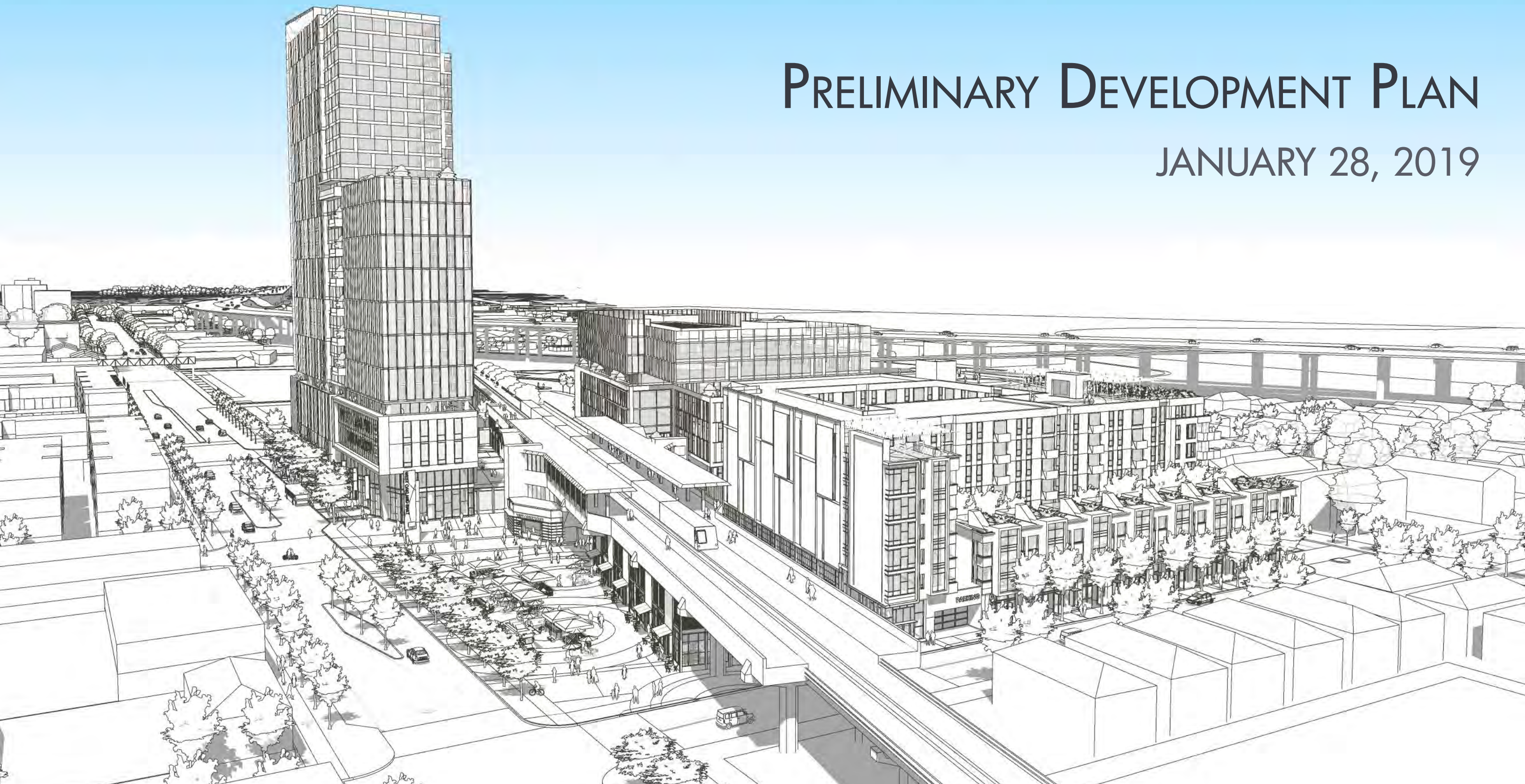


WEST OAKLAND STATION

PRELIMINARY DEVELOPMENT PLAN

JANUARY 28, 2019



WEST OAKLAND BART

DRAWING INDEX

GENERAL

G100 TITLE SHEET, DRAWING INDEX

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A00.02 RENDERING 2
A00.03 RENDERING 3
A00.04 RENDERING 4
A00.05 RENDERING 5
A00.06 RENDERING 6
A00.07 RENDERING 7
A00.08 ZONING INFO
A00.09 ZONING SUMMARY
A00.10 CONSTRUCTION SCHEDULE
A00.11 PHASING PLAN
A00.12 LEED CHECK LIST
A00.13 LEED CHECK LIST
A00.14 LEED CHECK LIST
A00.15.1 SPECIFIC PLAN GUIDELINE CHECKLIST
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A00.15.3 SPECIFIC PLAN GUIDELINE CHECKLIST
A00.15.4 DESIGN GUIDELINE CHECKLIST
A00.15.5 DESIGN GUIDELINE CHECKLIST
A00.15.6 DESIGN GUIDELINE CHECKLIST
A00.15.7 DESIGN GUIDELINE CHECKLIST
A00.15.8 DESIGN GUIDELINE CHECKLIST
A00.17 CONTEXT MAP
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C1.01 LOT MERGER PLAN
C2.00 PROPOSED GRADING PLAN
C3.00 STORMWATER MANAGEMENT PLAN
C4.00 EROSION CONTROL PLAN
