'Eve Case'</i> | Eve Case Coffeeberry | x | | | x | x | x | | | | |
| <i>Rhamnus californica 'Seaview'</i> | Seaview Coffeeberry | | | x | x | x | x | | | | |
| <i>Rhamnus californica 'Leatherneck'</i> | Leatherneck Coffeeberry | x | | | x | x | x | | | | |
| <i>Podocarpus spp.</i> | Fern Pine | | | | | | | | | | |
| <i>Mimulus aurantiacus</i> | Monkeyflower | | x | | x | x | | | | | |
| <i>Ribes riburnifolium</i> | Evergreen currant | | | | | | | | | | |
| <i>Westringia fruticosa</i> | Coast Rosemary | | | | | | | | | | |
| <i>Leonotis leonorus</i> | Lion's Tail | | | | | | | | | | |

| Botanical Name | Common Name | Street Trees | | | | | | | Notes | |
|---|----------------------------|--------------|--------|-------|--------|----------|----------------|------------|-------|-----------------|
| | | Large | Medium | Small | Native | Full Sun | Part Sun/Shade | Full Shade | | Rain Garden |
| GROUNDCOVERS, PERENNIALS AND GRASSES | | | | | | | | | | |
| <i>Anigozanthos cultivars</i> | Kangaroo Paws | | | | x | x | | | | |
| <i>Arctostaphylos 'Emerald Carpet'</i> | 'Emerald Carpet' Manzanita | | | | x | x | | | | |
| <i>Arctostaphylos edmundsii 'Carmel Sur'</i> | 'Carmel Sur' Manzanita | | | | x | x | | | | |
| <i>Arctostaphylos uva ursi 'Pt. Reyes'</i> | 'Pt. Reyes' Manzanita | | | | x | x | | | | |
| <i>Berberis 'Crimson Pygmy'</i> | Burberry | | | | | x | | | | |
| <i>Calamagrostis foliosa</i> | Pacific Reed Grass | | | | x | x | | | | |
| <i>Ceanothus cultivars</i> | Wild Lilac | | | | x | x | x | | | |
| <i>Cotoneaster 'Lowfast' and 'Coral Beauty'</i> | Cotoneaster | | | | | x | x | | | |
| <i>Dymondia margaratae</i> | Dymondia | | | | | x | | | | |
| <i>Erisimum spp.</i> | Wallflower | | | | | x | | | | |
| <i>Festuca rubra 'Molate'</i> | 'Molate' Red Fescue | | | | x | x | x | | x | |
| <i>Festuca 'Siskiyou Blue'</i> | Fescue | | | | | x | | | | |
| <i>Lavandula angustifolia 'Munstead'</i> | English Lavender | | | | | x | | | | |
| <i>Lavandula ang. 'Hidcote Improved'</i> | 'Hidcote' Lavender | | | | | x | | | | |
| <i>Myoporum parvifolium</i> | Creeping Myoporum | | | | | x | | | | |
| <i>Pennisetum spathiolatum</i> | Slender Veldt Grass | | | | | x | | | | |
| <i>Teucrium chamaedrys 'Nanum'</i> | Dwarf Germander | | | | | x | | | | |
| <i>Iris douglasiana 'Canyon Snow'</i> | Douglas Iris | | | | x | x | x | | | |
| <i>Euphorbia characias</i> | Euphorbia | | | | | x | | | | |
| <i>Lessingia filaginifolia 'Silver Carpet'</i> | Silver Carpet Beach Aster | | | | x | x | | | | |
| <i>Carex testacea</i> | New Zealand Sedge | | | | | x | | | | |
| <i>Libertia grandiflora</i> | New Zealand Iris | | | | | x | x | | | |
| <i>Calamagrostis foliosa</i> | Feather Reed Grass | | | | x | x | | | | |
| <i>Festuca glauca</i> | Blue Fescue | | | | x | x | | | | |
| <i>Festuca arundinacea</i> | Dwarf Tall Fescue | | | | x | x | | | | Lawn |
| <i>Agrostis pallens 'bronze form'</i> | Leafy Bent Grass | | | | x | x | | | | Lawn substitute |
| <i>Carex pansa</i> | California Meadow Sedge | | | | x | x | | | | Lawn substitute |
| <i>Sesleria autumnalis</i> | Autumn Moor Grass | | | | x | x | | | | |
| <i>Carex divulsa</i> | Berkeley sedge | | | | x | x | | | x | |
| <i>Carex praegracilis</i> | Western Meadow Grass | | | | x | x | | | x | |
| <i>Achillea spp.</i> | Yarrow | | | | | | | | | |

APPENDIX C - APPROVED PLANT LIST

| Botanical Name | Common Name | Street Trees | Large | Medium | Small | Native | Full Sun | Part Sun/Shade | Full Shade | Rain Garden | Notes |
|---|-----------------------|--------------|-------|--------|-------|--------|----------|----------------|------------|-------------|-------|
| | | | | | | | | | | | |
| GROUNDCOVERS, PERENNIALS AND GRASSES | | | | | | | | | | | |
| <i>Aeonium</i> spp. | Canary Island Rose | | | | | | | | | | |
| <i>Baccharis pilylaris</i> 'Pigeon Pt.' | Dwarf Coyote Bush | | | | | | | | | | |
| <i>Dietes</i> species | Fortnight Lily | | | | | | | | | | |
| <i>Penstemon</i> spp. | Penstemon | | | | | | | | | | |
| <i>Salvia</i> spp. | Salvia | | | | | | | | | | |
| <i>Stachys byzantina</i> | Lamb's Ears | | | | | | | | | | |
| <i>Stipa pulchra</i> | Mexican Feather Grass | | | | | | | | | | |
| <i>Zauschneria</i> spp. | California Fuchsia | | | | | | | | | | |
| <i>Helicotrehon sempervirens</i> | Blue Oat Grass | | | | | | | | | | |
| <i>Geranium</i> 'Rozanne' | 'Rozanne' Geranium | | | | | | | | | | |
| <i>Loropetalum</i> spp. | Chinese Fringe Flower | | | | | | | | | | |
| <i>Lantana sellowiana</i> | Lantana | | | | | | | | | | |
| <i>Juncus patens</i> 'Elk Blue' | California Gray Rush | | | | | | | | | | |
| <i>Liriope muscari</i> 'Majestic' | Lily Turf | | | | | | | | | | |
| <i>Libertia peregrinans</i> 'Gold Leaf' | New Zealand Iris | | | | | | | | | | |

| Botanical Name | Common Name | Street Trees | Large | Medium | Small | Native | Full Sun | Part Sun/Shade | Full Shade | Rain Garden | Notes |
|--|--------------------------|--------------|-------|--------|-------|--------|----------|----------------|------------|-------------|-------|
| | | | | | | | | | | | |
| VINES | | | | | | | | | | | |
| <i>Clytostoma callistegioides</i> | Lavendar Trumpet vine | | | | | x | | | | | |
| <i>Ficus repens</i> 'Minima' | Creeping Fig | | | | | x | x | x | | | |
| <i>Hardenbergia violacea</i> | Lilac Vine | | | | | x | x | x | | | |
| <i>Mandevilla laxa</i> | Chilean Bower Vine | | | | | x | x | x | | | |
| <i>Rosa</i> 'Cecile Brunner' | 'Cecile Brunner' Roses | | | | | x | x | | | | |
| <i>Solanum jasminoides</i> | Potato Vine | | | | | x | x | x | | | |
| <i>Vitis californica</i> Roger's Red | Roger's California Grape | | | | | x | | x | | | |
| <i>Calystegia macrostegia</i> 'Candy Cane' | Coastal Morning Glory | | | | | x | x | | | | |
| <i>Jasminum polyanthum</i> | Pink Jasmine | | | | | | | | | | |
| <i>Gelsemium sempervirens</i> | Carolina Jessamine | | | | | | | | | | |

PROHIBITED PLANT LIST

The following list of invasive species are prohibited. As information is constantly changing, this list may be updated from time to time. This list is derived from Cal-IPC.

Latin binomial / Common names

Acacia dealbata / Silver wattle
Acacia melanoxylon / Blackwood acacia
Acanthus mollis / Bears breech
Agapanthus spp. / Lily of the Nile
Ailanthus altissima / Ailanthus, Tree-of-heaven
Albizia julibrissen / Silk floss
Alhagi maurorum / Camelthorn
Aptenia cordifolia / Red apple, Baby sun rose
Arcotroche calendula / Capeweed, Cape dandelion
Arundo donax / Giant reed, Giant cane
Atriplex semibaccata / Australian saltbush
Avena barbata / Slender oat
Avena fatua / Wild oats
Bassia hyssopifolia / Five-hook bassia, Thorn orache
Bellardia trixago / Bellardia, Mediterranean linseed
Brassica spp. / Mustards
Bromus madritensis ssp. rubens / Foxtail chess
Bromus tectorum / Cheatgrass, Downy brome
Cardaria chalepensis / Lens-podded hoary cress
Cardaria draba / Heart-podded hoary cress, White-top
Cardaria pubescens / Hairy whitetop
Carduus spp. / Thistles
Carpobrotus edulis / Highway iceplant
Centaurea spp. / Hardheads, Knapweed

Centranthus rubra / Valarian
Cirsium spp. / Thistles
Cistus ladanifer / Crimson spot rock rose
Conicosia pugioniformis / Narrow-leafed iceplant
Conium maculatum / Poison hemlock
Cortaderia spp. / Pampasgrass
Cotoneaster spp. / Cotoneaster
Crataegus monogyna / Singleseed hawthorn
Cynara cardunculus / Artichoke thistle, Cardoon
Cytisus spp. / Broom
Delairea odorata / Cape ivy, German ivy
Digitalis purpurea / Foxglove
Dimorphotheca sinuata / African daisy
Drosantemum spp. / Ice plant
Echium candicans, E. fastuosum / Pride-of-Madeira
Egeria densa / Brazilian egeria
Ehrharta spp. / Veldtgrass
Eichhornia crassipes / Water hyacinth
Elaeagnus angustifolia / Russian olive, Oleaster
Elaeagnus pungens / Silverberry
Erechtites spp. / Fireweed
Eucalyptus camaldulensis / Red gum
Eucalyptus globulus / Bluegum
Euphorbia spp. / Spurge
Festuca arundinacea / Tall fescue
Ficus carica / Edible fig, Common fig
Foeniculum vulgare / Fennel, Sweet anise
Gazania linearis / Gazania
Genista spp. / Broom
Halogeton glomeratus / Halogeton
Hedera helix / English ivy

APPENDIX C - APPROVED PLANT LIST

Hedera canariensis / Algerian ivy
Helichrysum petiolare / Licorice plant
Holcus lanatus / Common velvet grass
Hydrilla verticillata / Hydrilla, Water thyme
Hypericum spp. / St. John's Wort
Ilex aquifolium / English holly
Iris pseudacorus / Yellow flag iris
Juniperus spp. / Juniper
Lampranthus spp. / Ice plant
Lepidium latifolium / Perennial pepperweed
Leucanthemum vulgare / Ox-eye daisy
Ligustrum lucidum / Glossy privet
Ludwigia hexapetala / Creeping water primrose
Ludwigia peploides / California water primrose
Lythrum hyssopifolium / Hyssop loosestrife
Lythrum salicaria / Purple loosestrife
Malephora spp. / Ice plant
Marrubium vulgare / Horehound
Maytenus boaria / Mayten
Mentha pulegium / Pennyroyal
Mesembryanthemum spp. / Iceplant
Myoporum laetum / Ngaio tree
Myriophyllum aquaticum / Brazilian watermilfoil
Myriophyllum spicatum / Spike watermilfoil
Nandina spp. / Bamboo
Olea spp. / Olive
 *Except Fruitless cultivar 'Swan Hill'
Pennisetum spp. / Fountain grass
Pistacia chinensis / Chinese pistache
 *Except Fruitless cultivar 'Keith Davey'
Phalaris aquatica / Harding grass
Pittosporum spp. / Mock orange
Platanus acerifolia / Bloodgood plane tree
Pyracantha spp. / Firethorn
Retama monosperma / Bridal veil broom
Ricinus communis / Castor bean
Robinia pseudoacacia / Black locust
Rubus armeniacus / Himalayan blackberry
Saponaria officinalis / Bouncing bet
Schinus terebinthifolius / Brazilian pepper tree
Schismus spp. / Mediterranean grass, Arabian grass
Senecio jacobaea / Tansy ragwort, Ivy
Sesbania punicea / Scarlet wisteria
Silybum spp. / Thistles
Spartina spp. / Cord grass, Marsh grass
Spartina patens / Salt marsh hay
Stipa manicata / Tropical needlegrass
Taeniatherum caput-medusae / Medusahead
Tamarix parviflora / Tamarisk, Saltcedar
Ulex europaeus / Common gorse
Verbena bonariensis / Tall vervain
Verbascum spp. / Mullein
Vinca spp. / Periwinkle
Zantedeschia aethiopica / Calla lily

CIRCULATION AND COMPLETE STREETS

Complete Streets are integral component of the Project. Complete Streets provide safe, convenient and comfortable travel and access for users of all ages and abilities regardless of their mode of transportation. Complete streets are designed, implemented and operated to also provide health benefits and improve economic and environmental outcomes within communities. Complete streets make it easier to access transit, bicycle to work or shopping, walk with children to parks and schools, and allow motorists to move safely and conveniently to their destination. A complete street also combines trees and landscape for shade, to modulate reflection, create wildlife habitat, and to treat stormwater. Complete streets are also beautiful streets.

Complete Street Design

Complete streets integrate standard elements and additional components that are designed on a case-by-case basis depending on local conditions. Local conditions may include the land use the street serves, level of motorist traffic, pedestrian and bike usage, slope and curvature of streets corridors, existing vegetation, and stormwater conditions.

Standard elements include:

- Standard lane and sidewalk widths
- Accessible features including curb ramps and markings at crosswalks
- Street trees
- Pedestrian and bike accommodations
- Stormwater control (where feasible)

Additional components may include:

- Street parking accommodations appropriate to the location and demand
- Pedestrian signalization
- Corner curb extensions and bulb-outs
- Traffic calming devices such as a chicane

- Accommodations for transit
- Sidewalk planters/tree grates
- Special paving or materials
- Site furnishings, lighting, and signage
- Special connections to trails, parks, or other uses

Streetscape Context at Oak Knoll

Oak Knoll streets will be situated in a suburban setting in rolling to hilly terrain. The streets will serve a variety of users and land uses including neighborhoods of varying residential density, commercial and community hubs, and park and open space areas. Collector streets will serve vehicular traffic commuting on and off-site (there will be limited jobs and no schools at Oak Knoll), pedestrians and bikes accessing transit connections, and people moving between neighborhoods to shopping and parks. Neighborhood streets will serve the neighborhoods proper with little through-vehicular traffic. Additionally, smaller neighborhood streets will serve vehicular traffic and provide a “front yard” for people and children to walk and play in a shaded safe area.

Complete Street Strategies at Oak Knoll

Strategies implemented in the Project street designs include:

- Emergency and fire access should be paramount in street design and connectivity
- Vehicular lane widths should be narrow to control traffic speeds, conserve land, and free up space for other uses within the street corridor
- All streets should have pedestrian accommodations that connect to the internal open space and trails system and to off-site trails and transit connections
- The commercial village primary street should be urban in character, provide direct access to shops and plazas, accommodate short term parking, and be amenitized to be comfortable and inviting to pedestrians
- A major Class I bikeway should connect the main site gateways at

Mountain Boulevard and Keller Avenue

- Street trees should be a major component of all streetscapes
- Street ROW stormwater should be detained within the ROW in landscaped infiltration basins. Where longitudinal slopes are too steep to allow for treatment in the ROW, centralized neighborhood basins should be utilized.

