

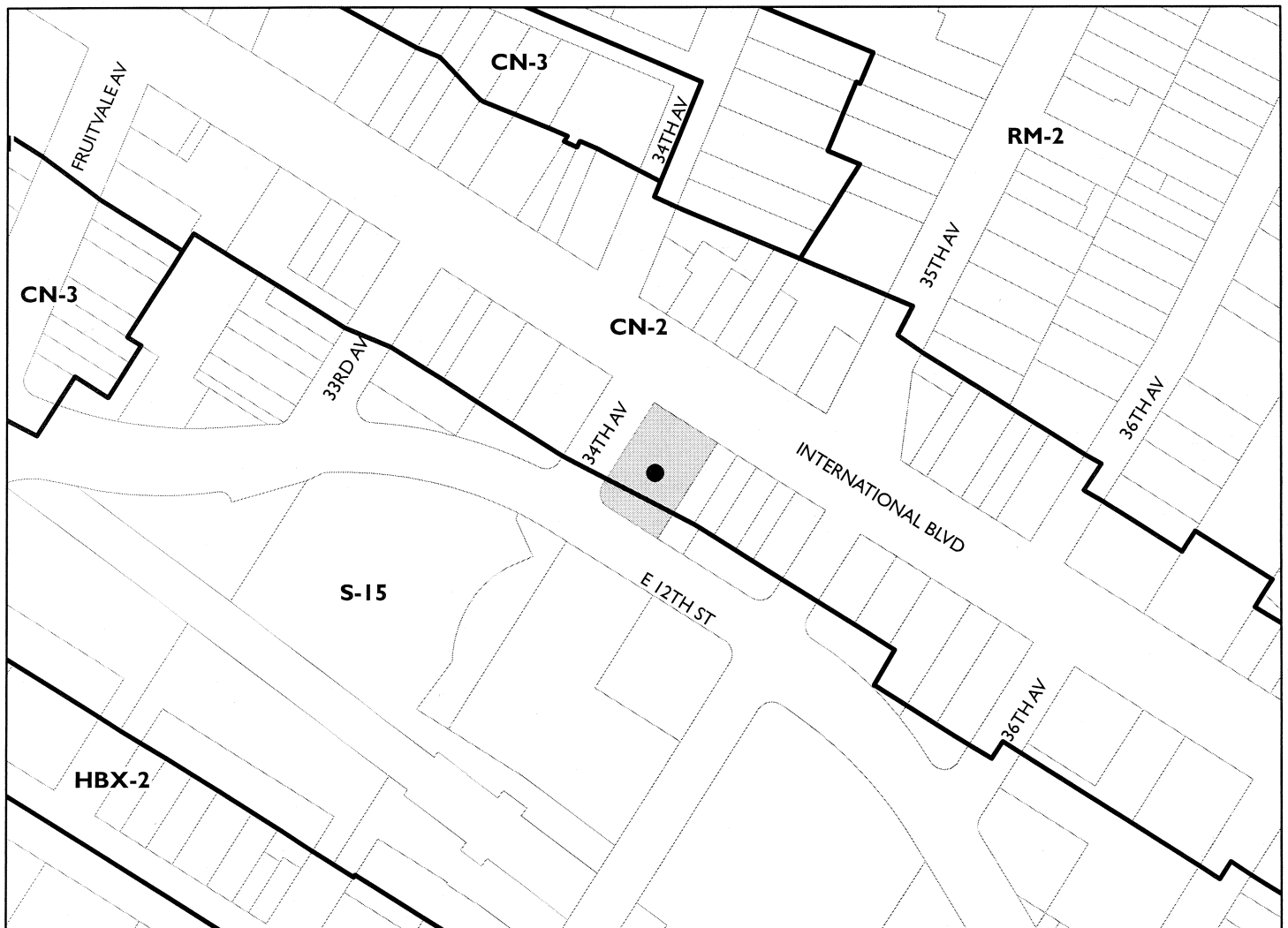
Case File Number: CMD13-314**December 4, 2013**

Location:	3401 International Boulevard. (See map on reverse)
Assessors Parcel Numbers:	(033-2196-021-05)
Proposal:	Installation of a wireless telecommunications facility. The project would include; replacement of existing three (3) antennas with six (6) new screened antennas and three (3) tower mounted amplifiers located on the roof of four-story mixed use building.
Applicant:	Wireless Network support for Metro PCS.
Contact Person/ Phone Number:	Mark Bullard (916)801-6112
Owner:	Fruitvale enterprise, LLC.
Case File Number:	CMD13-314
Planning Permits Required:	Major Conditional Use Permit and Regular Design Review to add antennas to an existing Mini Telecommunications Facility located within 100' of residential zone.
General Plan:	Neighborhood Center Mixed Use
Zoning:	CN-2 Neighborhood Center-2 Zone
Environmental Determination:	Exempt, Section 15301 of the State CEQA Guidelines; Minor additions and alterations to an existing telecommunication structures Exempt, Section 15183 of the State CEQA Guidelines; projects consistent with a Community Plan, General Plan or Zoning.
Historic Status:	Not a Potential Designated Historic Property; Survey Rating: N/A
Service Delivery District:	4
City Council District:	5
Date Filed:	11/05/2013
Finality of Decision:	Appealable to City Council
For Further Information:	Contact case planner Jason Madani at (510) 238-4790 or jsmadani@oaklandnet.com

SUMMARY

The following staff report addresses the proposal to replace three (3) existing antennas with six (6) new antennas and three (3) tower mounted amplifiers, located inside a slightly larger screen wall enclosure located on the roof of four-story mixed-use building . No additional equipment cabinets are proposed. Given the number of proposed antennas, this would be considered a "Mini" telecommunications facility. The site is located within 100' of residential zone. Therefore, a Major Conditional Use Permit and Design Review are required. As detailed below, the project meets all of the required findings for approval. Therefore, staff recommends approval of the project subject to the attached conditions of approval.

CITY OF OAKLAND PLANNING COMMISSION



0 125 250 500 750 1,000 Feet



Case File: CMD13-314
Applicant: Wireless Network Support for Metro PCS
Address: 3401 International Boulevard
Zone: CN-2

PROJECT DESCRIPTION

The applicant (Wireless Network Support for Metro PCS. Wireless) is proposing to replace three (3) existing antennas with six (6) new antennas and three (3) tower mounted amplifiers, located inside slightly larger screen wall enclosure located on the roof of four-story mixed use building. No additional equipment cabinets are proposed. (**See Attachment A**)

PROPERTY DESCRIPTION

The subject property is an approximately 13,772 square foot parcel with 23,017 square feet building area. The existing four-story building contains commercial ground floor and residential apartments above. There are eleven (11) parking spaces on the site. The property is located in commercial/residential neighborhood and bounded by Fruitvale Village complex.

BACKGROUND

Limitations on Local Government Zoning Authority under the Telecommunications Act of 1996

Section 704 of the Telecommunications Act of 1996 (TCA) provides federal standards for the siting of "Personal Wireless Services Facilities." "Personal Wireless Services" include all commercial mobile services (including personal communications services (PCS), cellular radio mobile services, and paging); unlicensed wireless services; and common carrier wireless exchange access services. Under Section 704, local zoning authority over personal wireless services is preserved such that the FCC is prevented from preempting local land use decisions; however, local government zoning decisions are still restricted by several provisions of federal law. Under Section 253 of the TCA, no state or local regulation or other legal requirement can prohibit or have the effect of prohibiting the ability of any entity to provide any interstate or intrastate telecommunications service.

Further, Section 704 of the TCA imposes limitations on what local and state governments can do. Section 704 prohibits any state and local government action which unreasonably discriminates among personal wireless providers. Local governments must ensure that its wireless ordinance does not contain requirements in the form of regulatory terms or fees which may have the "effect" of prohibiting the placement, construction, or modification of personal wireless services. Section 704 also preempts any local zoning regulation purporting to regulate the placement, construction and modification of personal wireless service facilities on the basis, either directly or indirectly, on the environmental effects of radio frequency emissions (RF) of such facilities, which otherwise comply with FCC standards in this regard. See, 47 U.S.C. 332(c) (7) (B) (iv) (1996). This means that local authorities may not regulate the siting or construction of personal wireless facilities based on RF standards that are more stringent than those promulgated by the FCC. Section 704 mandates that local governments act upon personal wireless service facility siting applications to place, construct, or modify a facility within a reasonable time. 47 U.S.C.332(c) (7) (B) (ii). See FCC Shot Clock ruling setting forth "reasonable time" standards for applications deemed complete. Section 704 also mandates that the FCC provide technical support to local governments in order to encourage them to make property, rights-of-way, and easements under their jurisdiction available for the placement of new spectrum-based telecommunications services. This proceeding is currently at the comment

stage. For more information on the FCC's jurisdiction in this area, contact Steve Markendorff, Chief of the Broadband Branch, Commercial Wireless Division, Wireless Telecommunications Bureau, at (202) 418-0640 or e-mail "smarkend@fcc.gov".

GENERAL PLAN ANALYSIS

The subject property is located within the Neighborhood Center Mixed Use General Plan Designation. The Neighborhood Center Mixed Use land use classification is intended to create, maintain and enhance mixed use neighborhood commercial centers. These centers are typically characterized by smaller scale, pedestrian-oriented, continuous street frontage with a mix of retail, housing, office, active open space, eating and drinking places, personal and business services, and smaller scale educational, cultural, or entertainment uses. The proposed unmanned wireless telecommunication facility will not adversely affect or detract from the neighborhood center mixed use characteristics of the neighborhood. The proposed antennas will be inside slightly larger screen wall enclosure located on the roof of four-story mixed use building. Visual impacts will be mitigated since the antennas will be screened and painted to match the color of the building. The proposed project will have minimal effect on the existing structure.

ZONING ANALYSIS

The subject property is located in CN-2 Neighborhood Center-2 Zone. The intent of the CN-2 is to enhance the character of established neighborhood commercial centers that have a compact, vibrant pedestrian environment. The project requires a Major Conditional Use Permit, since it is located within 100' of a residential zone. Staff finds that the proposed application meets applicable CN-2 Zoning and City of Oakland Telecommunication Regulations as discussed under the "Key Issues" and Section of "Findings" of this report.

ENVIRONMENTAL DETERMINATION

The California Environmental Quality Act (CEQA) Guidelines lists the projects that qualify as categorical exemptions from environmental review. The proposed project is categorically exempt from the environmental review requirements pursuant to Section 15301, for additions and alterations to existing facilities. In addition, the project is also exempt per Section 15183, for projects consistent with a community plan, general plan or zoning.

KEY ISSUES AND IMPACTS

1. Conditional Use Permit

Section 17.15.02 of the City of Oakland Planning Code requires a Conditional Use Permit to install or to expand a Mini Telecommunication facility in the CN-2 Neighborhood Center-2 Zone. Furthermore, pursuant to Section 17.134.020 (A) (3) (i) of the Oakland Planning Code, a Major Conditional Use Permit is required for: Any telecommunication facility in or within one hundred (100) feet of the boundary of any residential zone. The required findings for a major conditional use permit are listed and included in staff's evaluation as part of this report.