C4.01 EROSION CONTROL PLAN DETAILS

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A10.00.06 PUBLIC SPACE IMPROVEMENT
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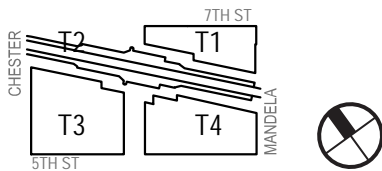
A 20.01 7TH STREET ELEVATION
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DRAWING INDEX

SHEET:
G-100

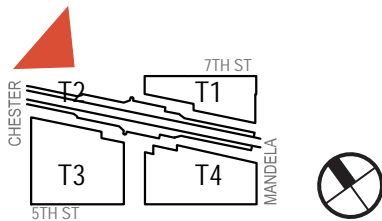


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RENDERING 7TH STREET LOOKING EAST

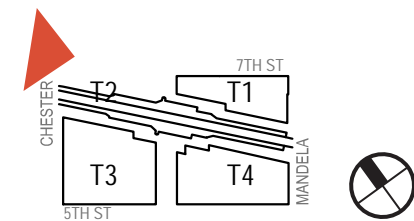
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**7TH & CHESTER
CORNER
VIEW**

SHEET:

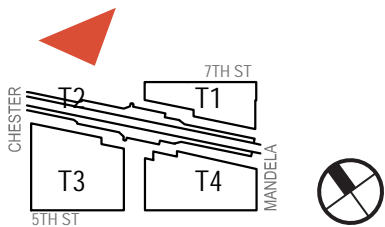
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**AERIAL VIEW
LOOKING SOUTH**

SHEET: **A-00.03**

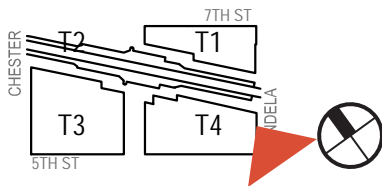


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DATE:

January 18, 2019

5TH & MANDELA CORNER VIEW

SHEET:

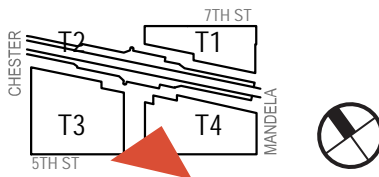
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**AERIAL VIEW
LOOKING NORTH**