Typical Lane Widths

Proposed collector streets in Oak Knoll will employ a travel lane width of 11' consistent with the Urban Street Design Guide, National Association of City Transportation Officials, NY, NY, 2013. The 11' lane width provides adequate width for anticipated vehicular design speeds and provides traffic calming to encourage safety for pedestrian and bicyclists. Minor streets such as neighborhood streets and alleys may have a 10' travel lane width with no street parking.

Stormwater Detention

Stormwater falling within the street ROW will be detained locally in infiltration basins integrated into the street profile **where possible**. Infiltration basins are located at intervals in “bulb-outs” along the travel lanes within the street parking lanes. Stormwater from street pavements and sidewalks will flow into the infiltration basins and infiltrate into the soil. The bulb-outs also act as traffic calming devices and add greenscape to the street corridor. **Additional information on the location and design of infiltration basins is presented in the Design Guidelines. Where segmented infiltration basins are not possible in the streets due to street grade or narrow lots requiring curb cuts and area for on-street parking, more localized infiltration basins will be utilized.**

Additional information on street alignments, intersections, street horizontal and vertical grading, and stormwater details are contained in the Vesting Tentative Map Application.

PROPOSED PROJECT CIRCULATION

The Oak Knoll site will be served by a multi-modal circulation system using the Complete Street network. In addition, there will be walking and bike trails independent of the Complete Street network integrated into open space areas and connected to the street network. The proposed project circulation is shown in Figure 20.

PROJECT COMPLETE STREETS

Project circulation is based on two types of streets:

- Collectors providing site access and connectivity to Project neighborhood and community amenities, and
- Local neighborhood streets connecting residential areas internally and externally.

All project sidewalks and parkways (tree planters) are five to six foot in width. All public streets include street trees on both sides of the street. Figure 18 should be referenced for the proposed street circulation network. Public street types are discussed below with typical sections shown in Figures 21, 22, and 23:

Public Collector Street (Figure 21)

A: Creekside Parkway is the major project thoroughfare that connects the project gateways, Mountain Boulevard to Keller Avenue. It also connects to the Village commercial center and internal project and neighborhood streets. This street will have a dedicated shared trail for bikes (Class I) and pedestrians that runs parallel to the preserved Creek Corridor. There is on-street parking integrated between the bioretention basins on both sides of the street. There will not be no residential driveway cuts on Creekside Parkway.

Local Neighborhood Streets (Figures 21, 22, and 23)

B: Creekside Loop is a local street that runs roughly parallel to Creekside

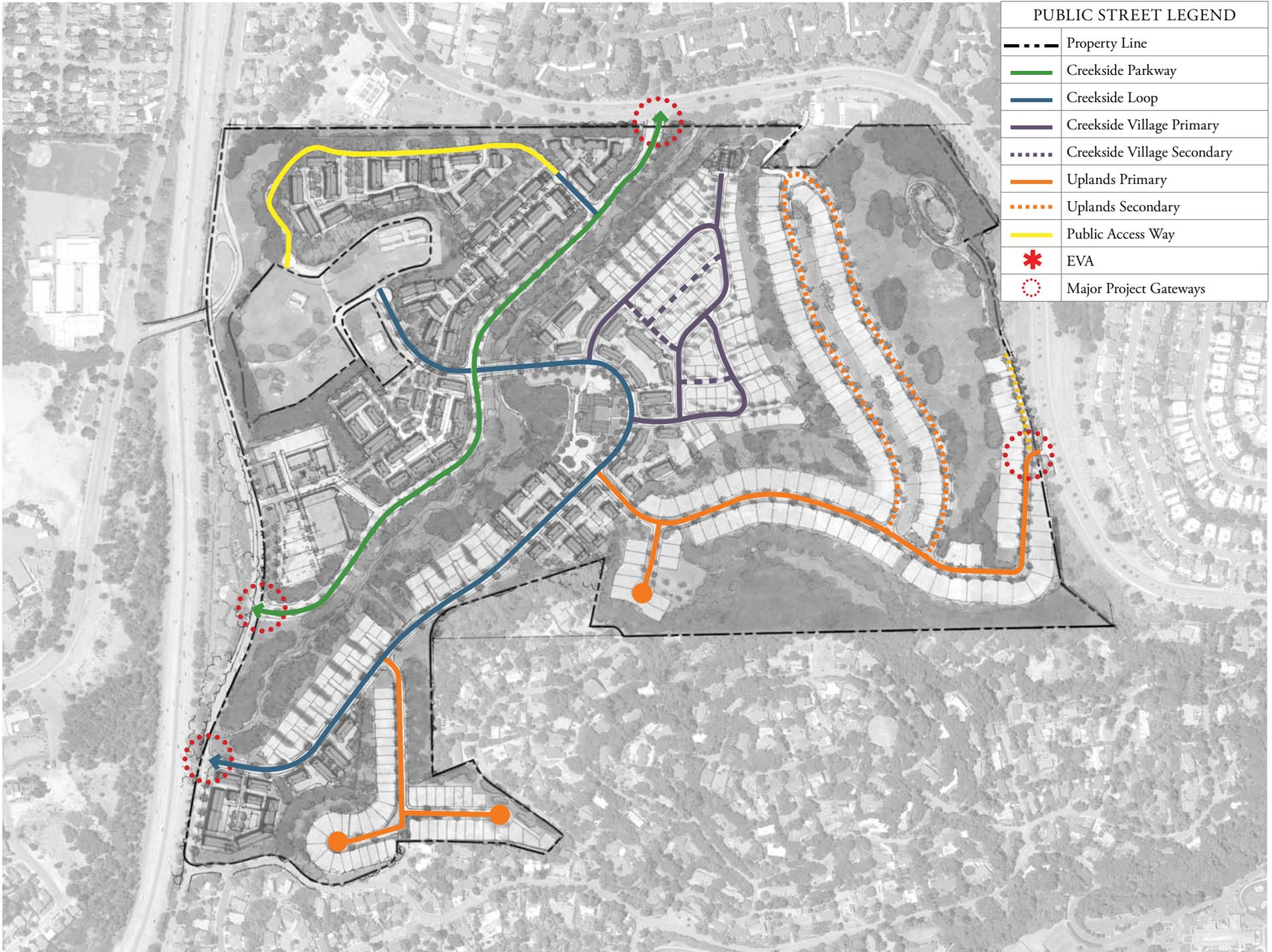
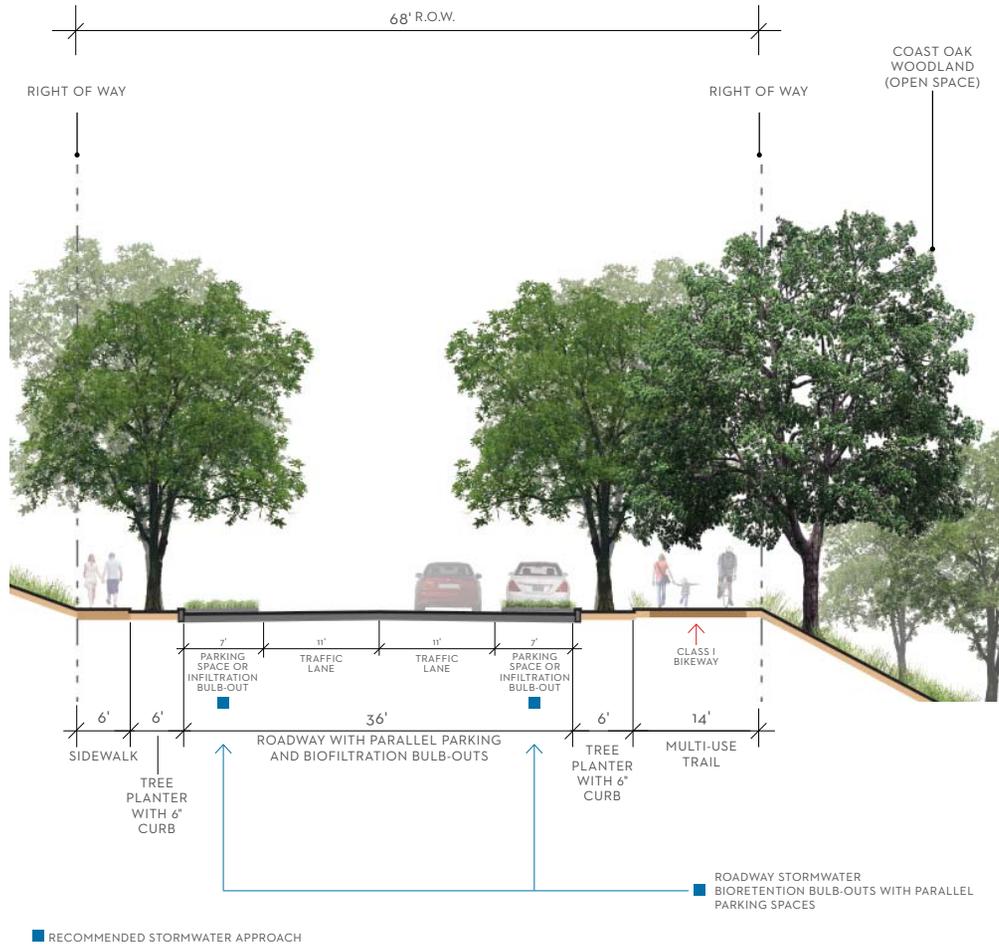