2. Project Site

Section 17.128.110 of the City of Oakland Telecommunication Regulations indicate that new wireless facilities shall generally be located on designated properties or facilities in the following order of preference:

- A. Co-located on an existing structure or facility with existing wireless antennas.
- B. City owned properties or other public or quasi-public facilities.
- C. Existing commercial or industrial structures in non-residential zones.
- D. Existing commercial or industrial structures in residential zones.
- E. Other non-residential uses in residential zones.
- F. Residential uses in non-residential zones.
- G. Residential uses in residential zones.

*Facilities locating on an A, B or C ranked preference do not require a site alternatives analysis.

Since the proposed project involves co-location at an existing facility, the proposed project meets (A).

3. Project Design

Section 17.128.120 of the City of Oakland Telecommunications Regulations indicates that new wireless facilities shall generally be designed in the following order of preference:

- A. Building or structure mounted antennas completely concealed from view.
- B. Building or structure mounted antennas set back from roof edge, not visible from public right-of way.
- C. Building or structure mounted antennas below roof line (facade mount, pole mount) visible from public right-of-way, painted to match existing structure.
- D. Building or structure mounted antennas above roof line visible from public right of-way.
- E. Monopoles.
- F. Towers.

* Facilities designed to meet an A or B ranked preference does not require a site design alternatives analysis. Facilities designed to meet a C through F ranked preference, inclusive, must submit a site design alternatives analysis as part of the required application materials. (A) site design alternatives analysis shall, at a minimum, consist of:

Written evidence indicating why each higher preference design alternative can not be used. Such evidence shall be in sufficient detail that independent verification could be obtained if required by the City of Oakland Zoning Manager. Evidence should indicate if the reason an alternative was rejected was technical (e.g. incorrect height, interference from existing RF sources, inability to cover required area) or for other concerns (e.g. inability to provide utilities, construction or structural impediments).

City of Oakland Planning staff have reviewed the applicant is written evidence (see attachment A) and determined that the site selected conforms to the telecommunication regulation requirements. The project has met design criteria (B) and (C) since the antennas will be roof

mounted and screened/ painted to match the color of the building. The roof-mounted antennas will be partially set back from the roof edge and not visible from surrounding streets.

4. Project Radio Frequency Emissions Standards

Section 17.128.130 of the City of Oakland Telecommunication Regulations require that the applicant submit the following verifications including requests for modifications to existing facilities:

- a.* The telecommunications regulations require that the applicant submit written documentation demonstrating that the emission from the proposed project are within the limits set by the Federal Communications Commission. In the document (attachment B) prepared by Klaus Bender, P.E. Licensed professional Engineer, Consulting engineers, the proposed project was evaluated for compliance with appropriate guidelines limiting human exposure to radio frequency electromagnetic fields. According to the report on the proposal, the project will comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, the proposed site will operate within the current acceptable thresholds as established by the Federal government or any such agency that may be subsequently authorized to establish such standards.
- b.* Prior to final building permit sign off, an RF emissions report indicating that the site is actually operating within the acceptable thresholds as established by the Federal government or any such agency who may be subsequently authorized to establish such standards.

The information submitted with the initial application was an RF emissions report, **prepared by Klaus Bender, P.E. Licensed Professional Engineer (attachment B)**. The report states that the proposed project will comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, will not cause a significant impact on the environment. Additionally, staff recommends that prior to the final building permit sign off; the applicant submits certified RF emissions report stating that the facility is operating within acceptable thresholds established by the regulatory federal agency.

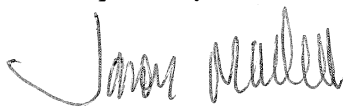
CONCLUSION

Staff believes that, replacement of three (3) existing antennas with six (6) new antennas and three (3) tower mounted amplifiers, located inside slightly larger screen wall enclosure located on the roof of four-story building with a 1:1 ratio setback from the edge of the building roof line will have a minimum visual impact to the surrounding neighborhood. Staff believes that, the findings for approval can be made to support the Conditional Use Permit, Design Review Findings.

RECOMMENDATIONS:

1. Affirm staff's environmental determination
2. Approve Conditional Use Permit, Design Review application CMD13-314 subject to the attached findings and conditions of approval

Prepared by:



Jason Madani
Planner II

Approved by:



Scott Miller,
Zoning Manager

Approved for forwarding to the
City Planning Commission



Rachel Flynn Director
Department of Planning and Building

ATTACHMENTS:

- A. Project Plans & Alternative site selection & Photo simulations
- B. Klaus Bender, P.E. Licensed Professional Engineer RF Emissions Report

FINDINGS FOR APPROVAL

This proposal meets all the required findings under Sections 17.134.050, (General Use Permit criteria); 17.136.050. (B), (Non-Residential Design Review criteria); Section 17.128.060(B), of the Telecommunication Facilities (Mini) Design Review criteria; as set forth below. Required findings are shown in **bold** type; reasons your proposal satisfies them are shown in normal type.

SECTION 17.134.050 – GENERAL USE PERMIT FINDINGS:

- A. That the location, size, design, and operating characteristics of the proposed development will be compatible with, and will not adversely affect, the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities; to harmful effect, if any upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the development.**

The purpose of the project is to enhance wireless telecommunications in the area. The replacement of three (3) existing rooftop antennas with six (6) new rooftop antennas and three (3) tower mounted amplifiers, located inside slightly larger screen wall enclosure will not be visible from the public right of way within the residential district. The telecommunication facility will be unmanned and will not create additional vehicular traffic in the area.

- B. That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant.**

The location, design and site planning of the proposed development will provide enhanced telecom service to support a convenient and functional working and shopping environment. It will maintain the nature of the use of the mixed use building. The proposal will preserve a convenient and functional institutional facility and will not likely affect the general quality and character of the neighborhood.

- C. That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide an essential service to the community or region.**

The proposed development will enhance the successful operation of the surrounding area in its basic community function and will provide an essential service to the community or region. This will be achieved by improving the functional use of the site by providing a regional telecommunication facility for the community and will be available to police, fire, public safety organizations and the general public.

- D. That the proposal conforms to all applicable design review criteria set forth in the DESIGN REVIEW PROCEDURE of Chapter 17.136 of the Oakland Planning Code.**

The proposal conforms with all significant aspects of the design review criteria set forth in Chapter 17.136 of the Oakland Planning Code, as outlined below.

- E. That the proposal conforms in all significant respects with the Oakland General Plan**

and with any other applicable plan or development control map which has been adopted by the City Council.

The subject property is located within the Neighborhood Center Mixed Use General Plan Designation. The Neighborhood Center Mixed Use land use classification is intended to create, maintain and enhance mixed use neighborhood commercial center. These center are typically characterized by smaller scale pedestrian-oriented, continuous street frontage with a mix of retail, housing, office, active open space, eating and drinking places, personal and business services, and smaller scale educational, cultural, or entertainment uses. The proposed unmanned wireless telecommunication facility will not adversely affect and detract from the neighborhood center mixed use characteristics of the neighborhood. The proposed antennas will be inside slightly larger screen wall enclosure located on the roof of four-story mixed use building. Visual impacts will be mitigated since the antennas will be screened and painted to match the color of the building. The proposed project will have minimal effect on the existing structure.

17.136.050(B) – NONRESIDENTIAL DESIGN REVIEW CRITERIA:

- 1. That the proposal will help achieve or maintain a group of facilities which are well related to one another and which, when taken together, will result in a well-composed design, with consideration given to site, landscape, bulk, height, arrangement, texture, materials, colors, and appurtenances; the relation of these factors to other facilities in the vicinity; and the relation of the proposal to the total setting as seen from key points in the surrounding area. Only elements of design which have some significant relationship to outside appearance shall be considered, except as otherwise provided in Section 17.136.060;**

The replacement of three (3) existing rooftop antennas with six (6) new rooftop antennas and three (3) tower mounted amplifiers, located inside a slightly larger screen wall enclosure will not be visible from the public right of way within the residential district.

The proposed screening enclosures are compatible with the existing building material. Photo simulations submitted for the project show the view of the proposed antennas and screen as seen from the street with minimum visual impacts. Therefore, the proposal will not have significant impacts on the operating characteristic of the existing mixed use building and surrounding neighborhood.

- 2. That the proposed design will be of a quality and character which harmonizes with, and serves to protect the value of, private and public investments in the area;**

The antennas will be screened and painted to match the existing building and will not have significant visual impact in this neighborhood.

- 3. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.**

The subject property is located within the Neighborhood Center Mixed Use General Plan Designation. The Neighborhood Center Mixed Use land use classification is intended to create, maintain and enhance mixed use neighborhood commercial center. These center are typically characterized by smaller scale pedestrian-oriented, continuous street frontage with a mix of retail, housing, office, active open space, eating and drinking places, personal and

business services, and smaller scale educational, cultural, or entertainment uses. The proposed unmanned wireless telecommunication facility will not adversely affect and detract from the neighborhood center mixed use characteristics of the neighborhood. The proposed antennas will be inside slightly larger screen wall enclosure located on the roof of four-story mixed use building. Visual impacts will be mitigated since the antennas will be screened and painted to match the color of the building. The proposed project will have minimal effect on the existing structure.

SECTION 17.128.060B, TELECOMUNICATION MINI FACILITIES DESIGN

CRITERIA:

1. **Antennas should be painted and/or textured to match the existing structures.**
The proposed antennas will be screened and will be compatible and blend in with the mechanical related equipment structures on the building.
2. **Antennas mounted on architecturally significant structures or significant architectural details of the building should be covered by appropriate casings which are manufactured to match existing architectural features found on the building.**
The proposed antennas will be mounted on a non- Historic Building. As presented in the attached plans, the proposed FRP screened structures measure 5'-2" by 6'-1" wide. The proposed screening enclosure material is compatible and blends in with architectural style of the building.
3. **Where feasible, antennas can be placed directly above, below or incorporated with vertical design elements of a building to help in camouflaging.**
The proposed screened structures are designed as a HVAC penthouse.
4. **Equipment cabinets shall be completely concealed from view or placed underground.**
The existing equipment cabinet area will not be altered.
5. **That all reasonable means of reducing public access to the antennas and equipment has been made, including, but not limited to, placement in or on buildings or structures, fencing, anti-climbing measures and anti-tampering devices.**
The wireless communication antennas and existing equipment cabinets will be located in areas not easily accessible to the public.
6. **For antennas attached to the roof, maintain a 1:1 ratio (example: ten feet high antenna requires ten feet setback from facade) for equipment setback unless an alternative replacement would reduce visual impact; treat or screen the antennas to match existing air conditioning units, stairs, elevator towers, or other background; avoid placing roof mounted antennas in direct line with significant view corridors.**
The development proposal for the installation of the new wireless antennas located within screened structure meets the 1:1 setback from the façade of the building and is screened from public view.