SHEET: **A-00.05**



5TH & MANDELA



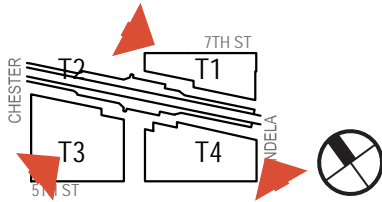
5TH & CHESTER



7TH STREET PLAZA

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STREET
VIEWS

SHEET: A-00.06



ART ALLEY



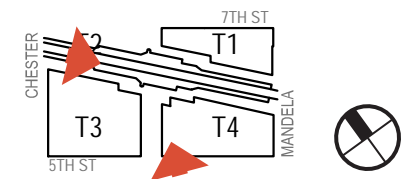
MAKERS PLAZA



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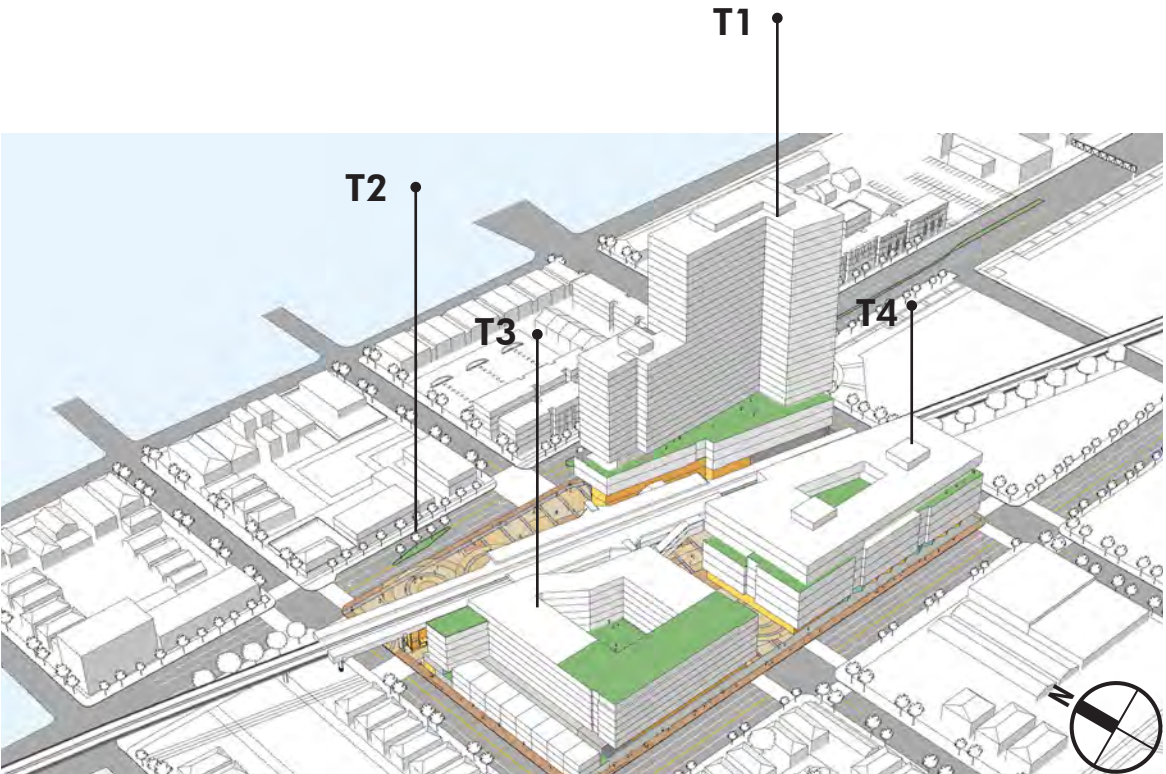
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DATE: January 18, 2019

STREET
VIEWS

SHEET: A-00.07

Scheme A

USES	T1	T2	T3	T4	Program Total
OFFICE	82,460 sf			300,000 sf	382,460 sf
RETAIL	17,185 sf	7,670 sf	15,200 sf	30,800 sf	70,855 sf
RESIDENTIAL	500 units		240 units 22 duplex		762 units (20% min. affordable)
PARKING			272 spaces	128 spaces	400 spaces



Scheme A - Zoning Analysis

Total Site Area			
T2/T3	S-15W 60'	111,230	SF
T1/T4	S-15W 100'	131,900	SF
Total		243,130	SF
Residential Density		Site Area	Net Required Site Area
Units (zone 60')	262		
SF/Unit	375	98,250	
Affordable Housing Density Bonus	1.35		
PUD Density Bonus	1.25		
Required Site Area		58,250	58,250 SF
Units (zone 100')	500		
SF/Unit	225	112,500	
Affordable Housing Density Bonus	1.35		
PUD Density Bonus	1.25		
Required Site Area		66,600	66,600 SF
Total Req Site Area			124,850 SF
Commercial Office Density			
Program Area	382,460 SF		
FAR	Site Area	Allowable FAR Area	
T1/T4	5.0	65,300	326,500 SF
T2/T3	3.0	52,980	158,940 SF
Total Allowable			485,440 SF
Required PUD Density Bonus		0%	382,460 SF
GP Density Max.	5.0	118,280	591,400 SF