Figure 20 - Project Circulation

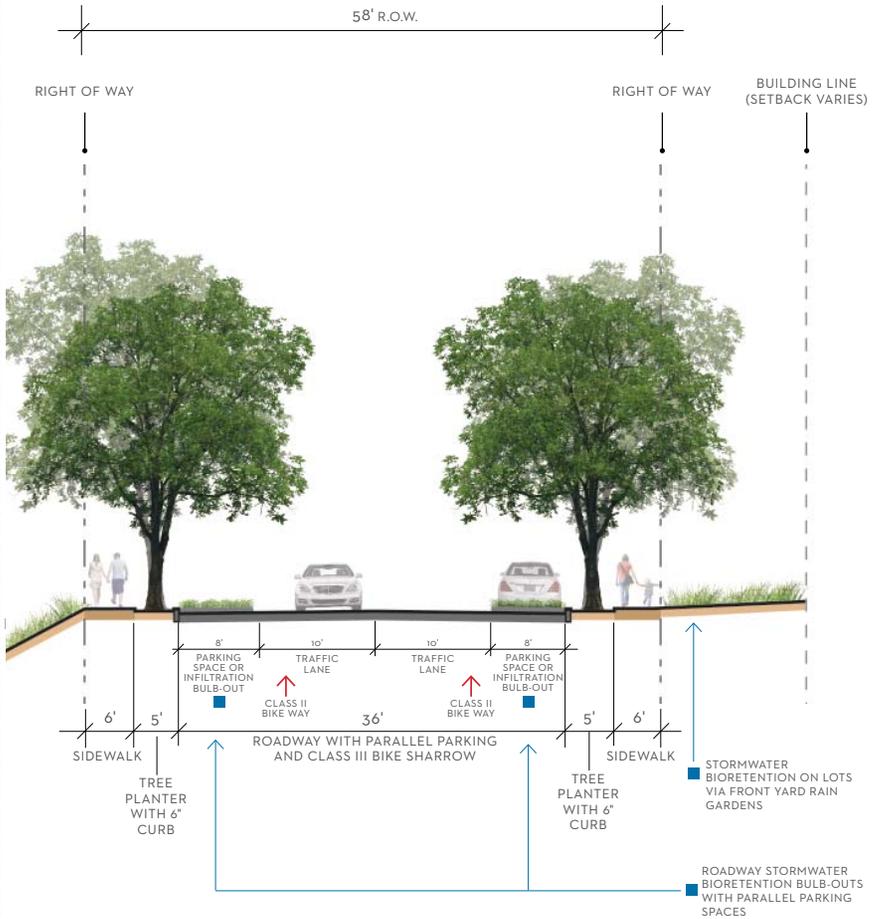
A: CREEKSIDE PARKWAY

COLLECTOR



B: CREEKSIDE LOOP

LOCAL STREET

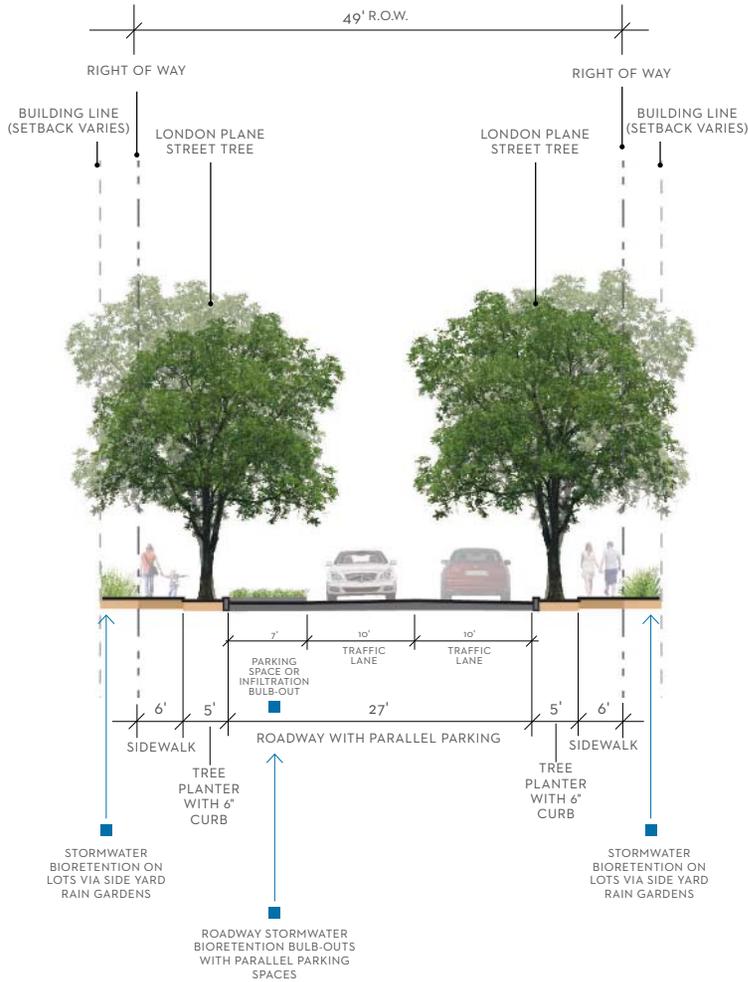


SECTIONS ARE NOT TO SCALE

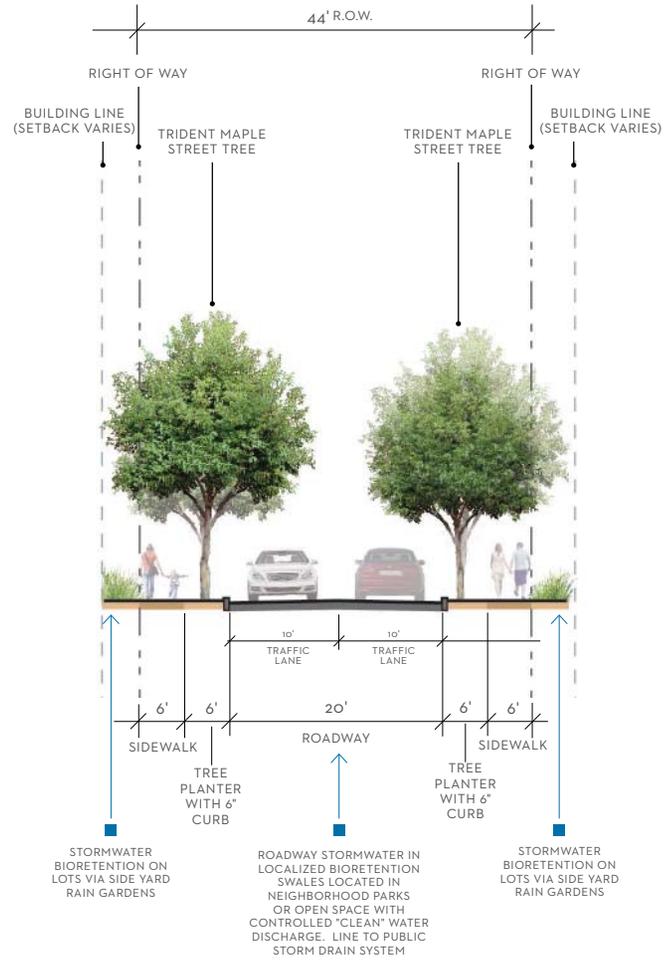
Figure 21 - Public Streets

C: CREEKSID VILLAGES

C1: CREEKSID VILLAGE PRIMARY



C2: CREEKSID VILLAGE SECONDARY

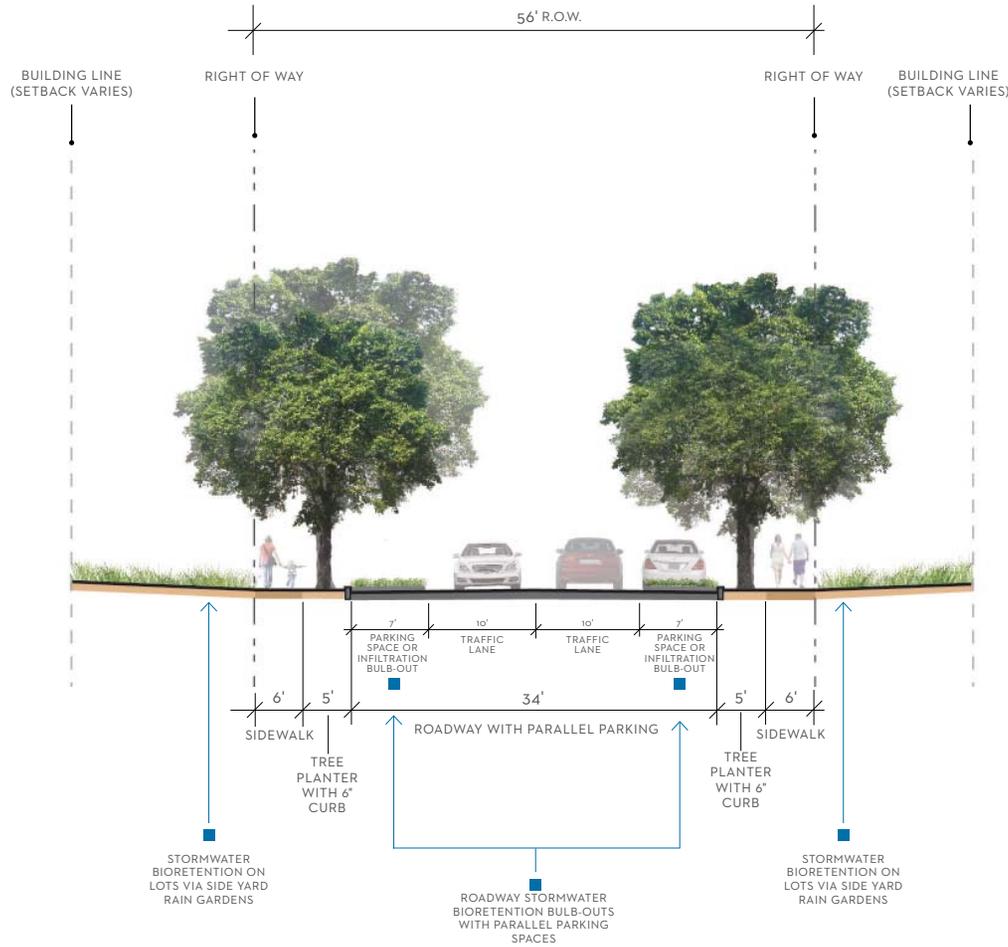


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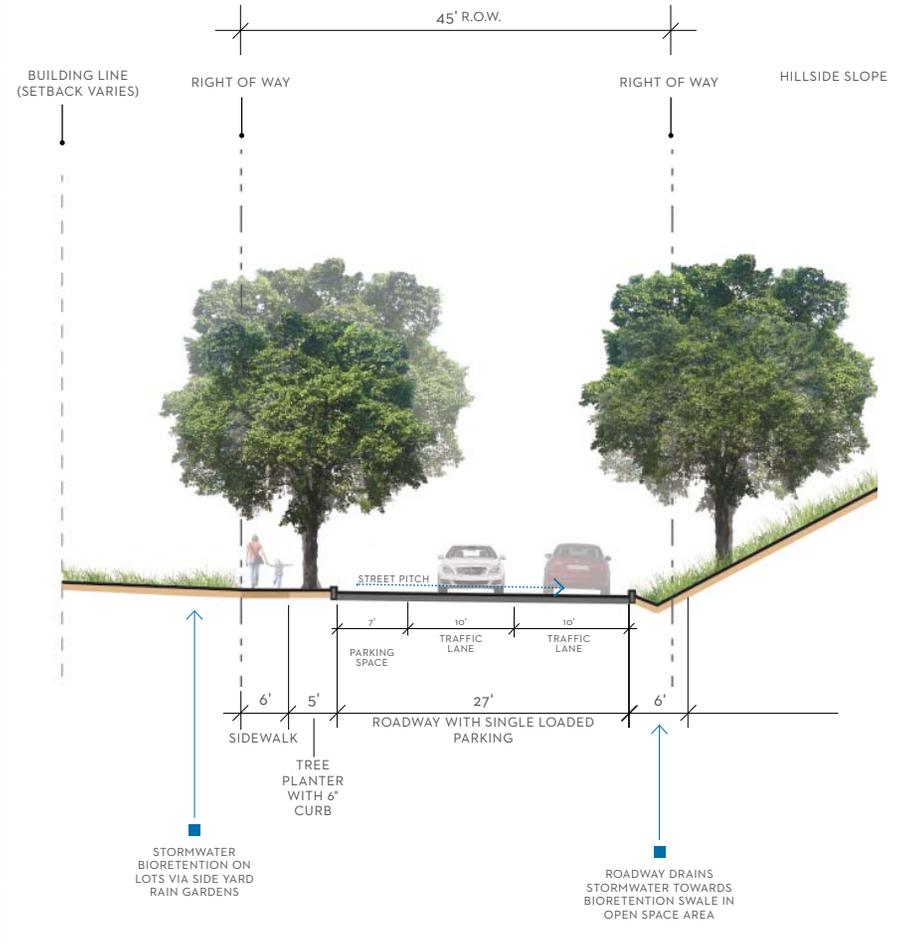
Figure 22 - Local Neighborhood Streets

D: UPLANDS

D1: UPLAND PRIMARY



D2: UPLAND SECONDARY



SECTIONS ARE NOT TO SCALE

Figure 23- Local Neighborhood Streets

Parkway on the eastern side of the creek corridor. This street provides a second project entrance from Mountain Boulevard and connects to all neighborhoods east of the Creek and the community center/clubhouse. There is on-street parking integrated between bioretention basins on both sides of the street. There will be no driveway cuts on Creekside Parkway (private drive courts will connect to Creekside Loop).

C1: Creekside Village Primary is a local street serving the small lot single family homes and courtyard homes neighborhoods east of the creek. There is on-street parking integrated within the bioretention basins on one side of the street. As Class III bikeway is planned for this street.

C2: Creekside Village Secondary is a smaller local street serving the small lot single family homes east of the creek. There is no on-street parking on this street.

D1: Uplands Primary This local street serves the eastern areas of the site and includes bioretention basins and on-street parking on both sides of the street. In areas that are too steep for bioretention basins localized retention basins are reserved within the ROW but outside of street pavements and sidewalk area.

D2: Uplands Secondary This local street serves the single loaded single family lots in upland areas of the site and includes on-street parking on one side of the street, adjacent to the home lots. The street roadbed is “super-elevated” towards the inboard, upland area of the site where stormwater from the ROW follows into a bio-retention swale that runs parallel to the street.

E: Access Way This local street connects the Townhome Neighborhoods north of the Creek and also provides secondary access to the Seneca property.

Private Neighborhood Streets

Additional “private streets” provide access within smaller neighborhood clusters and townhome areas. These include driveways, alleys and drive courts. These private streets are described in the Landscape Design Guidelines.

PEDESTRIAN, BIKE, AND TRANSIT CIRCULATION

On-Site Pedestrian and Bike Circulation

A significant feature of the site is a system of walking trails and bike paths connecting neighborhoods and open space areas within the site and also existing and future trails/bike paths that lie outside the site. Figure 24 shows proposed on-site trails and bike paths and connections to off-site trails, bike paths, and transit connections. Proposed trails on-site include:

- Hiking trails through open space areas and parks
- Hiking trails through the restored creek corridor
- Shared-use trail paralleling the creek corridor along Creekside Parkway
- Neighborhood paths that use a combination of sidewalks and paths through local parks and open space areas.

Proposed on-site bike paths serve neighborhoods, connections to the Village Center, and connections to off-site trails, bike paths, and transit connections. Proposed bike paths on-site include:

- Class I bike path occupying the shared multi-use path along Creekside Parkway
- Class III bike path integrated within Creekside Loop
- Low traffic volume neighborhood streets, which have been traffic-calmed with Complete Street strategies, do not require formal bike path designations.

Off-Site Pedestrian, Bike, and Transit Circulation/Connections

The Oak Knoll site will be served by existing and proposed off-site multi-modal transportation options including vehicular, pedestrian, bike, and transit. Critical to developing a multi-modal transportation concept are connections to off-site transportation facilities that exist today and those that are proposed in the future. Off-site connections, both existing and planned, are shown in Figure 23.

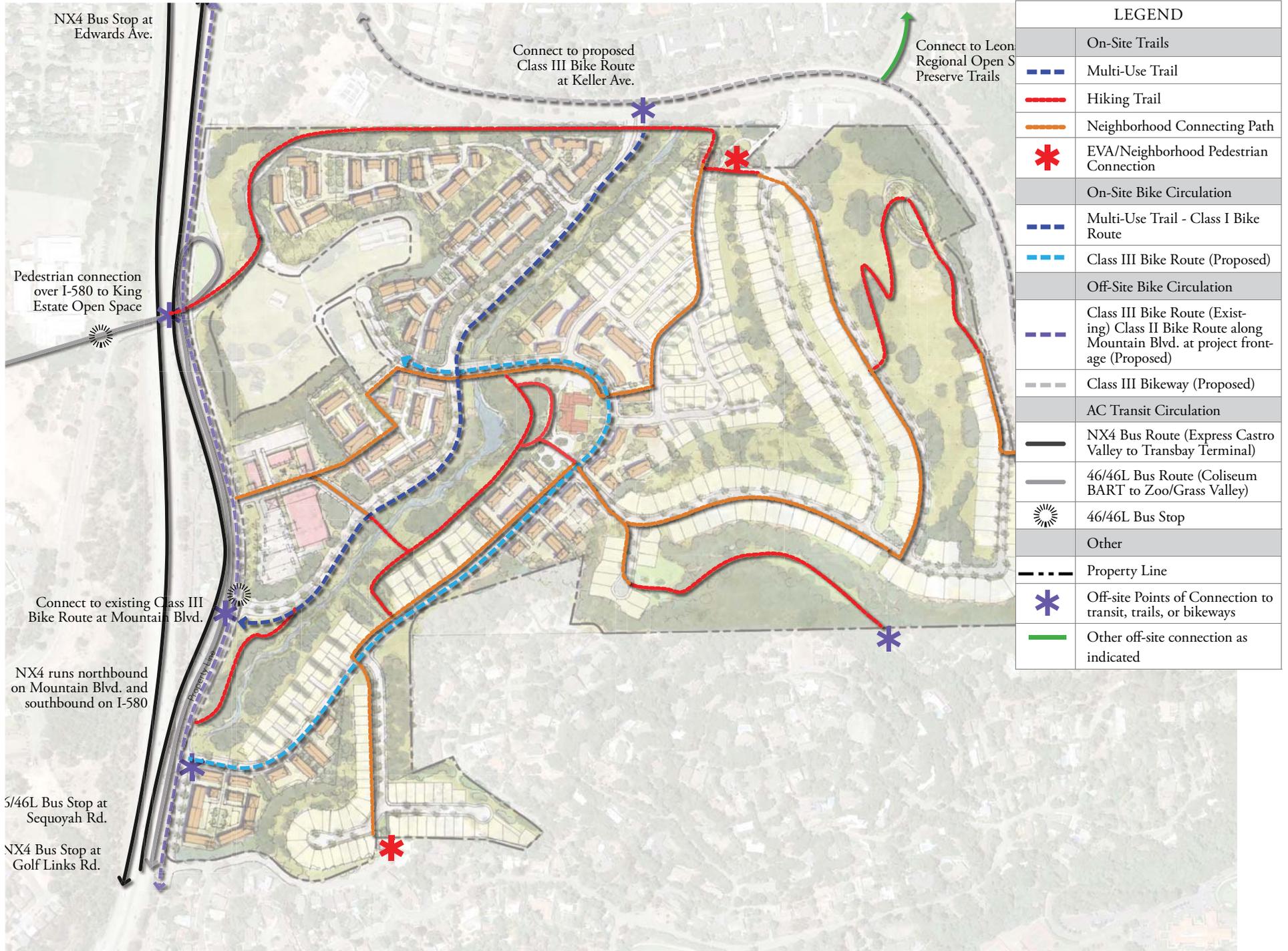


Figure 24 - Transit, Bike and Pedestrian Trails/Connections

Existing and proposed off-site trail and pedestrian connections include:

- Cross-walk at Creekside Parkway and Keller Avenue to connect the on-site shared-use trail and the Leona Canyon Regional Open Space trails. This connection requires walkers to use the sidewalk on the north side of Keller Avenue and cyclists to use the Keller roadway. A future Class III bikeway is planned for Keller Avenue.
- Trail/walking connections across and along Mountain Boulevard ultimately connecting to Knowland Park in the southern direction
- The connection of the northern on-site walking trail along the projects northern boundary with the vehicular bridge crossing both Mountain Boulevard and I-580 and connecting with Fontaine Street. This gives pedestrians a safe and clear connection to neighborhoods west of the site with Oak Knoll and Keller Avenue.
- Off-site pedestrian connections utilizing the planned project EVA at Barcelona Street
- An easterly connection from the Upland portion of the project with Keller Avenue east of Oak Knoll.

Off-site bike ways include a connection to the existing Class III bike way along Mountain Boulevard. Off-site project improvements include creating a Class II bike way along Mountain Blvd. for the length of the project frontage.

Existing Alameda County (AC) transit serves the project site. Two local AC Transit bus lines run on Mountain Boulevard directly in front of the site. The 46 and 46L run east west from the Oakland Zoo to the Coliseum BART station. There is a bus stop at the project’s current entry and it would be anticipated that this stop would continue at the new project entry at Creekside Parkway. There is no direct transit connection from the site to downtown Oakland.