CONDITIONS OF APPROVAL**CMD13-314****STANDARD CONDITIONS:****1. Approved Use*****Ongoing***

a) The project shall be constructed and operated in accordance with the authorized use as described in the application materials, **CMD13-314**, and the plans dated **October 18, 2013** and submitted on **November 5, 2013** and as amended by the following conditions. Any additional uses or facilities other than those approved with this permit, as described in the project description and the approved plans, will require a separate application and approval. Any deviation from the approved drawings, Conditions of Approval or use shall required prior written approval from the Director of City Planning or designee.

b) This action by the City Planning Commission ("this Approval") includes the approvals set forth below. This Approval includes: **Installation of a wireless telecommunications facility. The project would include; replacement of existing three (3) antennas with six (6) new screened antennas and three (3) tower mounted amplifiers located on the roof of four-story mixed use building.**

2. Effective Date, Expiration, Extensions and Extinguishment***Ongoing***

Unless a different termination date is prescribed, this Approval shall expire **two calendar years** from the approval date, unless within such period all necessary permits for construction or alteration have been issued, or the authorized activities have commenced in the case of a permit not involving construction or alteration. Upon written request and payment of appropriate fees submitted no later than the expiration date of this permit, the Director of City Planning or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit for this project may invalidate this Approval if the said extension period has also expired.

3. Scope of This Approval; Major and Minor Changes***Ongoing***

The project is approved pursuant to the **Oakland Planning Code** only. Minor changes to approved plans may be approved administratively by the Director of City Planning or designee. Major changes to the approved plans shall be reviewed by the Director of City Planning or designee to determine whether such changes require submittal and approval of a revision to the approved project by the approving body or a new, completely independent permit.

4. Conformance with other Requirements***Prior to issuance of a demolition, grading, P-job, or other construction related permit***

- a) The project applicant shall comply with all other applicable federal, state, regional and/or local codes, requirements, regulations, and guidelines, including but not limited to those imposed by the City's Building Services Division, the City's Fire Marshal, and the City's Public Works Agency.
- b) The applicant shall submit approved building plans for project-specific needs related to fire protection to the Fire Services Division for review and approval, including, but not

limited to automatic extinguishing systems, water supply improvements and hydrants, fire department access, and vegetation management for preventing fires and soil erosion.

5. Conformance to Approved Plans; Modification of Conditions or Revocation

Ongoing

- a) Site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within 60-90 days of approval, unless an earlier date is specified elsewhere.
- b) The City of Oakland reserves the right at any time during construction to require certification by a licensed professional that the as-built project conforms to all applicable zoning requirements, including but not limited to approved maximum heights and minimum setbacks. Failure to construct the project in accordance with approved plans may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension or other corrective action.
- c) Violation of any term, conditions or project description relating to the Approvals is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approvals or alter these conditions if it is found that there is violation of any of the conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it; limit in any manner whatsoever the ability of the City to take appropriate enforcement actions.

6. Signed Copy of the Conditions

With submittal of a demolition, grading, and building permit

A copy of the approval letter and conditions shall be signed by the property owner, notarized, and submitted with each set of permit plans to the appropriate City agency for this project.

7. Indemnification

Ongoing

- i. To the maximum extent permitted by law, the applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the City of Oakland Redevelopment Agency, the Oakland City Planning Commission and its respective agents, officers, and employees (hereafter collectively called City) from any liability, damages, claim, judgment, loss (direct or indirect) action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul, (1) an approval by the City relating to a development-related application or subdivision or (2) implementation of an approved development-related project. The City may elect, in its sole discretion, to participate in the defense of said Action and the applicant shall reimburse the City for its reasonable legal costs and attorneys' fees.
- ii. Within ten (10) calendar days of the filing of any Action as specified in subsection A above, the applicant shall execute a Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Letter of Agreement shall survive termination, extinguishment or invalidation of the

approval. Failure to timely execute the Letter of Agreement does not relieve the applicant of any of the obligations contained in this condition or other requirements or Conditions of Approval that may be imposed by the City.

8. Compliance with Conditions of Approval

Ongoing

The project applicant shall be responsible for compliance with the recommendations in any submitted and approved technical report and all the Conditions of Approval set forth below at its sole cost and expense, and subject to review and approval of the City of Oakland.

9. Severability

Ongoing

Approval of the project would not have been granted but for the applicability and validity of each and every one of the specified conditions, and if any one or more of such conditions is found to be invalid by a court of competent jurisdiction this Approval would not have been granted without requiring other valid conditions consistent with achieving the same purpose and intent of such Approval.

10. Job Site Plans

Ongoing throughout demolition, grading, and/or construction

At least one (1) copy of the stamped approved plans, along with the Approval Letter and Conditions of Approval, shall be available for review at the job site at all times.

11. Special Inspector/Inspections, Independent Technical Review, Project Coordination and Management

Prior to issuance of a demolition, grading, and/or construction permit

The project applicant may be required to pay for on-call special inspector(s)/inspections as needed during the times of extensive or specialized plan check review, or construction. The project applicant may also be required to cover the full costs of independent technical and other types of peer review, monitoring and inspection, including without limitation, third party plan check fees, including inspections of violations of Conditions of Approval. The project applicant shall establish a deposit with the Building Services Division, as directed by the Building Official, Director of City Planning or designee.

12. Days/Hours of Construction Operation

Ongoing throughout demolition, grading, and/or construction

The project applicant shall require construction contractors to limit standard construction activities as follows:

- a) Construction activities are limited to between 7:00 AM and 7:00 PM Monday through Friday, except that pile driving and/or other extreme noise generating activities greater than 90 dBA shall be limited to between 8:00 a.m. and 4:00 p.m. Monday through Friday.
- b) Any construction activity proposed to occur outside of the standard hours of 7:00 am to 7:00 pm Monday through Friday for special activities (such as concrete pouring which may require more continuous amounts of time) shall be evaluated on a case by case basis, with criteria including the proximity of residential uses and a consideration of resident's preferences for whether the activity is acceptable if the overall duration of construction is shortened and such construction activities shall

only be allowed with the prior written authorization of the Building Services Division.

- c) Construction activity shall not occur on Saturdays, with the following possible exceptions:
 - i. Prior to the building being enclosed, requests for Saturday construction for special activities (such as concrete pouring which may require more continuous amounts of time), shall be evaluated on a case by case basis, with criteria including the proximity of residential uses and a consideration of resident's preferences for whether the activity is acceptable if the overall duration of construction is shortened. Such construction activities shall only be allowed on Saturdays with the prior written authorization of the Building Services Division.
 - ii. After the building is enclosed, requests for Saturday construction activities shall only be allowed on Saturdays with the prior written authorization of the Building Services Division, and only then within the interior of the building with the doors and windows closed.
- d) No extreme noise generating activities (greater than 90 dBA) shall be allowed on Saturdays, with no exceptions.
- e) No construction activity shall take place on Sundays or Federal holidays.
- f) Construction activities include but are not limited to: truck idling, moving equipment (including trucks, elevators, etc) or materials, deliveries, and construction meetings held on-site in a non-enclosed area.

PROJECT SPECIFIC CONDITONS:

12. Radio Frequency Emissions

Prior to the final building permit sign off.

The applicant shall submit a certified RF emissions report stating the facility is operating within the acceptable standards established by the regulatory Federal Communications Commission.

13. Operational

Ongoing.

Noise levels from the activity, property, or any mechanical equipment on site shall comply with the performance standards of Section 17.120 of the Oakland Planning Code and Section 8.18 of the Oakland Municipal Code. If noise levels exceed these standards, the activity causing the noise shall be abated until appropriate noise reduction measures have been installed and compliance verified by the Planning and Zoning Division and Building Services.

14. Compliance with Title 24

Prior to issuance of certificate of occupancy.

The applicant shall implement acoustical techniques in compliance with Title 24 to ensure that noise levels in interior spaces remain at or below 45 CNEL with all doors and windows closed.



SITE NAME:
FOODVALE

RECEIVED
NOV 5 2013
City of Oakland
Planning & Zoning Division

MSA
Architecture & Planning, Inc.
208 Utah Street, Suite 201B
San Francisco, Ca 94103
415.503.1363 fax 415.503.1362
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www.msa-ap.com

ABV	ABOVE	M.B.	MACHINE BOLT
ADJ	ADJUSTABLE	MECH	MECHANICAL
ALT	ALTERNATE	MED	MEDIUM
APPROX	APPROXIMATE	MFR	MANUFACTURER
APP	APPROXIMATE	MIN	MINIMUM
AUTO	AUTOMATIC	MIR	MIRROR
AWG	AMERICAN WIRE GAUGE	MISC	MISCELLANEOUS
		MM	MILLIMETER(S)
BBU	BASE BAND UNIT	MTL	MATERIAL
BEL	BELOW	NOM	NOMINAL
BLK	BLOCK	NTS	NOT TO SCALE
BOT	BOTTOM	OD	OUTSIDE DIAMETER
BTCW	BARE TINNED COPPER WIRE		
		PAR	PARALLEL
CHAM	CHAMFER	PBC	POWER BACKUP CABINET
CIR	CIRCLE		
CIRC	CIRCUMFERENCE	PERI	PARALLEL
CLR	CLEAR	PPC	POWER PROTECTION CABINET
CMU	CONCRETE MASONRY UNIT		
		PT	PRESSURE TREATED
COL	COLUMN		
COMB	COMBINATION	PVC	POLY VINYL CHLORIDE
CONT	CONTINUOUS		
CTR	COUNTER	RAD	RADIUS
DBS	DISTRIBUTED BASE STATION	REF	REFERENCE
		RET	RETURN
DEP	DEPRESSED	REV	REVISION
DET	DETAIL	RFU	RADIO FREQUENCY UNIT
DIAG	DIAGONAL		
DIA	DIAMETER	SCH	SCHEDULE
DIM	DIMENSION	SECT	SECTION
DIV	DIVISION	SF	SQUARE FOOT
DN	DOWN	SHT	SHEET
DWG	DRAWING	SIM	SIMILAR
EA	EACH	SPEC	SPECIFICATION(S)
EQ	EQUAL	SPL	SPECIAL
EQPT	EQUIPMENT	SQ	SQUARE
EXG	EXISTING	STD	STANDARD
FUT	FUTURE	SYM	SYMMETRICAL
GALV	GALVANIZED	SYS	SYSTEM
GND	GROUND	TEMP	TEMPORARY
HD	HEAVY DUTY	THK	THICK(NESS)
HWDR	HARDWARE	TOL	TOLERANCE
HORZ	HORIZONTAL	TYP	TYPICAL
HR	HOUR	UBC	UNIFORM BUILDING CODE
HT	HEIGHT		
ID	INSIDE DIAMETER		
L	LENGTH	VERT	VERTICAL
LBL	LABEL	W/ W/O	WITH WITHOUT
MAX	MAXIMUM		

ABBREVIATIONS

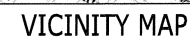
CODE COMPLIANCE

PROJECT TEAM

- REMOVE EXISTING FRP PANELS AND REPLACE W/ PROPOSED FRP PANELS W/ LOUVERS FOR VENTILATION;
- REMOVE (3) EXISTING PANEL ANTENNAS;
- PROPOSED INSTALLATION OF (6) ERICSSON AIR21 ANTENNAS INSIDE EXISTING FRP ENCLOSURE, (2) PER SECTOR, (3) SECTORS.
- PROPOSED INSTALLATION OF (3) TMA ANTENNS INSIDE EXISTING FRP ENCLOSURE, (1) PER SECTOR, (3) SECTORS.
- PROPOSED COAX CABLE RUNS FROM EXISTING BTS CABINET TO PROPOSED ANTENNAS UTILIZING EXISTING COAX CABLE ROUTE.

PROJECT DESCRIPTION

PROJECT SUMMARY



TURN LEFT AT CHALLENGER DRIVE--GO 0.1 MI.
TURN LEFT AT ATLANTIC BLVD.--GO 0.4 MI.
CONTINUE ON SHERMAN STREET--GO 0.4 MI.
TURN LEFT ON LINCOLN AVE.--GO 1.4 MI.
SLIGHT LEFT AT TILDEN WAY--GO 0.6 MI.
CONTINUE ON FRUITVALE AVE.--GO 0.6 MI.
TURN RIGHT ON EAST 12TH AVENUE--GO 0.1 MI.
TURN LEFT AT 34TH AVE.--GO 220 FT.
END AT 3401 INTERNATIONAL BLVD. OAKLAND, CA 94601

DRIVING DIRECTIONS

[illegible]

NAD: 83
LAT: 37.776951 N
LONG: -122.215927 W

NOTE: NORTH SHOWN HAS BEEN ESTABLISHED USING COMPASS AND IS APPROXIMATE. ALL ANTENNA AZIMUTHS ARE TRUE NORTH. MAGNETIC DEVIATION HAS NOT BEEN ACCOUNTED FOR. VERIFY TRUE NORTH PRIOR TO INSTALLATION OF ANTENNAS.

TITLE	SIGNATURE	DATE
NETWORK OPERATIONS MGR.		
RF ENGINEER		
REAL ESTATE		
METRO PCS GSA AREA MNGR.		
PROPERTY OWNER		
ZONING APPROVAL		
CONSTRUCTION DIRECTOR		
NATIONAL DIRECTOR MGR.		

APPROVAL LIST

SUBMITTALS

1	10/18/13	100% ZONING
0	07/10/13	90% ZONING

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SITE
SF1961
FOODVALE
3401 INTERNATIONAL BLVD.
OAKLAND, CA 94601

SHEET TITLE

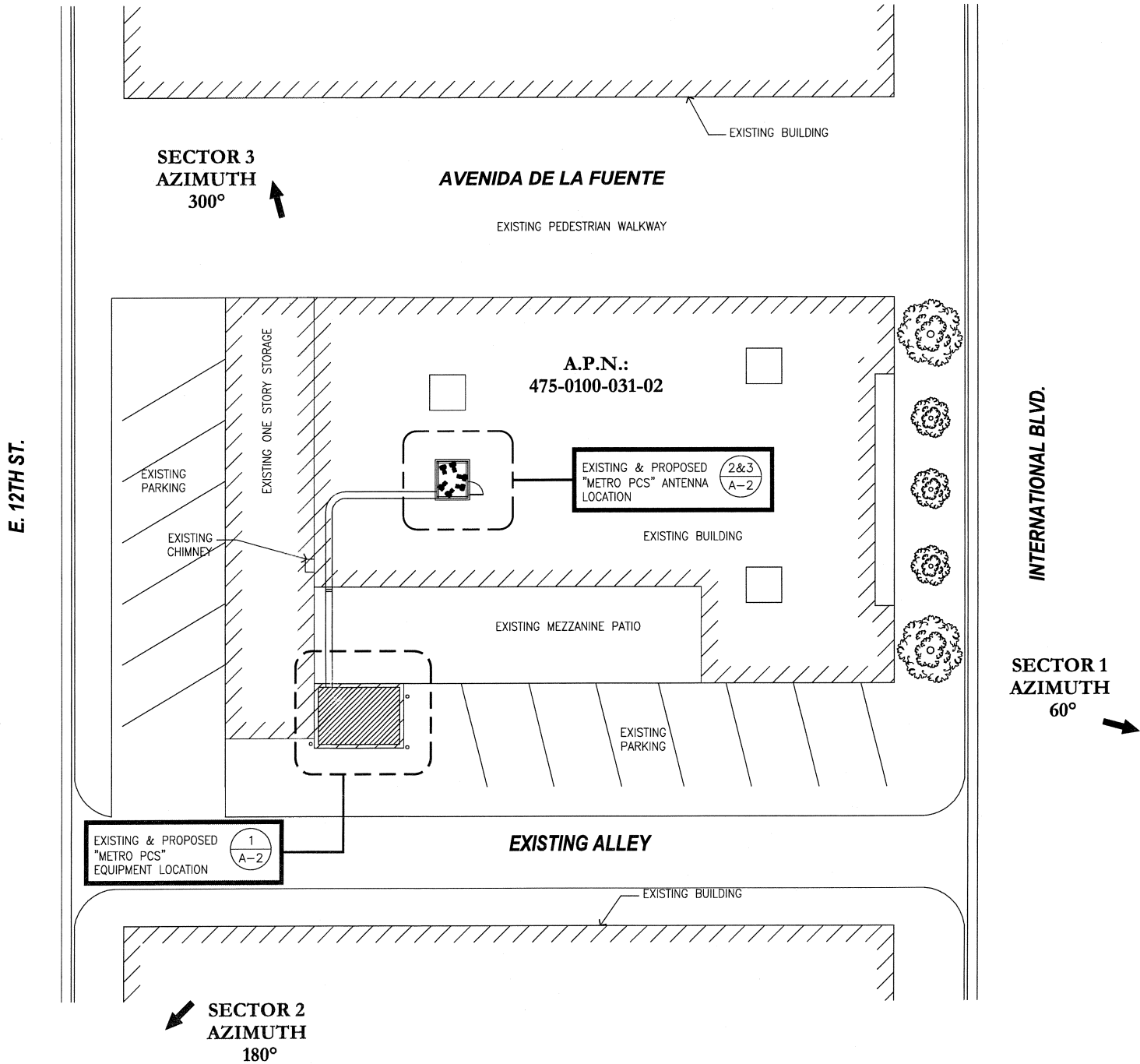
TITLE SHEET

SHEET NUMBER

T1

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9. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS PER SECTION 709.6.
10. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA DURING CONSTRUCTION.
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13. KEEP GENERAL AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST OR SMUDGES OF ANY NATURE.



SITE PLAN

SCALE
1"=10'
0' 5' 10' 20'

1

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208 Utah Street, Suite 201B
San Francisco, Ca 94103
415.593.1363 fax 415.593.1362
Santa Ana San Diego San Francisco
www.msa-ap.com

A&E SEAL

PROJECT NO: SF1961

DRAWN BY: RU

CHECKED BY: MJS

CAD FILE: SF1961

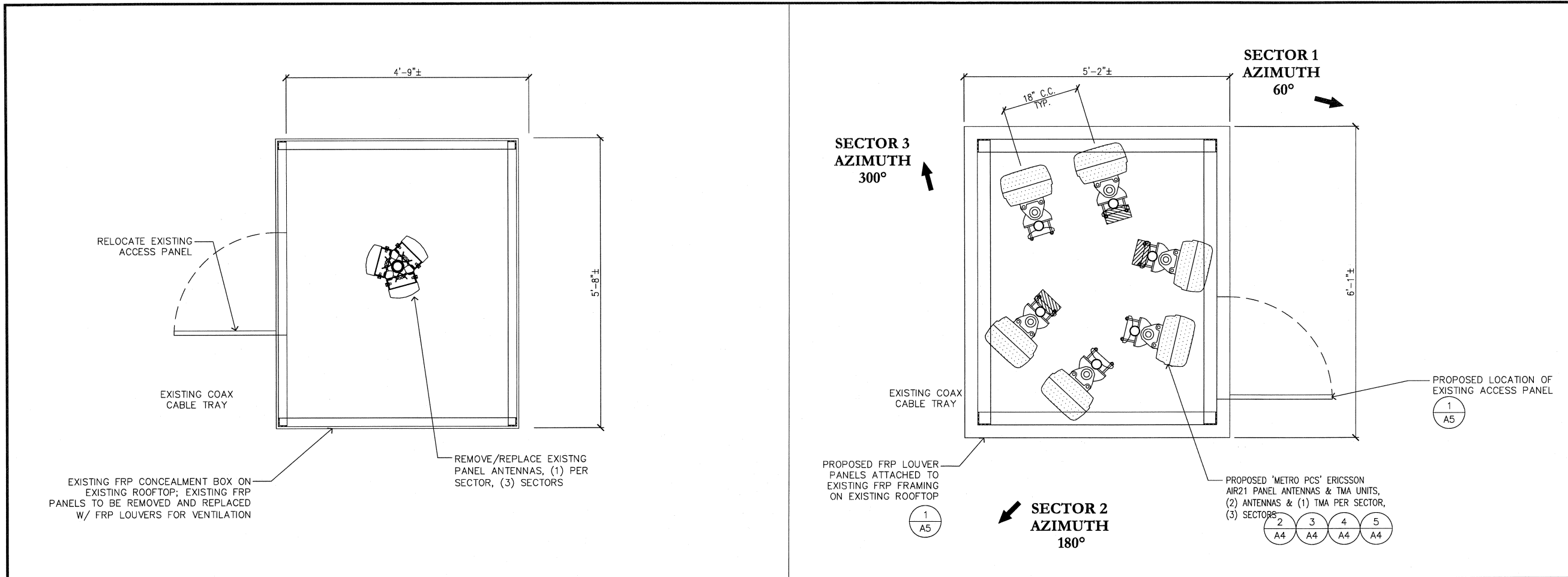
SUBMITTALS			
1	10/18/13	100% ZONING	
0	07/10/13	90% ZONING	

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SITE
SF1961
FOODVALE
3401 INTERNATIONAL BLVD.
OAKLAND, CA 94601

SHEET TITLE
SITE PLAN

SHEET NUMBER
A1



EXISTING ANTENNA LAYOUT

SCALE

1"=1'

0' 3" 6" 1' 2'