An express bus (NX4) that originates in Castro Valley connects to the Transbay Terminal in San Francisco. An NX4 stops lies about a 10 minute walk north of the site along Mountain Boulevard.

PARKING

The anticipated parking program for the site is summarized in Table 4. The parking meets off-street parking and loading requirements stated in Section 17.116 of the Oakland Planning Code.

| Parking Type | Spaces |
|---|------------------|
| On Street | 500 |
| Off Street Commercial/Community Center | 360 |
| Off Street Residential (includes townhome guest parking) | 2,850 |
| Off Street Trailhead | 10 |
| Total (approximate) | 3,720 |

SITE GRADING AND UTILITIES

Site Grading

Corrective (remedial) grading will be required prior to any new development to accommodate past naval activities and facilities which often lie on poor soils. Corrective grading is required for most developed areas which consist of unconsolidated (poorly compacted) soils which will need to be excavated and re-compacted. The majority of Rifle Range Creek will need to be over-excavated, reconstructed with the installation of new keyways to create slope stability. To meet the City of Oakland’s street design standards grading will be required to support safe street design in some upland residential areas.

CITY OF OAKLAND - ACTIVE MAJOR DEVELOPMENT PROJECTS

October 2014

| | PROJECT NAME | APPLICANT CONTACT | LOCATION (ADDRESS AND/OR APN) | COUNCIL DISTRICT | DESCRIPTION | CITY CONTACT | STATUS |
|---|--|---|---|---------------------|---|-----------------------------------|---|
| RESIDENTIAL PROJECTS | | | | | | | |
| Pre-Application Discussions | | | | | | | |
| 1 | ~1900 Broadway* | Seth Hamalian (415) 355-6612 | 1900 Broadway APN: 008 -0638-005-00 | 3 | <ul style="list-style-type: none"> ■ 294 residential units ■ 11,000 sq.ft commercial | Neil Gray 238-3878 | Pre-application filed. Environmental work complete |
| 2 | ~2270 Broadway* | Lakeshore Partners LLC Tom Peterson (510)444-7191 | 2270 Broadway APN: 008-0656-002-01 | 3 | <ul style="list-style-type: none"> ■ 223 residential units ■ 6,000 sq. ft.commercial | Peterson Vollmann 238-6167 | Pre-application filed |
| 3 | ~5132 Telegraph Ave | Nautilus Group Jason Laub (510)343-5593 | 5110-5132 Telegraph Ave APN 014-1226-009-02, 014-1226-013-00 | 2 | <ul style="list-style-type: none"> ■ 216 residential units ■25,000 sq. ft. commercial | Mike Rivera 238-6417 | Pre-application filed |
| 4 | ~459 23rd Street* | AGI-Avant Inc Tom Holt (415) 775-7005 | 459 23rd Street APN: 008-0658-004-01 | 3 | <ul style="list-style-type: none"> ■ 114 residential rental units ■ 3,000 sq. ft. commercial | Peterson Vollmann 238-6167 | Pre-application filed |
| Application Submitted – Under Review | | | | | | | |
| 5 | ~459 8th Street | Signature Land Advisors Scott Zengel (510)251-9278 | 459 8th Street APN :001-0201-015-00 | 3 | <ul style="list-style-type: none"> ■ 50 residential units ■ 4,000 sq.ft. commercial | Peterson Vollmann 238-6167 | Application filed |
| 6 | ~Lake Merritt Boulevard* | Ronnie Turner Urban Core (510) 395-2766 | 12th Street / 2nd Avenue APN: 019-0027-014-00 | 2 | <ul style="list-style-type: none"> ■247 residential units ■201 parking spaces ■ 5,000 sq.ft retail/community space | Neil Gray 238-3878 | Application filed. |
| 7 | ~Uptown Parcel 4 (Telegraph/19th Street)* | Forest City Residential, Inc. Susan Smartt (415) 836-5980 | 1911 Broadway APN:008-0716-058 | 3 | <ul style="list-style-type: none"> ■370 residential units | Jens Hillmer 238-3317 | City Request For Proposal for sale of property available 10/14/14. Proposals due 12/1/14. |
| 8 | ~2201 Brush Street | EBALDC Jared Wright (510)287-5353 | 2201 Brush Street APN: 003-0025-011-00, 003-0025-011-00 | 1 | <ul style="list-style-type: none"> ■ 59 affordable apartment units ■ 130 children YMCA childcare center | Maurice Brenyah-Addow 238-6342 | Application filed. NEPA analysis underway |
| 9 | ~Coliseum Transit Village Phase I | Pyatok Architects Peter Waller (510) 465-7010 | 71st Ave APN: 041-4166-031-02 | 7 | <ul style="list-style-type: none"> ■ 110 residential units | Peterson Vollmann 238-6167 | Application filed. |

* 10K PROJECT (project includes residential units located in Downtown)

~Denotes new project, a recent change to the project description, or status.

Compiled by Planning and Zoning, (510) 238-3941.

CITY OF OAKLAND - ACTIVE MAJOR DEVELOPMENT PROJECTS
October 2014

| | PROJECT NAME | APPLICANT CONTACT | LOCATION (ADDRESS AND/OR APN) | COUNCIL DISTRICT | DESCRIPTION | CITY CONTACT | STATUS |
|---|--|---|--|---------------------|---|---------------------------------------|--|
| RESIDENTIAL PROJECTS | | | | | | | |
| Application Submitted – Under Review | | | | | | | |
| 10 | ~ Temescal Apartments | Brick Architects, LLP Rob Zirkle & Tai Kwong (510)516-0167 SRM Development Ryan Leong (509) 944-4557 | 4901-4939 Broadway, 311-313 51st St, 4964-4974 Desmond St APN: 013 -1136-008-04, 013 - 1136-011-00, 013 -1136-012- 00, 013 -1136-009-02, 013 - 1106-005-05, 013 -1136-004- 02 | 2 | <ul style="list-style-type: none"> ■ 130 residential units ■ 8,700 sf. ft. retail | Mike Rivera 238-6417 | Application filed |
| 11 | ~Courthouse Condominiums (formerly 2935 Telegraph Ave.) | Curtis Development Charmaine Curtis (415)609-4996 | 2935 Telegraph Ave APN: 009-0698-001-00 | 3 | <ul style="list-style-type: none"> ■162 residential units ■4,045 sq.ft retail | Maurice Brenyah- Addow 238-6342 | Major Revision filed 7/14/14 to add 20 additional units. NOP and Initial Study published 10/06/06. DEIR published 03/19/07; Planning Commission certification and approval of FEIR on 08/01/07. Planning Commission approval 04/01/09 for revisions to Conditions of Approval. Applicant withdrew request for revisions 04/20/09. Building Permit #B0901385. Extension granted 10/1/13 until 12/31/14. |
| 12 | Felton Acres | Robert Felton (510) 548-4637 | Devon Way APN: 048H-7600-007-00 | 1 | <ul style="list-style-type: none"> ■Subdivision into 25 single family lots and two new roads | Lynn Warner 238-6983 | Application filed. |
| 13 | Emerald Views * (formerly 19th Street Residential Condominiums) | Dave O'Keeffe (415) 760-7118 | 222 19th Street APN: 008-0634-003-00 | 3 | <ul style="list-style-type: none"> ■370 residential units ■933 sq.ft cafe | Heather Klein 238-3659 | Application filed. NOP published 11/09/07. Design Review Committee 04/23/08. DEIR published 10/05/11. FEIR preparation underway. |

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Compiled by Planning and Zoning, (510) 238-3941.

CITY OF OAKLAND - ACTIVE MAJOR DEVELOPMENT PROJECTS
October 2014

| | PROJECT NAME | APPLICANT CONTACT | LOCATION (ADDRESS AND/OR APN) | COUNCIL DISTRICT | DESCRIPTION | CITY CONTACT | STATUS |
|-----------------------------|---|---|---|---------------------|---|-----------------------------------|--|
| RESIDENTIAL PROJECTS | | | | | | | |
| Application Approved | | | | | | | |
| 14 | ~1331 Harrison Project* | Jibu John (925) 940-4850 | 1331 Harrison Street APN: 002-0065-006-01 | 2 | <ul style="list-style-type: none"> ▪ 169 residential units ▪ 3,600 sq.ft retail | Neil Gray 238-3878 | Planning Commission approval 10/15/14. |
| 15 | ~Wood Street Project: Development Area 4 (Previously approved for 301 units as HFH Apartments) | Molly Maybrun City Ventures (415)271-3669 | Block bounded by Wood Street; 14 St., 16th St. and Frontage Road. APN: various | 3 | <ul style="list-style-type: none"> ▪ 176 residential units ▪ 5,100 sq. ft. commercial | Maurice Brenyah-Addow 238-6342 | Planning Commission approval 8/6/14. |
| 16 | ~377 2nd Street* | John Winder (415) 318-8634 | 377 2nd Street APN: 001 -0143-008-00 001 -0143-007-00 001-0143-010-00 | 3 | <ul style="list-style-type: none"> ▪ 96 residential units | Aubrey Rose 238-2071 | Approved 03/07/14. Appealed 03/14/14. Revised approval 06/30/14. |
| 17 | ~Merrill Gardens | Chad Lorentz Urbal Architects (206)257-0972. Ryan Leong SRM Development (509) 944-4557 | 5107-5175 Broadway. APN: 014-1241-009, 008-00, 005-01, 006-01. | 1 | <ul style="list-style-type: none"> ▪ 127 assisted living units, ▪ 7,800 sq.ft. commercial | Mike Rivera 236-6417 | Planning Commission Approval on 06/20/14. Building Permits filed: RB1401555 (residential) on 06/02/14, RB1402855 (demolition) on 09/24/14 B1401138 (commercial) on 09/25/14 |
| 18 | 4311-4317 Macarthur Blvd | Alexis Gevorgian (818) 380-2600 | 4311- 4317 Macarthur Blvd APN:030 -1982-121-00 030 -1982-122-00 | 4 | <ul style="list-style-type: none"> ▪ 115 senior apartments ▪ 3,446 sq.ft retail ▪ 64 parking spaces | Lynn Warner 238-6983 | NOP published 05/18/11. DEIR published in 7/13. Planning Commission approval and certification of FEIR 7/13. Project appealed, denied by City Council 11/19/13. |
| 19 | 2425 Valdez Street | Jose Coelho (510) 446-2222 | 2425 Valdez St APN: 008 -0672-007-02 | | <ul style="list-style-type: none"> ▪ 70 Micro Living Quarters ▪ 1 Live Work Space | Michael Bradley 238-6935 | Approved 7/31/13. |
| 20 | Fruitvale Village Phase II | Unity Council/Signature Properties Patrick Van Ness (925) 463-1122 | Block bounded by 35th and 37th Avenues, East 12th Street and BART tracks APN: 033-2197-019 and 033-2177-02 | 5 | <ul style="list-style-type: none"> ▪ Phased multifamily residential development with 275 residential units ▪ Parking garage | Darin Ranelletti 238-3663 | NOP published 12/22/08. DEIR published 01/12/10. FEIR published 04/28/10. Planning Commission approval and certification of the FEIR 05/19/10. Extension granted 1/10/14 until 12/31/14. |

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CITY OF OAKLAND - ACTIVE MAJOR DEVELOPMENT PROJECTS
October 2014

| | PROJECT NAME | APPLICANT CONTACT | LOCATION (ADDRESS AND/OR APN) | COUNCIL DISTRICT | DESCRIPTION | CITY CONTACT | STATUS |
|-----------------------------|------------------------------------|--|---|---------------------|--|---------------------------------|--|
| RESIDENTIAL PROJECTS | | | | | | | |
| Application Approved | | | | | | | |
| 21 | 9400 International Blvd | Acts Community Development Colby Northridge (949) 660-7272 | 9400-9500 International Blvd APN: 046 -5423-022-00, 046 -5423-001-01, 046 -5423- 018-002 | 7 | ■ 59 affordable units ■ 3,500 sq.ft commercial | Peterson Vollmann 238-6167 | Approved 2/12/12. |
| 22 | 1431 Jefferson Street* | Menlo Capital Group LLC Bob Hemati (415) 762-8200 | 1417-1431 Jefferson Street APN: 003 -0071-018-00 003 -0071-017-00 | 5 | ■ 54 residential units ■ 3,000 sq.ft commercial | Ulla-Britt Jonsson, 238-3322 | Approved 07/09/08. NEPA completed. Building Permit #B1101888. Extension granted on 1/15/13 until 12/31/13. |
| 23 | 325 7th Street* | Mark McClure (510) 463-6338 | 325 7th Street APN:001 -0189-005-00 001 -0189-013-00 001 -0189-014-01 | 2 | ■ 382 residential units ■ 9,000 sq.ft. commercial | Heather Klein 238-3659 | NOP published 12/18/07. DEIR published 10/18/10. FEIR published 06/30/11. Planning Commission approval and certification of the FEIR 07/20/11. Extension granted on 2/24/13 until 12/31/14. |
| 24 | 2850 Hannah Street | Marc Babsin (415)489-1313 | 2850 Hannah Street APN: 007 -0589-029-00 007 -0589-023-00 | 3 | ■ 90 residential units ■ 2,800 sq.ft commercial | Peterson Vollmann 238-6167 | Approved 10/25/2013. |
| 25 | Creekside Mixed Use Project | Nautilus Group Jason Laub (510) 345-5593 | 5132 Telegraph Ave APN: 014 -1226-013-00 | 1 | ■ 120 residential units ■ 7,700 sq.ft commercial | Darin Ranelletti 238-3663 | NOP published 12/21/07. DEIR published 08/15/08. Planning Commission approval and certification of FEIR 11/19/08. Extension granted 01/6/2014 until 12/31/14. |
| 26 | Wattling Street | Phil Lesser (650) 347-6014 | 3927 Wattling Street APN: 033-2170-003-00 | 5 | ■ 18 condominium units ■ 61 townhome units | Heather Klein 238-3659 | Planning Commission approval and certification of FEIR on 06/18/08. Revisions submitted 10/20/10. Revisions approved 1/18/11. Extension granted 12/19/13 until 12/31/14. |
| 27 | 2538 Telegraph Ave* | Rina Davis 2538 Telegraph LLC (510) 390-4408 | 2538 Telegraph Ave 437 26th St APN: 009 -0683-021-01 009 -0683-024-00 | 3 | ■ 97 residential units ■ 9,000 sq.ft. commercial | Catherine Payne, 238-6168 | Planning Commission approval 01/04/06. TPM granted 02/19/09. Extension granted 12/31/13 until 12/31/14. |

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Compiled by Planning and Zoning, (510) 238-3941.