3

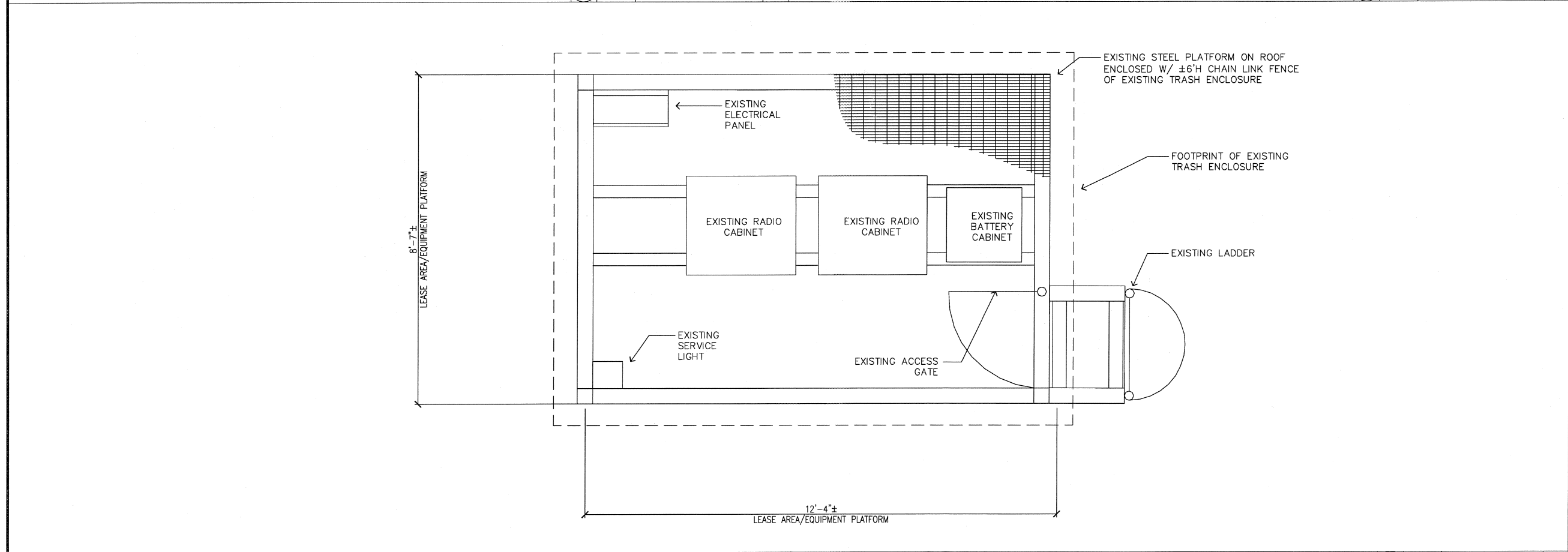
PROPOSED ANTENNA LAYOUT

SCALE

1"=1'

0' 3" 6" 1' 2'

2



EQUIPMENT PLAN (EXISTING)

SCALE

3/4"=1'

0' 3" 6" 1' 2'

1

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Santa Ana San Diego San Francisco

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A&E SEAL

PROJECT NO: SF1961

DRAWN BY: RU

CHECKED BY: MJS

CAD FILE: SF1961

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SITE

SF1961

FOODVALE

3401 INTERNATIONAL BLVD.

OAKLAND, CA 94601

SHEET TITLE

EQUIPMENT PLAN

MW DISH LAYOUT

SHEET NUMBER

A2

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SITE
SF1961
FOODVALE

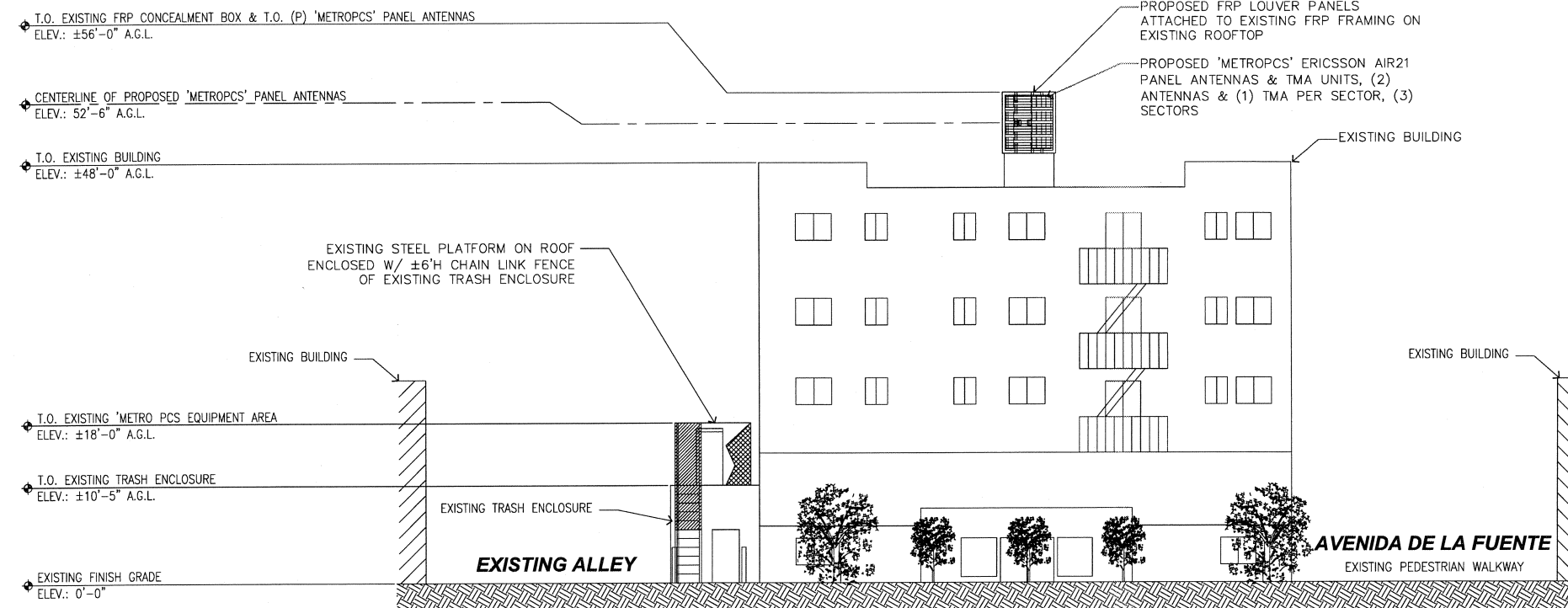
3401 INTERNATIONAL BLVD.
OAKLAND, CA 94601

SHEET TITLE

ELEVATIONS

SHEET NUMBER

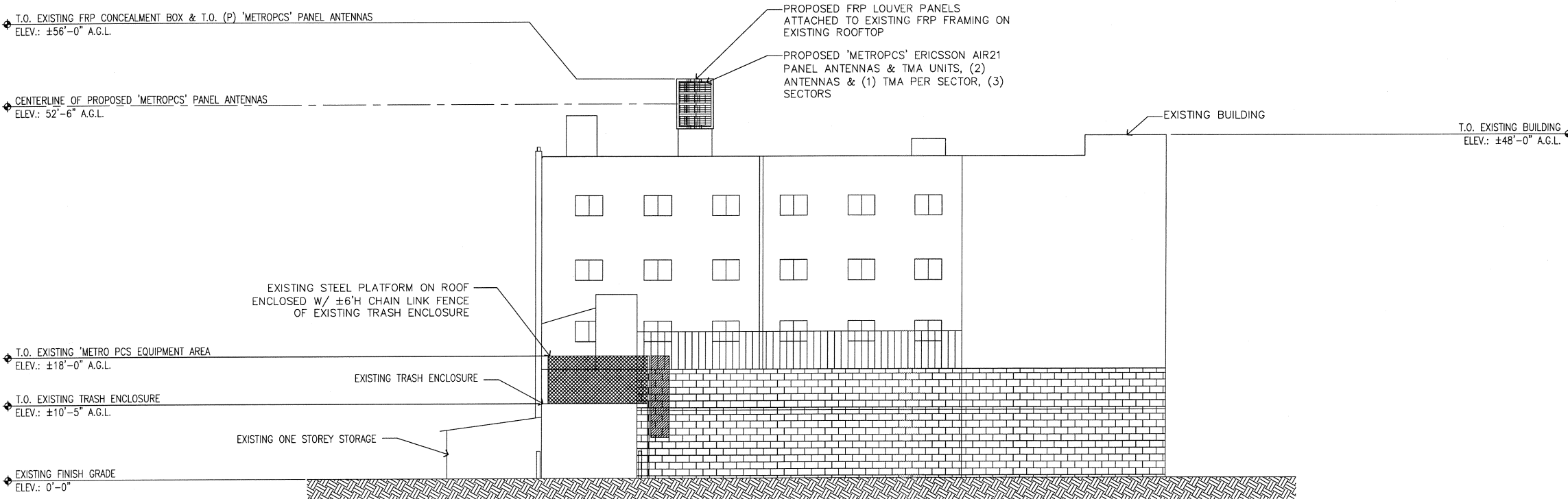
A3



NORTH ELEVATION

SCALE
1/8"=1'
0' 2' 6' 14'

2



EAST ELEVATION

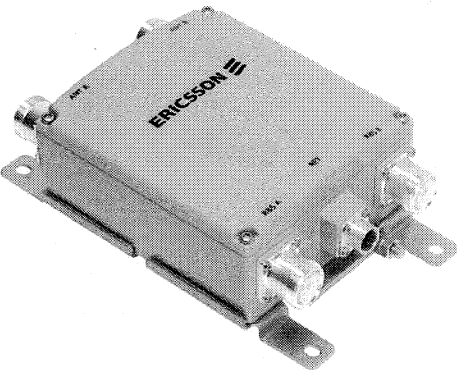
SCALE
1/8"=1'
0' 2' 6' 14'

1

Double TMA 17/21, Premium

3GPP/AISG compatible w. RET interface

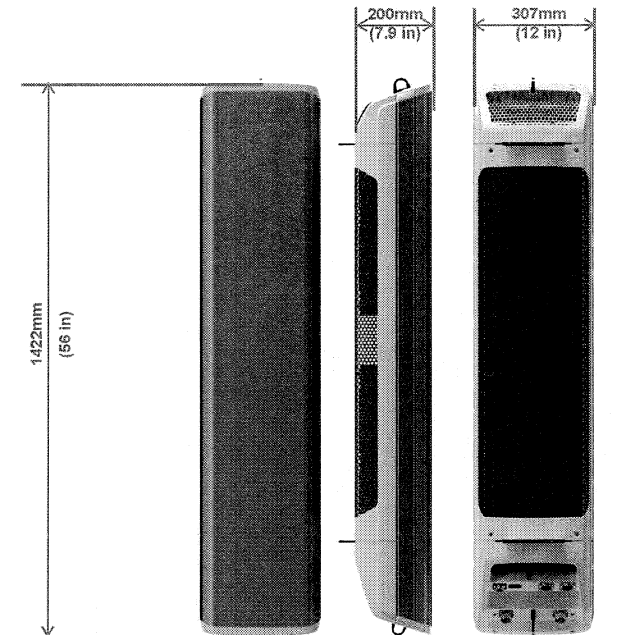
ERICSSON



Mechanical specifications

Dimensions (W x H x D):
Weight:
RF connectors:
Ground connectors:
DC/Alarm:
Mounting:

6 x 7 x 3 in (155 x 176 x 71 mm)
11 lb (5 kg)
7-16 DIN female
M8
Superimposed on the RF signal
Pole or wall mounting



- Physical Characteristics and Environment:
- H x W x D = 1422 x 307 x 200 mm (56" x 12" x 7.9")
 - 41.5 kg (91 lbs). Two mounting brackets - add 1 2.1 kg (5 lbs).
 - <750 N Wind load (worst direction, static @ 150 km/h)
 - Operating temperature range: -40°C to +55°C (-40°F to +131°F)
 - Heat dissipation 300 W

MODEL ERICSSON AIR21

NOT USED

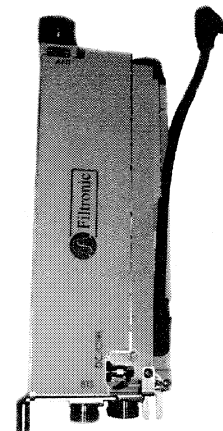
6 PROPOSED ERICSSON TWIN AWS TMA SPECS

4 PROPOSED REPLACEMENT PANEL ANTENNA SPECS

2

Features

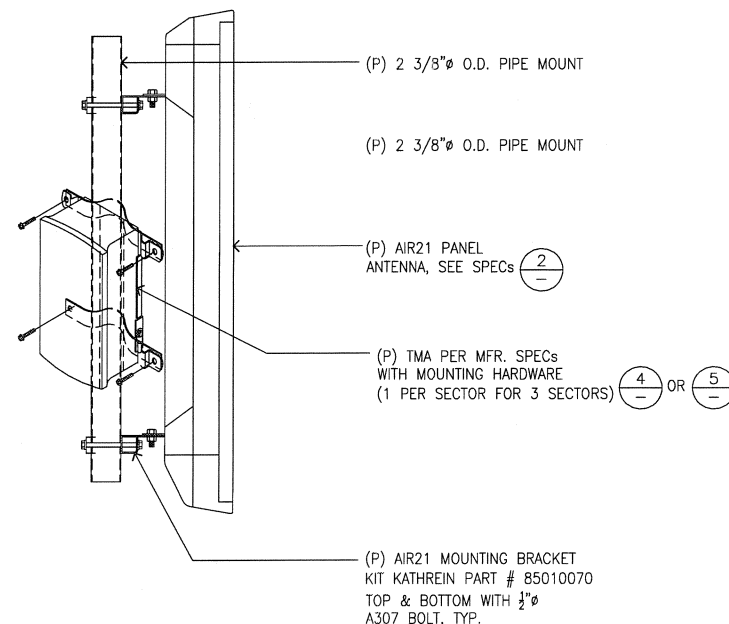
- Dual Band Tower Top Amplifier (TTA) System
- Ultra Low Noise Figure / 1.4 dB Typical
- 3-12 dB User Adjustable Gain in 1 dB Steps
- Specified Rx Band Rejection 1785-1830 MHz
- High Rx Band IIP3 / +17 dBm Typical
- Direct Antenna Connection for Lowest Possible Noise Figure
- Kit Includes Mounting Bracket, DC/CTRL & RET Cables for Triple Tree™ Installation
- Communicate/Control via AISG



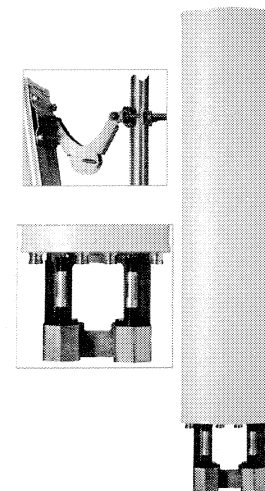
Mechanical Characteristics

Connectors:	
BTS	7-16 DIN Female
ANT	7-16 DIN Male
RET	Circular Female per IEC-60130-9
DC/CTRL	SMA-F
Chassis Grounding	Via BKT-000032 to Triple Tree structure
Weight	8.8 lbs (4.0 kg)
Dimensions	352.04 x 144.43 x 90.44 mm 13.86" x 5.69" x 3.56"
(including connectors & mounting bracket)	
Mounting	Direct Mate to Antenna Connector (BKT-000032 Mount to Triple Tree)
Finish	Epoxy Paint
Color	Light Gray
MTBF	500,000 Hours
Block Diagrams:	See Below

FILTRONIC SXC050-V1 AWS+PCS TTA SECTOR KIT
for TRIPLE TREE ANTENNA



TMBXX-6516-R2M
±45° Diversity, Quad Antenna



*Specifications may vary when using 0° or 1° electrical tilt.

MECHANICAL

Net Weight (kg / lbs):	15.7 / 34.6
Dimensions—LxWxD: (with actuator)	1499 x 302 x 160 mm 59 x 11.9 x 6.3 inch
Max. Wind Area (m² / ft²):	0.27 / 2.9
Max. Wind Load (N / lbf):	729.4 / 164
Max. Wind Speed (km/h / mph):	241 / 150
Hardware Material:	Hot Dip Galvanized
Connector Type:	7-16 DIN, Female (4)
Color:	Off White
Standard Mounting Hardware:	TM600899A-2

PROPOSED ALTERNATE AMPLIFIER

5 PROPOSED ANTENNA MOUNTING DETAIL

3 EXISTING PANEL ANTENNA SPECS

1

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A&E SEAL

PROJECT NO: SF1961

DRAWN BY: RU

CHECKED BY: MJS

CAD FILE: SF1961

SUBMITTALS

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SITE
SF1961
FOODVALE
3401 INTERNATIONAL BLVD.
OAKLAND, CA 94601

SHEET TITLE

DETAILS

SHEET NUMBER

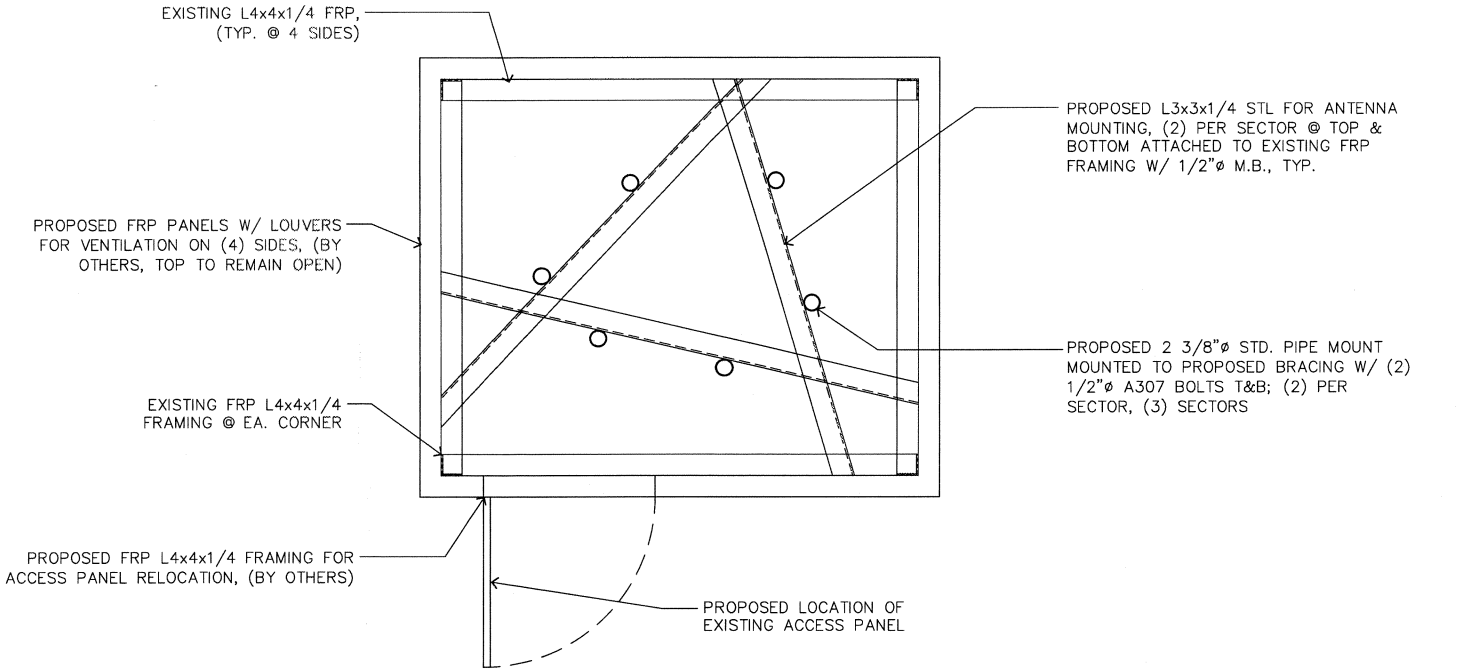
A4

GENERAL CONSTRUCTION NOTES

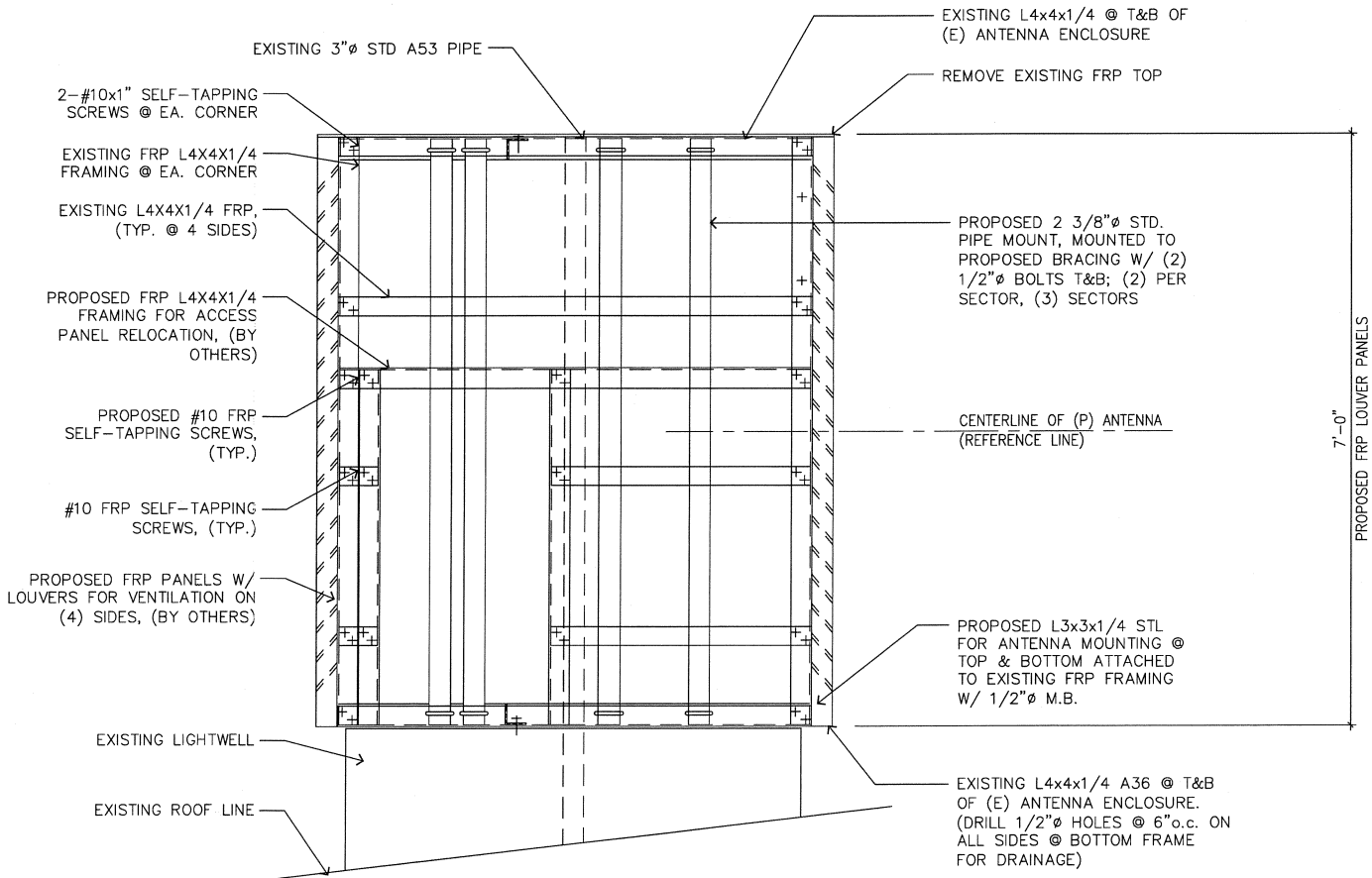
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14. PENETRATIONS OF ROOF MEMBRANES SHALL BE PATCHED AND/OR FLASHED AND MADE WATERTIGHT USING LIKE MATERIALS IN ACCORDANCE WITH NRCA ROOFING STANDARDS AND DETAILS. CONTRACTOR SHALL OBTAIN DETAILING CLARIFICATION FOR SITE-SPECIFIC CONDITIONS FROM ARCHITECT/ENGINEER, IF NECESSARY, BEFORE PROCEEDING.