CITY OF OAKLAND - ACTIVE MAJOR DEVELOPMENT PROJECTS

October 2014

| | PROJECT NAME | APPLICANT CONTACT | LOCATION (ADDRESS AND/OR APN) | COUNCIL DISTRICT | DESCRIPTION | CITY CONTACT | STATUS |
|-----------------------------|--|---|--|-----------------------------|---|-------------------------------|---|
| RESIDENTIAL PROJECTS | | | | | | | |
| Application Approved | | | | | | | |
| 28 | 4801 Shattuck Ave | Steven Tiffin (510) 550-4200 | 4801 Shattuck Ave APN: 013-1162-009-01 013-1162-009-02 013-1162-010-00 | 1 | ■44 residential units | Peterson Vollmann 238-6167 | Planning Commission approval 04/04/07. Appeal denied by City Council 07/17/07. Litigation ruling in favor of project. Extension granted 12/3/13 until 12/31/14. |
| 29 | Hollis 34 | Kathy Kuhler Dogtown Development (510) 428-1714 | 3241 Hollis Entire Block of 007-0619 | 3 | ■124 live/work units | Peterson Vollmann 238-6167 | Planning Commission approval 10/18/06. TPM approval 10/18/06. Extension granted on 12/17/13 until 12/31/14. |
| 30 | 51st & Telegraph, Civiq | Jason Laub Nautilus Group (510) 345-5593 | Area bounded by Telegraph, 51st and Clark Streets APN: Multiple | 3 | ■68 residential units ■Less than 3,000 sq.ft commercial | Darin Ranelletti 238-3663 | Planning Commission approval 1/18/06. Appealed to City Council. Appeal withdrawn at City Council 03/21/06. Extension granted 01/14/13 until 12/31/14. |
| 31 | 2116 Brush Street | Everett Cleveland EBALDC (510) 287-5353 | 2101-2116 Brush Street; 760 22nd Street APN: 003 -0025-010-00 thru 011-00 003-0035-006-00 thru 005-00 003-0023-007-01 thru 011-02 | 3 | Parcel A ■63 residential units Parcel B ■18 residential units Parcel C ■65 residential units | Heather Klein 238-3659 | Planning Commission approval 02/07/07. Extension granted 12/10/13 until 12/31/14. |
| 32 | Valdez & 23rd Street Project* | Jens Hillmer City of Oakland (510) 238-3317 | Valdez St./Webster/23rd St./24th Streets APN: 008-0668-004-00; 008- 0668-009-07 008-0668-005-00 | 3 | ■281 residential units ■500 car parking structure including 250 public spaces ■12,000 sq.ft retail | Heather Klein 238-3659 | Planning Commission approval 12/07/05. TPM approval 02/28/06. Extension granted 12/19/13 until 12/31/14. |
| 33 | Emerald Parc | Tom Dolan (510) 839-7200 | 2400 Filbert Street APN: 005-0433-018-04 | 3 | ■55 townhomes | Peterson Vollmann 238-6167 | Planning Commission approval 11/16/05. Appeal denied by City Council 02/21/06. Extension granted 1/10/14 until 12/31/14. |
| 34 | 3884 Martin Luther King Jr. Way | Neil Cotter (650) 259-9303 | 3884 Martin Luther King Jr. Way APN: 012-0968-031-00 | 1 | ■40 residential units | Darin Ranelletti 238-3663 | Planning Commission approval 9/20/06. Extension granted 1/8/14 until 12/31/14. |

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CITY OF OAKLAND - ACTIVE MAJOR DEVELOPMENT PROJECTS

October 2014

| | PROJECT NAME | APPLICANT CONTACT | LOCATION (ADDRESS AND/OR APN) | COUNCIL DISTRICT | DESCRIPTION | CITY CONTACT | STATUS |
|-----------------------------|---|---|---|-----------------------------|--|---|--|
| RESIDENTIAL PROJECTS | | | | | | | |
| Application Approved | | | | | | | |
| 35 | Siena Hills | David Eckert (510) 339-4720 | 14-40 Siena Dr APN: 040A-3848-006 through 040A-3848-026 | 6 | ▪22 single-family homes | Heather Klein 238-3659 | DEIR published 01/05/05; FEIR published 2/18/05. Planning Commission certification and approval of the FEIR 03/02/05; TTM approval 06/1/05. City Council GHAD approval 12/05/06. Extension granted 12/13/13 until 12/31/14. Application filed 10/13 to GHAD to amend the project to remove the GHAD condition. |
| Under Construction | | | | | | | |
| 36 | ~1032 39th Street | Madison Park Financial Bob Huff (510) 452-2944 | 1032 39th Street APN: 012 -0953-027-00 | 1 | ▪25 residential units in Oakland ▪75 residential units in Emeryville | Catherine Payne 238-6168 Miroo Desai Emeryville Senior Planner (510) 596-3785 | Oakland Planning Commission 12/3/08. Emeryville City Council approval 01/20/08. Extension granted 10/12/12 until 12/31/14. Emeryville has building permit authority; Building permits issued; Under construction. |
| 37 | Ave Vista (formerly 460 Grand Ave) | Bridge Housing Joseph McCarthy (415) 989-1111 | 460 Grand Ave APN: 010-0779-012-00 010-0779-014-01 010-0779-015-01 | 3 | ▪68 Residential units ▪Estimated 16 million dollars project cost | Darin Ranelletti, 238-3663 | Design Review Committee 02/22/06. Planning Commission approval 06/07/06. Appeal denied by City Council 07/18/06. Building Permit # B1301912 issued 12/6/2013. Under construction. |
| 38 | Monte Vista Villas (formerly Leona Quarry) | Discovery Builders Dana Owyong (925) 682-6419 | 7100 Mountain Boulevard APN: 037A-3151-001-01 | 6 | ▪ 123 residential units | Bill Quesada, Building Services, 238-6345 | City Council approval 12/03/02. City Council re-approval 02/17/04. Other Monte Vista Villas projects complete. Multiple Building Permits. Under construction. |
| 39 | Red Star | National Affordable Communities David Booker (949) 222-9119 | 1396 5th Street APN: 004-0069-004-00 | 3 | ▪119 affordable senior units ▪3,300 sq.ft. commercial ▪Estimated 15 million dollars project cost | Darin Ranelletti 238-3663 | Planning Commission approval 06/17/05. Revised project submitted 04/16/08. Building Permit # B1004649. Under construction. Construction delay due to fire in June 2012. |

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CITY OF OAKLAND - ACTIVE MAJOR DEVELOPMENT PROJECTS
October 2014

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|-----------------------------|----------------------------|---|--|---------------------|---|-------------------------------|--|
| RESIDENTIAL PROJECTS | | | | | | | |
| Under Construction | | | | | | | |
| 40 | Cathedral Gardens * | AEH Housing Benny Kwong (415)295-8857 | 2126 M L King Jr Way 616 21st St. 620 21st St. APN:008 -0659-023-00 008 -0647-016-00 008 -0647-017-00 | 3 | <ul style="list-style-type: none"> ▪100 affordable housing units ▪Rehabilitation of the Rectory building ▪ Estimated 19 million dollars project cost | Peterson Vollmann 238-6167 | Planning Commission approval 07/20/10. Building permits issued (B1104230, B1104231, B1202305). Under construction. |
| 41 | 116 E 15th Street | SAHA Cindy Heavens (510)647-0700 | 116 E 15th Street, 1507 2nd Ave, 1521 2nd Ave APN: 020 -0181-016-00 020 -0181-013-01 020 -0181-005-01 | 3 | <ul style="list-style-type: none"> ▪92 affordable senior units ▪ Estimated 13.5 million dollars project cost | Aubrey Rose 238-2071 | Planning Commission approval 04/27/11. Building permit # B1203644 issued 4/29/13. Under construction. |

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CITY OF OAKLAND - ACTIVE MAJOR DEVELOPMENT PROJECTS

October 2014

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|---|--|---|---|-----------------------------|--|-----------------------------------|--|
| MIXED-USE PROJECTS | | | | | | | |
| Pre-Application Discussions | | | | | | | |
| 42 | 51st & Telegraph, Civiq | 5110 Telegraph, LLC Roy Alper (510) 550-7175 | 5110 Telegraph Ave APN: 014 -1226-009-02 | 3 | <ul style="list-style-type: none"> ■ Retain previously approved entitlements <i>Option 2</i> ■ Increase ground floor retail to 19,600 sq.ft. ■ 100 residential units ■ 60,000 sq.ft of office | Catherine Payne 238-6168 | Pre-application filed. |
| 43 | ~2315 Valdez* | TDP-Webster LLC Stephanie Hill (415)381-3001 | 2315 Valdez Street APN: 008-0668-009-07 | 3 | <ul style="list-style-type: none"> ■ 235 residential units ■ 15,000 sq. ft. commercial | Peterson Vollmann 238-6167 | Pre-application filed |
| 44 | ~23rd & Valdez Streets* | WP West Acquisitions LLC Brian Pianca (415) 888-8075 | 2302 Valdez Street APN: 008-0669-009: -010: -012; -013; -014; -015; -016; & - | 3 | <ul style="list-style-type: none"> ■ 193 residential units ■ 29,000 sq. ft. retail | Peterson Vollmann 238-6167 | Pre-application filed |
| Application Submitted - Under Review | | | | | | | |
| 45 | ~3093 Broadway* | 3093 Broadway Holdings LLC Stephen Siri (415)262-5156 | 3073-3093 Broadway APN: 009-0705-002-02; -002-01; -001-04; & -001-08 | 3 | <ul style="list-style-type: none"> ■ 423 residential units ■ 22,000 sq. ft. commercial | Peterson Vollmann 238-6167 | Application filed. |
| 46 | ~Wood Street Development. Area 8 Phase 1 | Holliday Development Kevin Brown (510)588-5134 | Wood Street Development Area 8 APN: 018-0310-003-08; 018-0310-003-09; 018-0310-003--10; 018-0310-003--11 | 3 | <ul style="list-style-type: none"> ■ 235 residential units ■ 18,812 sq.ft. commercial | Maurice Brenyah-Addow 238-6342 | Application filed. |
| 47 | Oak Knoll Redevelopment Project | SunCal Oak Knoll LLC Pat Kelliher (510)251-0711 | 167 acre site 8750 Mountain Blvd. APN: Multiple | 7 | <ul style="list-style-type: none"> ■ 960 residential units (408 SFD, 248 townhomes, 304 condominiums) ■ 82,000 sq.ft. commercial | Peterson Vollmann 238-6167 | Request for General Plan conformity 05/06. Director's determination of General Plan conformity 05/16/06. Request for amended General Plan conformity 12/06. Director's determination of amended General Plan conformity 12/20/06. NOP and Initial Study for Supplemental EIR issued 02/08/07. Planning Commission denied the Appeal and upheld the General Plan determination 03/07/07. SEIR published 09/06/07. Public hearing for Draft SEIR 10/10/07. SunCal requested no further work Fall 2008. Inactive. |

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CITY OF OAKLAND - ACTIVE MAJOR DEVELOPMENT PROJECTS

October 2014

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|-----------------------------|---|--|---|-----------------------------|---|-----------------------------|---|
| MIXED-USE PROJECTS | | | | | | | |
| Application Approved | | | | | | | |
| 48 | ~Jack London Square Redevelopment | Jack London Square Partners, Dean Rubinson, (415)391-9800 | Eight Development areas within Jack London Square bounded by Alice, 2nd, Harrison, and Embarcadero. APN - Multiple | 3 | <i>Master Plan-</i> <ul style="list-style-type: none"> ▪1.2 million S.F. of mixed-use retail, commercial, and office •Sites A-B,D,E,H, I (1,700 seat movie theater, 250 room hotel, supermarkets, restaurants, and offices) ▪66 Franklin (Haslett Building) ▪ Residential option for 665 units on parcels D and F2 | Catherine Payne 238-6168 | DEIR published 09/08/03. FEIR published 2/11/04. Planning Commission approval and certification of FEIR 03/17/04. City Council approval 04/04. Application for sites D and F2 and all other sites for removal of office cap and extension of the DA term currently under review. ZUC hearing on 1/15/13. DRC hearing on 12/18/13. Revision to PUD, GPA and associate permits approved 09/23/14. |
| 49 | ~Brooklyn Basin (formerly Oak to Ninth Mixed Use) | Oakland Harbor Partners, LLC Patrick Van Ness (925) 463-1122 | 64.2 acre waterfront site bounded by Fallon Street, Embarcadero Road, 10th Ave., and the Oakland Estuary APN: 0430-001-02, 0430-001-04 (por), 0460-003,004,0465-002, 0470-002 (por). | 3 & 2 | <ul style="list-style-type: none"> ▪General Plan Amendment from ▪Central City East Redevelopment Plan Amendment and Central District Urban Renewal Plan Amendment ▪New Planned Waterfront Zoning District ▪Zoning Map Amendments ▪3,100 residential units ▪200,000 sq.ft. commercial ▪3,950 structured parking spaces ▪29.9 acres public open space ▪2 renovated marinas; 170 boat slips ▪wetlands restoration area | Catherine Payne 238-6168 | DEIR published 09/01/05. FEIR published 02/01/06.Planning Commission approval and certification of FEIR 03/15/06. Appeal filed 3/24/06. City Council denial of the appeal and approval of the project, amendments, rezoning 06/20/06 and 07/18/06.Revised EIR published 09/30/08. Revised EIR certified by City Council on 1/20/09. Revision to PDP, FDP for Phase 1 streets & infrastructure, and TDM to Planning Commission 11/05/14. |
| 50 | 1640 Broadway Mixed Use Project* | Joe Hernon (011) 353-868-394799 | 1640 Broadway APN: 008-0622-001-02, 008-0622-001-03, 008-0622-001-04, 008-0622-001-05 | 3 | <ul style="list-style-type: none"> ▪177,600 sq.ft. of office ▪4,710 sq.ft. ground floor retail ▪Structured parking ▪Alternative approved for 254 residential units with ground floor retail | Heather Klein 238-3659 | Approved 10/00. All residential alternative approved by Planning Commission 10/01. Planning Commission re-approval 05/04/05. Vesting TPM approved 11/21/06. Extension granted 12/20/13 until 12/31/14. |

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CITY OF OAKLAND - ACTIVE MAJOR DEVELOPMENT PROJECTS

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|------------------------------------|--|--|---|-----------------------------|--|--|--|
| MIXED-USE PROJECTS | | | | | | | |
| Application Approved | | | | | | | |
| 51 | 188 11th Street* | EBALDC Ener Chu (510) 287-5353 | 176 11th Street, 198 11th Street, 1110 Jackson APN: 002 -0081-008-00 002-0081-007-00 002-0081-002-00 | 2 | <ul style="list-style-type: none"> ■99 affordable apartment units ■18,000 sq.ft health clinic and commercial | Peterson Vollmann 238-6167 | Approved administratively 11/24/10. Extension granted on 1/14/13 until 12/31/14. |
| 52 | Mandela Transit Village | Capital Stone Group Dr. Thomas Casey (510) 689-8094 | 1357 5th Street APN 018-0390-010-07 | 3 | <ul style="list-style-type: none"> ■120 residential units ■38,500 sq.ft. commercial | Darin Ranelletti 238-3663 | Planning Commission approval 8/6/03. Planning Commission re-approval 2/18/09. Extension granted 02/18/10 until 12/31/11. |
| | PROJECT NAME | APPLICANT CONTACT | LOCATION (ADDRESS AND/OR APN) | COUNCIL DISTRICT | DESCRIPTION | CITY CONTACT | STATUS |
| MIXED-USE PROJECTS | | | | | | | |
| Projects Under Construction | | | | | | | |
| 53 | ~Broadway West Grand (formerly known as Negherbon Mixed Use Project)* | Signature Properties Doug Park (925) 463-1122 | 2345 Broadway APN: 008 -0666-007-00 | 3 | <i>Parcel B</i> <ul style="list-style-type: none"> ■367 residential units ■8,500 sq.ft. retail | Catherine Payne 238-6168 | DEIR published 08/26/04. Planning Commission approval and certification of FEIR 10/06/04. TTM approval 06/20/06. Amendments filed for Parcel B. Planning Commission approval 06/04/08.PUD Application for revising Phase II. Application approved on 8/28/13. Project under construction. |
| 54 | ~Macarthur BART Transit Village | Macarthur Transit Community Partners, LLC Deborah Castles (510) 273-2002 | 7 acre site located between Telegraph, 40th, and Macarthur and Highway 24 | 1 | <ul style="list-style-type: none"> ■624 residential units ■42,500 sq.ft. retail/commercial ■Estimated 18 million dollars project cost | Catherine Payne 238-6168 Lynn Warner 238-6983 | Planning Commission approval and certification of the FEIR 06/04/08. City Council approval of the Rezoning 07/15/08. Owner Participation Agreement and Development Agreement approval by City Council 07/21/09. Stage 1 FDP City Council approval 12/21/10. Stage 2 FDP application filed 12/17/10. Planning Commission approval Stage 2 FDP 04/06/11. City Council approval of Stage 2 FDP 05/17/11. Building permit #B1300446 granted on 9/16/2013. Phase I under construction. Application filed for Phase 2. DRC 11/12/14 pending. |