FIBERGLASS REINFORCED PLASTIC (FRP)

1. FIBERGLASS REINFORCED PLASTIC IS A COMPOSITE CONSISTING OF A PLASTIC RESIN MATRIX REINFORCED BY EMBEDDED GLASS FIBERS.
2. PROPERTIES OF FRP:
FU= 33,000 PSI
E= 2.6x10 PSI^f
3. ANCHOR BOLTS SHALL BE 1/2"Ø FRP BOLTS UNLESS NOTED OTHERWISE.
4. PRODUCTS SHALL BE LABELED OR PACKAGE CLEARLY IDENTIFYING THE PRODUCT AS EXTREN 525 MANUFACTURED BY THE MORRISON MOLDED FIBERGLASS COMPANY.
5. THE MAXIMUM THICKNESS APPROVED FOR THE USE IS 1/4" WITH THE EXCEPTION FIBREBOLTS WHICH ARE LIMITED TO 1/2" AND 5/8" DIAMETER BOLTS.
6. THE MAXIMUM ALLOWABLE TENSILE LOAD FOR 1/2" & 5/8" DIAMETER BOLTS SHALL BE 550 LBS., AND 682 LBS. RESPECTIVELY, THE MAXIMUM ALLOWABLE SHEAR LOAD FOR THE 1/2" AND 5/8" DIAMETER BOLTS SHALL BE 861 LBS. AND 1052 LBS. RESPECTIVELY.
7. ONLY FIBERGLASS NUTS SHALL BE USED WITH THE FIBREBOLTS, STEEL NUTS SHALL BE PROHIBITED.
8. THE DESIGN OF ALL EXTREN 525 STRUCTURAL SHAPES, EXCLUDING BOLTS EXCEPT AS APPROVED HEREIN, SHALL BE IN ACCORDANCE WITH THE EXTREN FIBERGLASS DESIGN MANUAL. A MAXIMUM FACTOR OF SAFETY OF 5 SHALL BE APPLIED TO THE ALLOWABLE STRESS IN THE MANUAL.
9. THE FIBERGLASS PRODUCT SHALL BE PROTECTED WITH AN MFG APPROVED UV INHIBITOR.



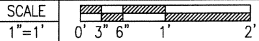
PLAN



ELEVATION

NOTES

2 EXISTING ANTENNA ENCLOSURE



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A&E SEAL

PROJECT NO: SF1961

DRAWN BY: RU

CHECKED BY: MJS

CAD FILE: SF1961

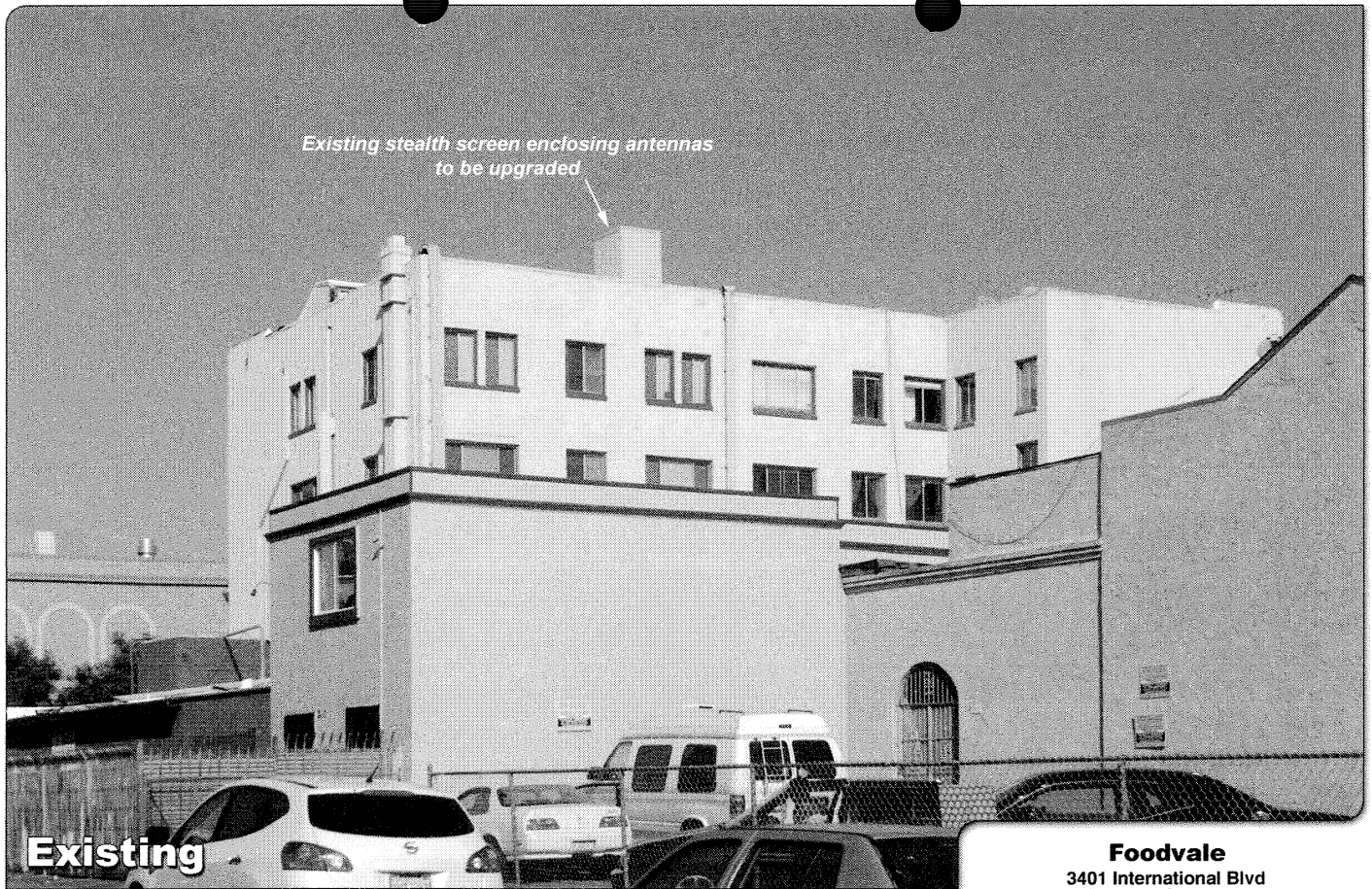
SUBMITTALS			
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0	07/10/13	90% ZONING	

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SITE
SF1961
FOODVALE
3401 INTERNATIONAL BLVD.
OAKLAND, CA 94601

SHEET TITLE
DETAILS

SHEET NUMBER
A5



Photosimulation of the view looking north from E 12th Street.



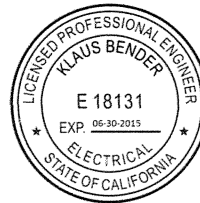
ATTACHMENT B

MetroPCS Foodvale - SF1961 Radio Frequency (RF) Site Compliance Report



3401 International Boulevard, Oakland, CA 94601

Klaus Bender



Klaus Bender, P.E. - Licensed Professional Engineer
California License No. E18131 – Expiration Date: June 30, 2015

1 Executive Summary

MetroPCS has contracted with Sitesafe, Inc. (Sitesafe), an independent Radio Frequency (RF) regulatory and engineering consulting firm, to determine whether the proposed communications site, SF1961 - Foodvale, located at 3401 International Boulevard, Oakland, CA, is in compliance with Federal Communication Commission (FCC) Rules and Regulations for RF emissions.

The subject site will be compliant with the pertinent FCC rules and regulations governing radio frequency emissions.

If you have any questions regarding RF safety and regulatory compliance, please do not hesitate to contact Sitesafe's Customer Support Department at (703) 276-1100.

2 Site Compliance

2.1 Site Compliance Statement

Upon evaluation of the cumulative RF emission levels from all operators at this site, Sitesafe has determined that:

This **site will be compliant** with the FCC rules and regulations, as described in OET Bulletin 65.

The compliance determination is based on theoretical modeling, RF signage placement recommendations, proposed antenna inventory and the level of restricted access to the antennas at the site. Any deviation from the MetroPCS's proposed deployment plan could result in the site being rendered non-compliant.

2.2 Actions for Site Compliance

Based on common industry practice and our understanding of FCC and OSHA requirements, this section provides a statement of recommendations for site compliance. RF alert signage recommendations have been proposed based on theoretical analysis of MPE levels. Barriers can consist of locked doors, fencing, railing, rope, chain, paint striping or tape, combined with RF alert signage.

This site will be compliant with the FCC rules and regulations.

Sitesafe found one or more issues that led to our determination. The site will be made compliant if the following changes are implemented:

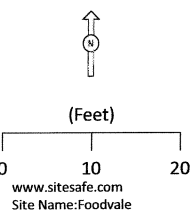
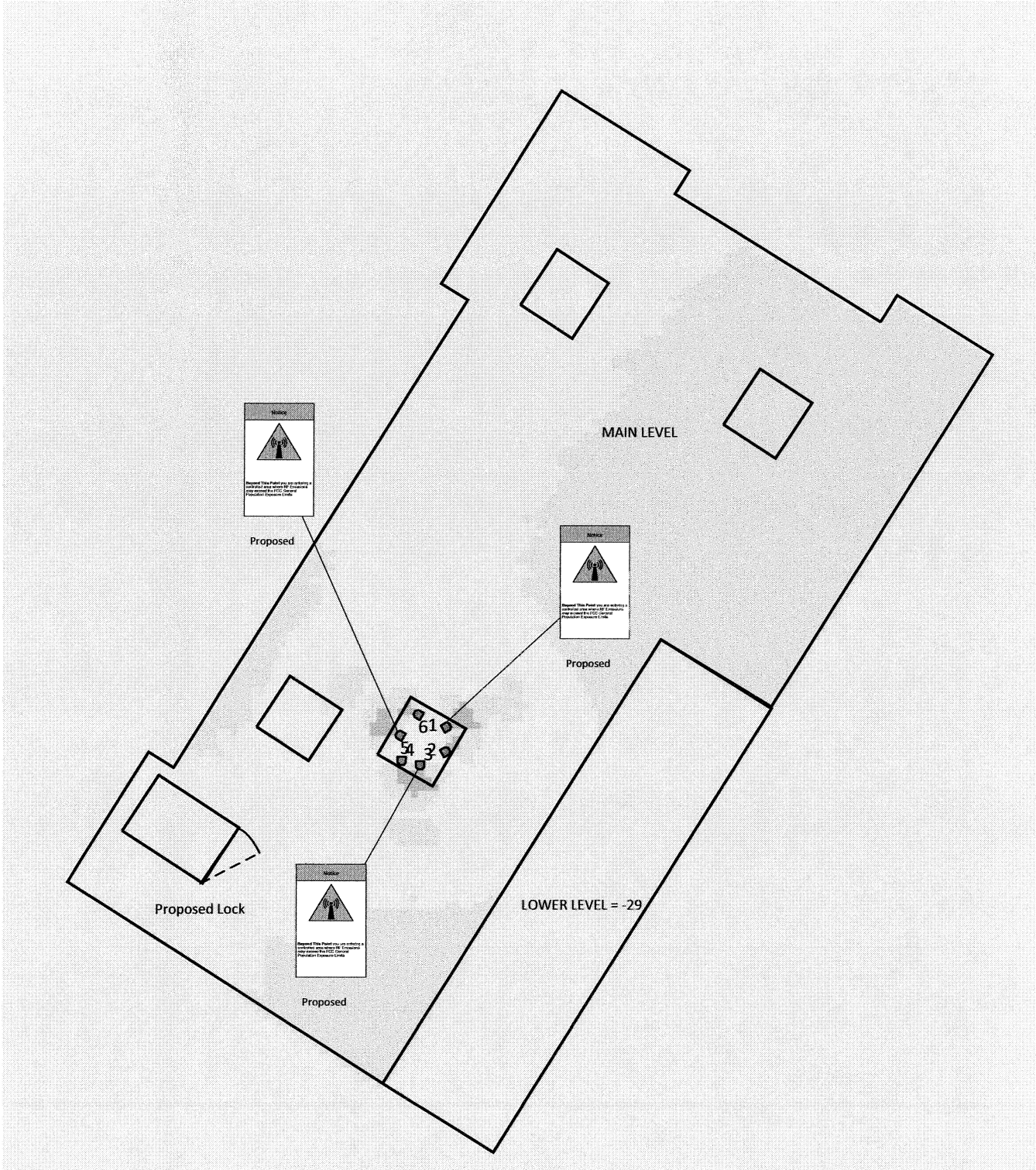
Site Access Location

Put lock on Site Access Door.

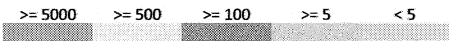
MetroPCS Proposed Sector Locations

Blue notice sign required.

3. RF Emissions Simulation For: Foodvale



% of FCC Public Exposure Limit
Spatial average 0' - 6'



AT&T MOBILITY LLC	VERIZON WIRELESS	T-MOBILE	SPRINT-NEXTEL	METROPCS	CRICKET COMMUNICATIONS	CLEARWIRE

Sitesafe Inc. assumes no responsibility for modeling results not verified by Sitesafe personnel.
Contact Sitesafe Inc. for modeling assistance at (703) 276-1100
Sitesafe Version: 1.0.0.0
10/30/2013 12:32:31 PM

4 Antenna Inventory

The Antenna Inventory shows all transmitting antennas at the site. This inventory was provided by the customer, and was utilized by Sitesafe to perform theoretical modeling of RF emissions. The inventory coincides with the site diagrams in this report, identifying each antenna's location at SF1961 - Foodvale. The antenna information collected includes the following information:

- Licensee or wireless operator name
- Frequency or frequency band
- Transmitter power – Effective Radiated Power ("ERP"), or Equivalent Isotropic Radiated Power ("EIRP") in Watts
- Antenna manufacturer make, model, and gain

For other carriers at this site, the use of "Generic" as an antenna model, or "Unknown" for an operator means the information with regard to carrier, their FCC license and/or antenna information was not available nor could it be secured while on site. Equipment, antenna models and nominal transmit power were used for modeling, based on past experience with radio service providers.

The following antenna inventory, on this and the following page, were provided by the customer and were utilized to create the site model diagrams:

Table 3: Antenna Inventory										
Ant #	Operated By	TX Freq (MHz)	ERP (Watts)	Antenna Gain (dBd)	Az (Deg)	Antenna Model	Ant Type	Len (ft)	Horizontal Half Power Beamwidth (Deg)	Location X Y Z
1	METROPICS (Proposed)	1900	690.3	15.37	60	Ericsson AIR	Panel	4.5	65	126.4' 199.5' 8.5'
1	METROPICS (Proposed)	1900	1932.9	15.37	60	Ericsson AIR	Panel	4.5	65	126.4' 199.5' 8.5'
2	METROPICS (Proposed)	2135	615.3	14.87	60	Ericsson AIR	Panel	4.5	65	126.3' 195.9' 8.5'
2	METROPICS (Proposed)	2100	615.3	14.87	60	Ericsson AIR	Panel	4.5	65	126.3' 195.9' 8.5'
3	METROPICS (Proposed)	1900	690.3	15.37	180	Ericsson AIR	Panel	4.5	65	122.6' 194' 8.5'
3	METROPICS (Proposed)	1900	1932.9	15.37	180	Ericsson AIR	Panel	4.5	65	122.6' 194' 8.5'
4	METROPICS (Proposed)	2100	615.3	14.87	180	Ericsson AIR	Panel	4.5	65	120' 194.6' 8.5'
4	METROPICS (Proposed)	2135	615.3	14.87	180	Ericsson AIR	Panel	4.5	65	120' 194.6' 8.5'
5	METROPICS (Proposed)	1900	690.3	15.37	300	Ericsson AIR	Panel	4.5	65	119.7' 198.3' 8.5'
5	METROPICS (Proposed)	1900	1932.9	15.37	300	Ericsson AIR	Panel	4.5	65	119.7' 198.3' 8.5'
6	METROPICS (Proposed)	2135	615.3	14.87	300	Ericsson AIR	Panel	4.5	65	122.3' 201.3' 8.5'
6	METROPICS (Proposed)	2100	615.3	14.87	300	Ericsson AIR	Panel	4.5	65	122.3' 201.3' 8.5'

NOTE: X, Y and Z indicate relative position of the antenna to the origin location on the site, displayed in the model results diagram. Specifically, the Z reference indicates antenna height above the main site level unless otherwise indicated. ERP values provided by the client and used in the modeling may be greater than are currently deployed. For other carriers at this site the use of "Generic" as an antenna model or "Unknown" for a wireless operator means the information with regard to carrier, their FCC license and/or antenna information was not available nor could it be secured while on site. Equipment, antenna models and nominal transmit power were used for modeling, based on past experience with radio service providers.



5 Engineer Certification

The professional engineer whose seal appears on the cover of this document hereby certifies and affirms that:

I am registered as a Professional Engineer in the jurisdiction indicated in the professional engineering stamp on the cover of this document; and

That I am an employee of Sitesafe, Inc., in Arlington, Virginia, at which place the staff and I provide RF compliance services to clients in the wireless communications industry; and

That I am thoroughly familiar with the Rules and Regulations of the Federal Communications Commission (FCC) as well as the regulations of the Occupational Safety and Health Administration (OSHA), both in general and specifically as they apply to the FCC Guidelines for Human Exposure to Radio-frequency Radiation; and

That I have thoroughly reviewed this Site Compliance Report and believe it to be true and accurate to the best of my knowledge as assembled by and attested to by Richard Curtis.

October 30, 2013



Appendix A – Statement of Limiting Conditions

Sitesafe will not be responsible for matters of a legal nature that affect the site or property.

Due to the complexity of some wireless sites, Sitesafe performed this analysis and created this report utilizing best industry practices and due diligence. Sitesafe cannot be held accountable or responsible for anomalies or discrepancies due to actual site conditions (i.e., mislabeling of antennas or equipment, inaccessible cable runs, inaccessible antennas or equipment, etc.) or information or data supplied by MetroPCS, the site manager, or their affiliates, subcontractors or assigns.

Sitesafe has provided computer generated model(s) in this Site Compliance Report to show approximate dimensions of the site, and the model is included to assist the reader of the compliance report to visualize the site area, and to provide supporting documentation for Sitesafe's recommendations.

Sitesafe may note in the Site Compliance Report any adverse physical conditions, such as needed repairs, observed during the survey of the subject property or that Sitesafe became aware of during the normal research involved in performing this survey. Sitesafe will not be responsible for any such conditions that do exist or for any engineering or testing that might be required to discover whether such conditions exist. Because Sitesafe is not an expert in the field of mechanical engineering or building maintenance, the Site Compliance Report must not be considered a structural or physical engineering report.

Sitesafe obtained information used in this Site Compliance Report from sources that Sitesafe considers reliable and believes them to be true and correct. Sitesafe does not assume any responsibility for the accuracy of such items that were furnished by other parties. When conflicts in information occur between data provided by a second party and physical data collected by Sitesafe, the physical data will be used.



111 Heikili Street, Suite A-1004 | Kailua, HI 96734 | Phone 808-295-0002 | Email Mark@WirelessNS.net

November 19, 2013

Mr. Scott Miller
Zoning Manager
City of Oakland
Planning Department
250 Frank H. Ogawa Plaza, 2nd Floor
Oakland, CA 94612

Re: Metro PCS submitted applications CMD13-314 and CMD13-312 – Alternatives Analysis

Dear Mr. Miller:

In reference to the above listed applications, Metro PCS has not searched out alternative locations. These applications are an upgrade to "existing" and "operating" Metro PCS facilities. We are only requesting to modify the antenna configuration to better improve service for our customers.

I hope this satisfies the concerns of Section 17.128.110 of the planning code.

Respectfully,

A handwritten signature in black ink, appearing to read "Mark Bullard", is written over a horizontal line.

Mark Bullard
Project Manager – WNS