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October 2014

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|---|---|--|---|---------------------|---|---------------------------|--|
| COMMERCIAL, INDUSTRIAL, CIVIC PROJECTS | | | | | | | |
| Pre-Application Discussions | | | | | | | |
| 55 | Spanish Speaking Citizens Foundation | Joe DeCredico (510)883-1521 | 1470 Fruitvale Ave APN: 033 -2121-023-00 | 5 | ■40,000 sq.ft. civic building | Neil Gray 238-3878 | Pre-application filed. |
| Application Submitted - Under Review | | | | | | | |
| 56 | ~3431 Foothill Blvd | Philips/Perkins Eastman Tania Philips (415) 926-7909 | 3431 Foothill Blvd APN: 033-2127-015-01 | 2 | ■84 assisted living units ■22 memory care units ■31 skilled nursing units ■6 on-site living units for priests | Aubrey Rose 238-2071 | Application filed. Planning Commission review 9/15/14, remanded to DRC 10/22/14. |
| 57 | ~Children's Hospital | Doug Nelson (510) 428-3066 | 5714 Martin Luther King Jr. Way Bounded by Martin Luther King Jr. Way, 53rd St, and Highway 24. APN: multiple | 2 | Demolition of 2-residences, trailers, and helipad structure Construction of: ■89,100 sq.ft. out-patient building ■4,900 sq.ft. central plant ■14,500 sq.ft. family residence ■31,300 sq.ft. clinical building ■43,500 sq.ft.link building ■101,000 sq.ft. Acute Care Pavilion ■4 level parking structure with 334 stalls ■Interior renovations | Heather Klein 238-3659 | Application filed. NOP published on 7/26/13. DEIR hearings before LPAB 9/8/14, PC 9/17/2014, and BPAC on 9/18/2014. FEIR preparation underway. |
| 58 | Head Royce School | Dennis Malone (510) 531-1300 | 4315 Lincoln Ave. APN: 029A-1367-006-01 | 4 | ■Amendments to the PUD | Heather Klein 238-3659 | Application filed. |
| 59 | 1800 San Pablo | Sid Afshar Sunfield Development LLC (510) 452-5555 | 1800 San Pablo Ave APN: 008 -0642-006-00 | 3 | ■120,000 sq.ft. commercial ■309 auto fee parking spaces | Lynn Warner 238-6983 | NOP published 10/7/11.DEIR published 7/6/12. FSEIR certified 1/14/12. Project has not been approved. |

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CITY OF OAKLAND - ACTIVE MAJOR DEVELOPMENT PROJECTS

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| | PROJECT NAME | APPLICANT CONTACT | LOCATION (ADDRESS AND/OR APN) | COUNCIL DISTRICT | DESCRIPTION | CITY CONTACT | STATUS |
|---|--|--|--|---------------------|--|------------------------------|---|
| COMMERCIAL, INDUSTRIAL, CIVIC PROJECTS | | | | | | | |
| Application Approved | | | | | | | |
| 60 | ~Skilled Nursing Facility/ Medical Office/ Retail Sales | John Nguyen (510)538-9991 | 1230 37th Ave APN: 033-2156-023 | 5 | <ul style="list-style-type: none"> ▪136 assisted living beds ▪13,334 sq.ft. medical office ▪3,316 sq.ft. retail | Neil Gray 238-3878 | Planning Commission approved 08/06/14. |
| 61 | ~Safeway (Broadway @ Pleasant Valley) | Project Development Centers Alvin B. Chan, Inc. (925) 738-1400 | 5050-5100 Broadway APN: 014-1242-002-03, 014-1242-005-07 | 1 | <ul style="list-style-type: none"> ▪Redevelopment of existing shopping center with new 331,000 sq.ft. shopping center | Darin Ranelletti 238-3663 | NOP published 06/26/09. DEIR published 01/11/13. Planning Commission approval and certification of FEIR 9/25/13. |
| 62 | Oakland Zoo (Master Plan Amendment): Phase II | East Bay Zoological Society Nik Haas-Dejehia (510) 623-9525 x138 | 9777 Golf Links Rd APN - multiple | 7 | <ul style="list-style-type: none"> ▪Revisions to the Oakland Zoo Master Plan previously approved in 1998 | Darin Ranelletti 238-3663 | Approved on 6/21/2011. Phase I (Veterinary Hospital) completed in year 2013. Phase II (California Exhibit) approved. |
| 63 | St. John's Episcopal Church Parking and New Sanctuary | St. John's Episcopal Church Jerry Moran (510) 531-0980 | 5928 Thornhill Dr, & 1707 Gouldin Rd APN: 048F-7390-003-03 & 048F-7390-004-09 | 4 | <ul style="list-style-type: none"> ▪Demolition of house at 5928 Thornhill Drive ▪new access bridge over creek ▪creek rehabilitation/bank stabilization ▪5,500 sq.ft. sanctuary | Caesar Quitevis 238-6343 | NOP and Initial Study published 03/06/08. DEIR published 11/17/10. FEIR published 5/23/12. Planning Commission approval and certification of FEIR 6/6/12. Easement proposals between applicant and appellant neighbors filed with City. Pending resolution to revise SCA between appellants and church. |
| 64 | City Center T5/T6 (2005) | Shorenstein Realty Investors Nick Loukianoff (415) 772-7062 | 11th/12th/Clay/Broadway APN: 002-0097-038-00 through 002-0097-040-00 | 3 | <ul style="list-style-type: none"> ▪600,000 sq.ft. office ▪7,500 sq.ft. commercial | Lynn Warner 238-6983 | Planning Commission approval of PPUD 4/00. City in the process of renegotiating City Center DDA extending the completion requirements. |
| 65 | Replacement of Embarcadero Bridge | City of Oakland Nader Rabahat (510)238-6605 | 80 Fallon Street, 1 5th Ave APN: 0000-0430-001-04 0000-0430-001-02 | 5 | <ul style="list-style-type: none"> ▪Replacement of the Embarcadero Bridge over Lake Merritt Channel | Michael Bradley 238-6935 | Creek Protection Permit approved 01/03/11. |
| 66 | 1100 Broadway | SKS Investments Steven Wolmark (415)421-8200 | 1100 Broadway APN:002-0051-006-02 | 2 | <ul style="list-style-type: none"> ▪Rehabilitation of the Key System Building ▪310,285 sq.ft. of office ▪9,810 sq.ft. of retail. | Heather Klein 238-3659 | Planning Commission approval and Addendum certification 02/13/08. Extension granted 02/14 until 12/31/14. |

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|---|---|---|--|---------------------|--|--|---|
| COMMERCIAL, INDUSTRIAL, CIVIC PROJECTS | | | | | | | |
| Application Approved | | | | | | | |
| 67 | Kaiser Center | Tomas Schoenberg The SWIG Company (415)291-1100 | 300 Lakeside Drive Area bounded by 20th and 21st Streets and Webster and Harrison Streets | 3 | <ul style="list-style-type: none"> ■ Demolition of 280,000 S.F. ■ 2 new towers: 42-stories with 780,000 S.F. office ■ 34-stories with 565,000 S.F. office and 22,000 S.F. retail | Heather Klein 238-3659 | NOP published 05/22/08. Environmental Scoping Session before the LPAB 06/09/08 and Planning Commission 06/18/08. DEIR published 8/23/10. LPAB DEIR hearing 10/4/10. PC DEIR hearing 10/6/10. FEIR published 04/21/11. Planning Commission approval and FEIR certification 05/04/11. Extension granted 04/14 until 12/31/14. |
| Projects Under Construction | | | | | | | |
| 68 | ~Shops at Broadway | Lowney Architects Daniel Backman (510)836-5400 | 3001-3039 Broadway APN: 009 -0705-004-00, 009 -0705-005-00, 009 -0705-007-00 | 3 | <ul style="list-style-type: none"> ■ 39,000 sq.ft. retail ■ Estimated 5.2 million dollar project cost. | Peterson Vollmann 238-6167 | NOP published 07/27/12. Project approved and FEIR certified 12/18/2013. Building permit # B1304954 issued. Under construction |
| 69 | ~Safeway (College Ave) | Ken Lowney (510)836-5400 | 6310 College Ave APN: 048A-7070-001-01 | 3 | <ul style="list-style-type: none"> ■ New 45,000 sq.ft. grocery store and ground floor retail with additional 9,500 sq.ft. of commercial ■ Estimated project cost 9.8 Million Dollars (\$ 8.6 million cost of the store and \$ 1.2 million of the retail building) | Peterson Vollmann 238-6167 | NOP published 10/30/09. DEIR published 07/1/11. FEIR published 7/6/12. Planning Commission approval and certification of FEIR 7/25/12. City Council approved revised project 12/18/12. Building permit # B1301812. Project under construction. Retail building permit # B1304086 issued. Under construction. |
| 70 | ~2134-2148 Broadway / Kapor Center | Ben Hidalgo / Fougeron Architects (415) 641-5744 | 2134-2148 Broadway APN:008-0650-001-00 | Metro | <ul style="list-style-type: none"> ■ 4-story addition that totals a 44,000 sf. ft. of commercial floor area. ■ Estimated 10 million dollars project cost | Mike Rivera 238-6417 | Zoning Manager approval 10/25/13. Building permit #B1400472 issued 09/18/14. Under construction. |
| 71 | Oakland Army Base | CCIG Prologis; City of Oakland; Doug Cole (510)238-7661 | Maritime St. and W. Grand Ave. APN: multiple | 3 | <ul style="list-style-type: none"> ■ Redevelop 160 acres with approx. 1.5 million sq. ft. of new industrial space. ■ Estimated 500 million dollar project cost | Darin Ranelletti, 510-238-3663; Doug Cole, 238-7661 | Master Plan and LDDA approved June 2012. Rezoning approved 7/13. Horizontal infrastructure improvements under construction. |

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|---|--|--|---|---------------------|---|---|---|
| COMMERCIAL, INDUSTRIAL, CIVIC PROJECTS | | | | | | | |
| Projects Under Construction | | | | | | | |
| 72 | Alta Bates Summit Medical Center- Summit Campus Master Plan | Alta Bates Summit Medical Center Shahrokh Sayadi (415)203-6345 | 23-acre campus generally between Telegraph and Webster, and between 30th Street and 34th Street APN - Multiple | 3 | ABSMC Master Plan Phase 2 <ul style="list-style-type: none"> ▪ Longer-term campus-wide improvements, new medical office buildings, classrooms and closure of a portion of Summit St for new campus plaza. | Bill Quesada, Building Services, 238-6345 | Application filed. NOP published 01/23/09. DEIR published 12/21/09. FEIR published 5/7/10. Planning Commission approval 05/19/10. Appealed to City Council. Council denial of the appeal and approval of the project 07/06/10. Building permit B#1001826. Phase II under review. |
| 73 | City Center T12 (2005)* | Shorenstein Realty Investors Tom Hart (415) 772-7000 | 11th/12th/MLK/Jefferson APN: 002-0027-007-00 | 3 | <ul style="list-style-type: none"> ▪ Revision in program from 450 residential units to 600,000 S.F. office. | Lynn Warner 238-6983 | Revision from residential units to office square footage. Planning Commission approval and Addendum certification 12/05/07. Building permit #B0803952. Project stopped construction. |
| 74 | Kaiser Permanente | Kaiser Permanente Judy DeVries (510) 752-2004 | Generally the area surrounding the intersection of Broadway and MacArthur Boulevard. | 1 and 3 | Master Plan for new hospital: <ul style="list-style-type: none"> ▪ 1,216 space parking garage ▪ Hospital building of about 1.06 M sf. ft. ▪ Central Utility Plant | Bill Quesada, Building Services, 238-6345 | Planning Commission certification and approval of FEIR 06/07/06. City Council approval of GPA, RPA and re-zoning 6/27/06. Planning Commission approval of the design of Phase I, MOB 11/1/06. Planning Commission approval of Design Review for Phase 2, Hospital 11/19/08. Building permit B#0902127 for the parking garage. Main hospital permit granted under OSHPD. Phase III for new administrative offices to be submitted. |
| 75 | Foothill Square Redevelopment Project | Jay-Phares Corp. John Jay (510)562-9500 | 10700 MacArthur Boulevard APN: 047 -5589-001-00 047 -5589-001-06 047 -5589-001-05 047 -5589-001-04 | 7 | <ul style="list-style-type: none"> ▪ Head Start Center | Aubrey Rose 238-2071 | Planning Commission approval 05/04/11. Building permit #B1004457 issued. Project under construction. |

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| SUCCESSFUL COMPLETIONS | | | | | | | |
| Residential Projects | | | | | | | |
| 1 | ~California Hotel | EBALDC Natalie Bonnewit (510)287-5353 | 3501 San Pablo Ave APN: 005 -0479-002-01 | 3 | ■Rehabilitation and conversion of the existing studio and affordable units and ground floor commercial into 137 affordable apartments. | Jason Madani 238-4790 | Project completed in year 2014. |
| 2 | ~MacArthur Blvd Senior Apartments | Kristen McLane (909) 624-6222 | 10920 MacArthur Blvd APN: 047-5583-008-02 | 7 | ■33 senior apartment units | Aubrey Rose 238-2071 | Project completed in year 2014. |
| 3 | ~Lion Creek Crossing (formerly Coliseum Gardens) | EBALDC Carlos Castellmos (510) 287-5335 | 66th Ave. at San Leandro Street APN: Multiple | 6 | <i>Phase V</i> ■128 rental senior housing units | Catherine Payne 238-6168 | Project completed in year 2014. |
| 4 | 1614 Campbell Street | John Protopappas Madison Park (510) 452-2944 | 1614 Campbell St APN:007 -0560-001-02 | 3 | ■92 live/work conversion | Peterson Vollmann 238-6167 | Project completed in year 2014. |
| 5 | 720 E 11th Street | Robert Stevenson (415)786-6631 | 720 E 11th Street APN: 019 -0033-010-02 | 2 | ■55 affordable units | Moe Hackett 238-3973 | Project completed in year 2012. |
| 6 | 116 6th St* | Affordable Housing Associates Adam Deromedi (510) 649-8500 | 116 6th Street 609 6th Street APN: 001-0173-009-00 | 2 | ■70 senior affordable apartment units | Heather Klein 238-3659 | Project completed in year 2012. |
| 7 | Arcadia Park | Pulte Homes Andy Cost (925) 249-3200 | 98th Ave. at San Leandro St., APN - multiple | 7 | ■168 residential units (previously approved for 366 residential units) | Darin Ranelletti 238-3663 | Project completed in year 2012. |
| 8 | City Walk City Center T10 (2005)* | Alta City Walk, LL (415) 888-8075 | 13th/14th/MLK/Jefferson APN: 002-0029-001-00 | 3 | ■3,000 sq.ft. retail ■252 residential units | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2012. |
| 9 | Lion Creek Crossing (formerly Coliseum Gardens) | EBALDC Carlos Castellmos (510) 287-5335 | 66th Ave. at San Leandro Street APN-Multiple | 6 | ■283 residential units ■7,500 sq.ft of civic and commercial space ■park | Catherine Payne 238-6168 | Phase I-IV completed in year 2012. Final Phase V under construction 09/14 |

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| SUCCESSFUL COMPLETIONS | | | | | | | |
| Residential Projects | | | | | | | |
| 10 | St Joseph's | BRIDGE Housing Corp Smitha Seshadri (415) 989-1111 | 2647 International Blvd APN: 025 -0701-004-01 | 5 | <ul style="list-style-type: none"> ▪ Rehabilitation of the historic building ▪ 84 units senior housing ▪ 15,000 sq.ft office ▪ Estimated 12 million dollar project cost | Robert Merkamp 238-6283 | Project completed in year 2011. |
| 11 | Altenheim Senior Housing | Citizens Housing Corporation Kaori Tokunhea (415) 421-8605 | 1720 Macarthur Boulevard APN: 023-0494-001-07 | 5 | <i>Phase II</i> <ul style="list-style-type: none"> ▪ 83 apartments units (new construction) | Robert Merkamp 238-6283 | Project completed in year 2010. |
| 12 | Ironhorse Apartments at Central Station (formerly 14th Street Apartments -Wood Street) | Bridge Housing Ben Metcalf (415) 989-1111 | Portions of APN: 0006-0029-001 and 0000-0315-006. | 3 | <ul style="list-style-type: none"> ▪ 99 Affordable housing units | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2009. |
| 13 | Zephyr Gate -Wood Street | Pulte Homes (925) 249-3268 | Wood Street APN: 006-0029-001-00 | 3 | <ul style="list-style-type: none"> ▪ 130 residential condominium units | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2009. |
| 14 | 3860 Martin Luther King Jr. Way | Neil Cotter (650) 259-9303 | 3860 & 3880 Martin Luther King Jr. Way APN: 012-0968-030-01 012-0968-031-00 | 1 | <ul style="list-style-type: none"> ▪ 34 residential units | Darin Ranelletti, 238-3663 | Project completed in year 2009. |
| 15 | Jackson Courtyard Condominiums* | Gerald Green (415) 377-5286 | 210 – 14th Street APN 008 –0627-020-00 | 3 | <ul style="list-style-type: none"> ▪ 45 condominium units | Heather Klein 238-3659 | Project completed in year 2009. |
| 16 | 630 Thomas Berkley Square Housing * | SUDA/ Alan Dones (510) 715-3491 | 630 Thomas L. Berkley Way APN: N/A - TPM7541 Parcel 3 | 3 | <ul style="list-style-type: none"> ▪ 88 residential condominium units ▪ 3 commercial spaces | Heather Klein 238-3659 | Project completed in year 2009. |
| 17 | 1755 Broadway* | 1755 Broadway LLC Andrew Brog (310) 963-7878 | 1755 Broadway APN:008 -0640-005-00 | 3 | <ul style="list-style-type: none"> ▪ Conversion of floors 2-5 of office to 24 live/work condominiums. | Mike Rivera, 238-6417 | Project completed in year 2009. |
| 18 | Fox Courts | Deni Adaniya (510) 841.4410, ext.19 | Uptown Parcel 6 555-19th Street, 550-18th Street APN 008-0642-017 | 3 | <ul style="list-style-type: none"> ▪ 80 residential units ▪ 2500 sq.ft. ▪ Childcare ▪ Art space | Catherine Payne 238-6168 | Project completed in year 2009. |
| 19 | 311 2nd St* | Embarcadero Pacific Michael Reynolds (510) 444-4064 | 311 2nd Street APN:001 -0149-007-00 | 3 | <ul style="list-style-type: none"> ▪ 105 residential condominium units | Heather Klein 238-3659 | Project completed in year 2009. |
| 20 | 100 Grand* | Essex Property Trust John Eudy (650) 849-1600 | 124 Grand Ave and 2264 Webster St. APN: 008-0655-007-00 & 008-0655-009-01 | 3 | <ul style="list-style-type: none"> ▪ 241 residential units | Darin Ranelletti 238-3663 | Project completed in year 2009. |

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| SUCCESSFUL COMPLETIONS | | | | | | | |
| Residential Projects | | | | | | | |
| 21 | Pacific Cannery Lofts | PCL Associates Cal Inman (510)547-2122 | 1111-1119 Pine Street APN: 006-0029-002-00 | 3 | <ul style="list-style-type: none"> ■99 condo warehouse lofts ■45 live/work lofts ■15 townhouse lofts ■4 work/live lofts (part Wood Street Development) | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2009. |
| 22 | Madison Lofts* | Affordable Housing Associates Mark Garrel (510) 649-8500 | 160 14th St. APN: 008-0628-005-01 | 3 | <ul style="list-style-type: none"> ■Approximately 76 condominium units ■2,666 sq.ft of retail | Neil Gray 238-3878 | Project completed in year 2009. |
| 23 | Packard Lofts* (formerly 2355 Broadway) | 2355 Broadway LLC John Protopoulos (510) 452-2944 | 2355 Broadway APN: 008-0666-006-00 | 6 | <ul style="list-style-type: none"> ■Adaptive re-use of historic building into 24 condominiums and ground floor retail | Heather Klein, 238-3659 | Project completed in year 2008. |
| 24 | The Ellington* (formerly 3rd/Broadway Mixed Use) | The Emerald Fund Marc Babsin 415-777-2914 | 200/210/228 Broadway APN: 001 -0141-002-01 001 -0141-011-00 | 3 | <ul style="list-style-type: none"> ■134 residential units ■11,000 sq.ft. retail | Heather Klein, 238-3659 Don Smith, Bldg. Permits 238-4778 | Project completed in year 2008. |
| 25 | 901 Jefferson* | Pyatok Architects Inc Gary Struthers (510) 465-7010 | 901& 907 Jefferson Street APN: 002-0025-007-00 through 002-0025-009-00 | 3 | <ul style="list-style-type: none"> ■75 condominium units ■1,030 sq.ft. retail | Darin Ranelletti, 238-3663 | Project completed in year 2008. |
| 26 | 8 Orchids* | BayRock Residential Marilyn Ponte (510) 594-8811 | 620-636 Broadway APN: 001-0197-002-00 | 2 | <ul style="list-style-type: none"> ■3,600 sq.ft retail ■157 condominium units | Heather Klein 238-3659 | Project completed in year 2008. |
| 27 | Housewives Market* | A. F. Evans Steve Kuklin (415) 591-2204 | 8th/9th/Clay and Jefferson 801-807 Clay Street APN: 001-0209-001, 002, 003, 004 | 3 | <i>Phase II</i> <ul style="list-style-type: none"> ■72-86 condominium units ■14,000 sq.ft flexible space | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2007. |
| 28 | Siena Hills | Hillside Homes Edward Patmont (925) 946-0583 | Between Rilea Way and Greenridge Drive on Keller Ave. APN: 04A-3457-033-01 | 6 | <ul style="list-style-type: none"> ■10 single-family homes | Heather Klein 238-3659 | Project completed in year 2007. |
| 29 | Uptown Project * | Forest City Residential, Inc. Susan Smartt (415) 836-5980 | Area bounded by San Pablo, Telegraph, 18th and 20th Streets APN - Multiple | 3 | <ul style="list-style-type: none"> ■Parcel I ■Parcel II ■Parcel III ■665 residential units | Catherine Payne, 238-6168 | Project completed in year 2007. |
| 30 | Monte Vista Villas (formerly Leona Quarry) | The DeSilva Group David Chapman (925) 828-7999 | 7100 Mountain Boulevard APN: 037A-3151-001-01 | 6 | <ul style="list-style-type: none"> ■320 residential units ■3,350 sq.ft community center | Bill Quesada, Building Services, 238-6345 | Project completed in year 2007. |

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| SUCCESSFUL COMPLETIONS | | | | | | | |
| Residential Projects | | | | | | | |
| 31 | 288 Third Street* (formally 300 Harrison Street) | Signature Properties Chris Weekley (925) 463-1122 | 300 Harrison Street APN: 001-0153-016 | 3 | ■91 condominiums units | Scott Miller 238-2235 | Project completed in year 2007. |
| 32 | Altenheim Senior Housing (Phase I) | Citizens Housing Corporation Kaori Tokunhea (415) 421-8605 | 1720 Macarthur Boulevard APN: 023-0494-001-07 | 5 | ■93 apartment units ■ Rehabilitation of existing historic buildings | Scott Miller 238-2235 | Phase I completed in year 2007. |
| 33 | 206 Second Street* | MV Jackson Robison Brown (415) 284-1200 | 206 Second Street APN: 001-0157-003-00 | 3 | ■2,380 sq.ft of live/work ■1,310 sq.ft of retail space ■75 condominium units | Heather Klein 238-3659 | Project completed in year 2007. |
| 34 | 1511 Jefferson * | Meritage Homes of California Randall Harris (925) 256-6042 | 1511 Jefferson Street APN:003-0071-006-00 | 3 | ■78 condominium units | Robert Merkamp 238-6283 | Project completed in year 2007. |
| 35 | Ford Street Lofts | Signature Properties (905) 436-9350 | 3041, 3061, and 3065 Ford Street APN: 025-0666-002-00 | 5 | ■81 condominium residential units | Scott Miller 238-2235 | Project completed in year 2007. |
| 36 | Housewives Market* | A.F. Evans Steve Kuklin (415) 591-2204 | 8th/9th/Clay and Jefferson 801-807 Clay Street APN: 001-0209-001, 002, 003, 004 | 3 | <i>Phase I</i> ■Between 102 -111 condominium units ■11,000 sq.ft flexible space ■3,000 sq.ft of retail ■Structured parking | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2007. |
| 37 | Green City Loft Project | Green City Development Martin Samuels (510) 635-7698 | 41st and Adeline; land area is in both Oakland and Emeryville. 1007 41st Street APN: 012 -1022-001-00 | 1 | ■62 lot units on former office/warehouse site | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2007. |
| 38 | 66th & San Pablo | The Olson Company (925) 242-1050 | 6549 San Pablo Ave APN: 016-1506-001-02 | 1 | ■72 condominium units | Lynn Warner 238-6983 | Project completed in year 2006. |
| 39 | Wheelink Project* | Jordan Real Estate Wayne Jordan (510) 663-3865 | 4th and Alice Street; JLS District 428 Alice Street APN 001 -0155-001-00 | 3 | ■94 residential units ■9,800 sq.ft office | Scott Miller, 238-2235 Don Smith, Bldg. Permits 238-4778 | Project completed in year 2006. |
| 40 | Lincoln Court Senior Housing | Domus Development (415) 558-9500 | 2400 Macarthur Blvd APN: 029 -0993-020-01 | 4 | ■82 senior housing apartment units | Robert Merkamp 238-6283 | Project completed in year 2006. |
| 41 | Aqua Via* (Harbor View or Second Street Lofts) | Urban Developments Marge Cafarelli (415) 512-8118 | 121-129 2nd Street APN: 001-0165-015-00 | 3 | ■100 condominium units ■5,190 sq.ft of commercial / office | Heather Klein 238-3659 | Project completed in year 2006. |

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| SUCCESSFUL COMPLETIONS | | | | | | | |
| Residential Projects | | | | | | | |
| 42 | Cotton Mill Studios | Tom Dolan Architects (510) 839-7200 | 1091 Calcot Place APN: 019-0055-001-04 | 5 | ■74 unit live/work conversion | Robert Merkamp 238-6283 | Project completed in year 2006. |
| 43 | Glascock Residential Project “The Estuary” | Signature Properties Patrick Van Ness (925) 463-1122 | 2893 Glascock at Derby 4.1 Acres APN: 025-0674-001-00 025-0674-002-00 025-0674-003-00 | 5 | ■100 residential units | Scott Miller 238-2235 | Project completed in year 2006. |
| 44 | Preservation Park III* | Signature Properties (905) 436-9350 | 11th – 12th and MLK on a vacant parcel 655 12th Street APN: 002-0021-011-01 002-0021-012-00 | 3 | ■92 residential townhouses | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2006. |
| 45 | City Limits Project (Formerly FABCO) | Pulte Homes Dennis O’Keefe (925)249-3218 | 1165 and 1249 67th Street west of San Pablo Ave. APN: 049-1507-004-00 016 –1507-008-03 016 –1507-009-02 | 1 | ■92 condominium residential units | Scott Miller 238-2235 | Project completed in year 2005. |
| 46 | Arioso Project* | SNK Development (415) 896-1186 | 901 Franklin Street APN: 002-0096-004-00 | 2 | ■88 condominium units ■6,000 sq.ft commercial structured parking | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2005. |
| 47 | Palm Villas Residential Project | Em Johnson Interest (510) 839-3057 | 9001-9321 MacArthur Blvd. APN: 047-5484-006-04, 007- 03, 010-02, 011, 012, 013, 022- 01, 022-02, 023 | 7 | ■78 single family homes | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2004. |
| 48 | Telegraph Gateway Project * | Tom Dolan Architects Scott Galka (510) 839-7200 | Telegraph Ave. and 24th Street 2401 Telegraph Avenue APN: 008-0675-004-00 | 3 | ■50 new residential lots ■5,300 sq.ft ground floor retail | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2004. |
| 49 | Mandela Gateway Townhomes | Bridge Housing Kristy Wang (415) 989-1111 | 1431 8th Street APN: 004-0067-021-00 | 3 | ■14 condominium units | Heather Klein 238-3659 | Project completed in year 2003. |
| 50 | Ettie Street/Mandela Parkway | David Baker Architects (415) 896-6700 | 2818 Mandela Parkway APN: 007-0587-002-05 | 3 | ■91 live/work units | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2003. |
| 51 | Mandela Gateway Gardens (formerly Westwood Gardens) | Oakland Housing Authority and Bridge Housing Pete Nichol (415) 989-1111 | 1431 7th Street APN: 004-0067-021-00 | 3 | ■200 residential units (40 units in replacement of existing Westwood Gardens) 15,000 sq.ft of retail space - combination rental and ownership; Some live/work units. | Heather Klein 238-3659 | Project completed in year 2003. |

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CITY OF OAKLAND - ACTIVE MAJOR DEVELOPMENT PROJECTS

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|-------------------------------|--|---|--|---------------------|---|---|---------------------------------|
| SUCCESSFUL COMPLETIONS | | | | | | | |
| Residential Projects | | | | | | | |
| 52 | Durant Square | Signature Properties (925) 463-1122 | International Blvd. And Durant Ave. 10970 International Blvd. APN: 047-5519-043-00 | 7 | <ul style="list-style-type: none"> ■43 new single family ■168 new townhouses ■40 new live/work (60 total) ■Food 4 Less ■Renovated building with continued commercial uses | Heather Klein 238-3659 Bill Quesada, Building Permits, 238-6345 | Project completed in year 2003. |
| 53 | San Pablo Affordable Senior Housing | Oakland Community Housing Inc. (510) 763-7676 | 3255 San Pablo Avenue between 32nd and 34th Streets APN: 005-0470-017-01 | 3 | <ul style="list-style-type: none"> ■ 50+ residential units | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2003. |
| 54 | Bridge Housing – Linden Court | Bridge Housing (415) 989-1111 | 1089 26th Street. Near McClymonds High School in West Oakland | 3 | <ul style="list-style-type: none"> ■Low-income housing (approx. 79 units) | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2003. |
| 55 | Bridge Housing - Chestnut Court | Bridge Housing (415) 989-1111 | 2240 Chestnut Street, at West Grand APN: 005-0428-001-00 | 3 | <ul style="list-style-type: none"> ■Hope IV project in conjunction with OHA ■58 affordable rental housing units ■6 affordable for sale housing units ■14 loft units, 4,000 sq.ft retail ■4,000 sq.ft supportive services | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2003. |
| 56 | The Essex - Lake Merritt* | Lakeshore Partners Tom Peterson (510) 444-7191 | 17th and Lakeshore 108 - 17th Street APN: 008-0633-002-01 | 2 | <ul style="list-style-type: none"> ■270 residential units | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2002. |
| 57 | Allegro Project* | SNK Development (415) 896-1186 | 3rd and Jackson Streets 208 Jackson Street APN:001-0159-006-00 | 3 | <ul style="list-style-type: none"> ■312 units ■13,500 sq.ft commercial | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2002. |
| 58 | Safeway Building* | Reynolds & Brown Dana Perry (925) 674-8400 | 4th and Jackson Streets 201 4th Street APN: 001-0155-008-00 | 3 | <ul style="list-style-type: none"> ■Reuse existing warehouse and add new top floor for 46 live/work units ■4,500 sq.ft commercial ■6,500 sq.ft office | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2002. |
| 59 | 46th Street Lofts (formerly Flecto Project) | Levin, Menzies, Kelly Paul Menzies (925) 937-4111 | 47th and Adeline; land area is in both Oakland and Emeryville. 119 Linden Street APN: 049-1172-002 013-1172-003 013-1172-004 | 1 | <ul style="list-style-type: none"> ■79 units and 3,000 sq.ft commercial space ■Adaptive reuse of and addition to the former Flecto building. | Catherine Payne 238-6168 | Project completed in year 2006. |

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CITY OF OAKLAND - ACTIVE MAJOR DEVELOPMENT PROJECTS

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|---|---|---|--|---------------------|---|---|---|
| SUCCESSFUL COMPLETIONS | | | | | | | |
| Mixed-Use Projects | | | | | | | |
| 60 | Seven Directions | Pyatok Architects Inc, Curtis Caton, (510) 465-7010 | 2946 International Boulevard APN: 025-0716-012-00 | 3 | <ul style="list-style-type: none"> ■38 housing units ■20,115 S.F. clinic space | Robert Merkamp 238-6283 | Project completed in year 2008. |
| 61 | Broadway West Grand (formerly known as Negherbon Mixed Use Project)* | Signature Properties Doug Park (925) 463-1122 | 2345 Broadway APN: 008 -0666-007-00 | 3 | <i>Parcel A</i> <ul style="list-style-type: none"> ■132 residential units ■21,300 sq.ft. retail | Catherine Payne 238-6168 | Project completed in year 2006. |
| 62 | Dreyer's Site Residential Lofts* The Sierra | COD Builders Kava Massih (510) 644-1920 | 311 Oak Street APN: 001-0163-012-00 | 3 | <ul style="list-style-type: none"> ■220 units ■30,000 sq.ft commercial | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2003. |
| 63 | Fruitvale Transit Village Phase I | FDC, Evelyn Johnson, (510) 535-6911 | Fruitvale BART Station | 5 | <ul style="list-style-type: none"> ■Masterplan for residential and commercial/civic use and new parking structure | Darin Ranelletti 238-3663 | Project completed in year 2003. |
| Commercial, Industrial, and Civic Projects | | | | | | | |
| 64 | ~Oakland Zoo (Master Plan Amendment) Phase I | East Bay Zoological Society Nik Haas-Dejehia (510) 623-9525 x138 | 9777 Golf Links Rd APN - multiple | 7 | <ul style="list-style-type: none"> ■Revisions to the Oakland Zoo Master Plan previously approved in 1998 | Darin Ranelletti 238-3663 | Phase I (veterinary hospital) completed in year 2013. |
| 65 | ~Foothill Square Redevelopment Project | Jay-Phares Corp. John Jay (510)562-9500 | 10700 MacArthur Boulevard APN: 047 -5589-001-00 047 -5589-001-06 | 7 | <ul style="list-style-type: none"> ■Redevelopment of a commercial shopping center approx. 13.8 acres | Aubrey Rose 238-2071 | Project completed in year 2014. |
| 66 | ~Macarthur BART Transit Village | Macarthur Transit Community Partners, LLC Deborah Castles | 7 acre site located between Telegraph, 40th, and Macarthur and Highway 24 | 1 | <ul style="list-style-type: none"> ■Public Parking Garage | Catherine Payne 238-6168 Lynn Warner | Project completed in year 2014. |
| 67 | ~Kaiser Permanente | Kaiser Permanente Judy DeVries (510) 752-2004 | Generally the area surrounding the intersection of Broadway and Macarthur Boulevard. | 1 and 3 | Master Plan for new hospital: <ul style="list-style-type: none"> ■ 1,216 space parking garage ■ Hospital building of about | Bill Quesada, Building Services, 238-6345 | Phase I and II completed in year 2014. |
| 68 | ~Alta Bates Summit Medical Center- Summit Campus Master Plan | Alta Bates Summit Medical Center Shahrokh Sayadi (415)203-6345 | 23-acre campus generally between Telegraph and Webster, and between 30th Street and 34th Street APN - Multiple | 3 | ABSMC Master Plan Phase 1 <ul style="list-style-type: none"> ■Demolition of the Merritt Classroom and other small buildings ■Construction of a 230,000 S.F. (11-story) acute care hospital ■1,090-space (7-story) parking garage. | Bill Quesada, Building Services, 238-6345 | Phase 1 Project completed in year 2014. |

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|---|--|--|---|-------------|--|--|---|
| SUCCESSFUL COMPLETIONS | | | | | | | |
| Commercial, Industrial, and Civic Projects | | | | | | | |
| 69 | Lake Merritt Channel Wetland and Widening Project | City of Oakland | Lake Merritt Channel between Lake Merritt and I-880 APN: 000O-0450-001, 002, 000O-0455-001-01, 001-07, 008-05,012 | 2 | ■Widening and tidal restoration improvements along Lake Merritt with the 12th Street Reconstruction Project, 10th Street Bridge Project, and Lake Merritt Channel Improvement Project at the 7th Street Flood Control Station. | Lesley Estes, Watershed Improvement Program Supervisor, 238-7431 | Project completed in year 2013. |
| 70 | Aspire Public Schools | Charles Robitaille 925-698-1118 | 1009 66th Ave APN:041-4056-003-00 | 6 | ■Demolish vacant industrial building/construct a school with 420 students | Aubrey Rose 238-2071 | Project completed in year 2011. |
| 71 | Kaiser Permanente | Kaiser Permanente Judy DeVries (510) 752-2004 | Generally the area surrounding the intersection of Broadway and Macarthur Boulevard. | 1 and 3 | <i>Phase I</i> West Broadway Medical Services Building and Garage <i>Phase II</i> Specialty Medical Office Building | Scott Gregory (contract planner) (510) 535-6690 | Project completed in year 2011. |
| 72 | Jack London Square Redevelopment | Jack London Square Partners, Stuart Richard, (415)391-9800 | Eight Development areas within Jack London Square bounded by Alice, 2nd, Harrison, and Embarcadero. APN - Multiple | 3 | ■commercial, office, and parking ■Site C (10 Clay Street/505 Embarcadero West) (Ferry Landing) ■Site F (65 Harrison Street) (Jack London Market) | Catherine Payne 238-6168 | Site C, G and F completed in year 2009. |
| 73 | Head Royce School | John Malick & Associates John Malick (510)595-8042 | 4315 Lincoln Ave APN: 029A-1367-004-04 | 4 | ■Development of School Masterplan | Heather Klein 238-3659 | Project completed in year 2009. |
| 74 | Cathedral of Christ the Light | CMA Eileen Ash (415) 597-8414 | 2121 Harrison Street and Grand Avenue APN:008-0653-024 | 3 | ■ 255,000 sq.ft Cathedral | Catherine Payne 238-6168 | Project completed in year 2009. |

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| SUCCESSFUL COMPLETIONS | | | | | | | |
| Commercial, Industrial, and Civic Projects | | | | | | | |
| 75 | Thomas Berkley Square | SUDA/ North County Center for Self Sufficiency Alan Dones (510) 715-3491 | San Pablo Ave between MLK Jr. Way, Thomas L. Berkley Way, and 21st Street. 630 20th Street APN: 008-0645-015-01 008-0645-01801 and 02 0080645-019 through 025 | 3 | <ul style="list-style-type: none"> ■ 114,000 sq.ft office for the Alameda County Social Services Division and the North County Self Sufficiency Center ■ 5,000 sq.ft. of retail | Heather Klein 238-3659 Don Smith, Bldg. Permits 238-4778 | Project completed in year 2009. |
| 76 | Perkins Street Residential Care | A.F. Evans John Rimbach (510) 891-444-7191 | 468-484 Perkins St. APN: 010-0767-014-00 | 3 | ■56 room care facility for elderly residents | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2009. |
| 77 | Cox Cadillac Mixed Use | Bond Company Robert Bond (312) 853-0070 | Intersection of Harrison St., 27th and Bay Place 230 Bay Place APN 010 -0795-027-01 | 3 | <ul style="list-style-type: none"> ■56,000 sq.ft commercial ■Renovation of historic Cadillac Showroom | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2008. |
| 78 | 66 Franklin Street* | Komorous-Towey Klara Komorous (510)446-2244 | 66 Franklin Street APN:001-0060-322 | 3 | ■Renovation of existing building with approximately 95 sq.ft. of commercial | Robert Merkamp 238-6283 | Project completed in year 2008. |
| 79 | Center 21 | John Sutton Prentiss Properties (510)465-2101 | 2100 Franklin Street APN:008 -0651-003-01 | 3 | <ul style="list-style-type: none"> ■15,000 sq.ft retail ■218,000 sq.ft office | Catherine Payne 238-6168 | Project completed in year 2007. |
| 80 | City Center T9 (2000) | Shorenstein Realty Investors Nick Loukianoff (415) 772-7062 | 11 th /12 th /Clay/Jefferson APN: 002-0033-006-00 through 015-00 | 3 | <ul style="list-style-type: none"> ■450,000 sq.ft. office ■7,500 sq.ft. retail | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2001. |

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| SUCCESSFUL COMPLETIONS | | | | | | | |
| Commercial, Industrial, and Civic Projects | | | | | | | |
| 81 | East Oakland Sports Center | City of Oakland Community and Economic Development Agency Project Delivery Division Lyle Oehler (510) 238-3389 | 9175 Edes Avenue APN: 044-5053-001-06 | 7 | <ul style="list-style-type: none"> ■ Phased Master Plan for a sports center at Ira Jenkins Park. <i>Phase I</i> ■ 26,000: indoor swimming pool/water slide (natatorium), a dance/exercise room, a multi-purpose room/learning center, and other accessory activities. If funded a fitness/weight room and two outdoor basketball courts <i>Phase II</i> ■ 23,000 square foot facility and outdoor amenities | Lynn Warner 238-6983 | Project completed in year 2007. |
| 82 | 17th Street Parking Garage | California Commercial Investments Phil Tagami (510) 268-8500 | 16th and 17th Streets and San Pablo Avenue 1630 San Pablo APN: 008 -0620-015-00 008 -0620-014-00 008 -0620-009-01 | 3 | <ul style="list-style-type: none"> ■ +330 -space parking garage | Heather Klein 238-3659 Patrick Lane, Redevelopment, 238-7362 | Project completed in year 2006. |
| 83 | Lexus Dealership | Lance Gidel (408) 370-0280 | Oakport St. at Hassler Way APN: 034-2295-005-04 | 7 | <ul style="list-style-type: none"> ■ 22,000 sq.ft building for auto sales, service, repair of parts ■ Outdoor auto sales lot for 275- | Heather Klein 238-3659 | Project completed in year 2006. |
| 84 | Infiniti of Oakland | Hendricks Automotive Ron Tye (925) 463-9074 | Oakport Road at Hassler Way APN: 034-2295-005-04 | 7 | <ul style="list-style-type: none"> ■ New automotive dealership | Heather Klein 238-3659 | Project completed in year 2006. |
| 85 | Edgewater Distribution Center | AMB Property Corp. | 7200 Edgewater Drive APN: 041 -3902-003-17 | 7 | <ul style="list-style-type: none"> ■ 406,700 sq.ft warehouse/industrial use | Port of Oakland Commercial Real Estate 627-1210 | Project completed in year 2004. |
| 86 | Best Buy Retail Store | Best Buy – Architects MBH – Sherry Fraiser (510) 865-8663 | Yerba Buena and Mandela Parkway (Portion of OTR site) APN: 007-0617-047-00 | 3 | <ul style="list-style-type: none"> ■ 45,000 sq.ft Best Buy retail store proposed | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2003. |

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| SUCCESSFUL COMPLETIONS | | | | | | | |
| Commercial, Industrial, and Civic Projects | | | | | | | |
| 87 | Rainin Instruments | Carl Groch, (415) 592-3950 | Edgewater Drive & Hassler Road 7500 Edgewater Drive | 7 | ■180,000 sq.ft office/manufacturing/R&D facility | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2002. |
| 88 | Oakland Garden Hotel (Courtyard Marriott) | Michael Chan Oakland Garden Hotel (510) 251-6440 | 9 th and Broadway 900 Broadway APN: 002-0094-002-00 | 2 | ■150-room hotel | Don Smith, Bldg. Permits 238-4778 | Project completed in year 2002. |
| 89 | 1111 Jackson Street – Phase I | Peter Wong (510) 628-9060 | 1111 Jackson Street APN 002-75-002-00 | 2 | ■Renovation of existing 111,000 sq.ft State office building | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2002. |
| 90 | IKEA Parking Structure | Ikea Property, Inc. Doug Pass (925) 249-0317 | Shellmound at I-80 4300 Shellmound Street | 3 | ■Additional 3-level parking structure for 800 cars in portion of existing surface parking lot | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2002. |
| 91 | Just Desserts | Just Desserts John Schmiedel (415) 864-6450 | 550 85th Avenue APN: 042 –4313-001-00 | 7 | ■64,525 sq.ft bakery and warehouse | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2001. |
| 92 | Extended Stay American Hotel – OTR Site | Extended Stay America Dan Stearns (425) 603-1530 | Yerba Buena and Mandela Parkway APN: 007-0617-014-01 | 3 | ■149 hotel rooms | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2001. |
| 93 | Courtyard by Marriott Hotel | Marriott, Don Celli (916) 369-4050 | 350 Hegenberger Road APN: 044-5074-009-03 | 7 | ■154-room hotel | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2001. |
| 94 | Rotunda Building Reuse | Phil Tagami (510) 268-8500 | 1500 Broadway APN: 008-0619-004-01 | 3 | ■Rehabilitation of historic building for office & commercial uses ■187,000 sq.ft office ■50,000 sq.ft retail | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2001. |
| 95 | Expo Design Center | Mike Abate (714) 940-5810 | 1555 40th St APN: 007-0617-016-03, 007- 0617-016-05 | 3 | ■KMART vacating present store ■Home Expo Center has assumed lease. | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2001. |
| 96 | Zhone Technologies | Joe Ernst (510) 864-5985 | 66th Avenue and Oakport Street 7195 Oakport APN: 041-3902-022-60 | 7 | ■300,000 sq.ft high-tech research and development campus | Don Smith, Bldg. Permits, 238-4778 | Project completed in year 2000. |

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