Scheme A - Open Space Analysis

Residential Open Space Req			
262 Units	150	39,300	SF
500 Units	75	37,500	SF
Required Open Space		76,800	SF
Open Space Provided			
Courtyard		6,055	SF
RoofDecks		33,575	SF
		39,630	SF
Private Decks (x2)		38,228	SF
Total Provided		77,858	SF

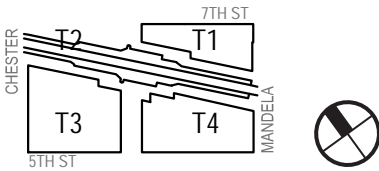
Scheme A - Parking Analysis

Resi-Required Paking	262	0.5	131
	500	0.5	250
Commercial Pkg	70,855	600	118
Total			499 Spaces
PKG Reductions			
Transit	0.3		150 Spaces
Car Share	0.2		100 Spaces
Residential PKG Req			250 Spaces
Parking Provided			
T3 Parking		272	Spaces
T4 Parking		128	Spaces
Total		400	Spaces



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CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
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ZONING
INFO

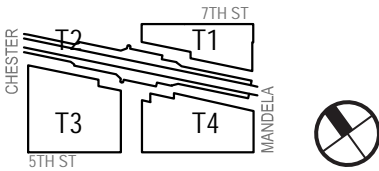
SHEET:
A-00.08

GENERAL ZONING INFORMATION	REFERENCE	NOTES
ASSESORS BLOCK	Survey	See Survey; Tract 8046, Blocks 494 and 493
ZONING USE DISTRICT	Oak GIS	S-15W
PERMITTED AND/OR CONDITIONAL USES	17.97.010-.020	Residential, Community Assembly, General Retail, Full +Limited Service Retail, Parking, Commercial Office permitted
HEIGHT & BULK DISTRICT	17.97	S-15W 60' and S-15W 100'; master plan consistent with zoning requirements
GENERAL PLAN / POLICY PLAN	OAK-GIS	General Commercial; West Oakland Specific Plan
HISTORIC OR LANDMARK STATUS	OAK-GIS	None
LIQUEFACTION HAZARD ZONE	OAK-GIS	Severity 4
CONDO CONVERSION IMPACT AREA	OAK-GIS	None
HEIGHT AND BULK CONTROLS		
SITE AREA	Survey	243,132 SF
FLOOR AREA RATIO (FAR)	17.97.130	S-15W 60' - 3.0; S-15W 100' - 5.0; Master Plan within zoning density requirements
HEIGHT LIMIT	17.97	60' and 100' (Height limit modified to allow 80' and 320' tall building pursuant to State Affordble Housing Exemption
REQUIRED SETBACKS	17.97.060	No Front Yard Setbacks Required; Interior Lot subject to PUD
REAR YARDS / COURTS		None Required
ADJACENCIES		None Significant
UNIT SEPARATION / EXPOSURE REQUIREMENTS	17.108.080	8' minimum at living room window +2' for each floor above = maximum 10% of It width
DETAILED CONTROLS & REQUIREMENTS		
RESIDENTIAL DENSITY LIMITS	17.97.130	S-15W 60' - 375sf/unit; S-15W100' - 225sf/unit; Density increase per State Affordable Housing and PUD density bonus
OPEN SPACE REQUIREMENTS	17.97.130	S-15W 60' - 150sf/unit; and S-15W 100' - 75sf/unit; Overall master plan within zoning limites
SCREENING & SETBACK OF PARKING & LOADING	17.116.290	All parking garages are screened per zoning requirements
OFF-STREET PARKING - RESIDENTIAL	17.116.060	0.5 parking space per dwelling unit required; Parking meets zoning requirements with approved reductions
OFF-STREET PARKING - RETAIL	17.116.080	1 space/600 Sf of ground floor; Parking meets zoning requirements with approved reductions
OFF-STREET PARKING - COMMERCIAL	17.116.080	None required
OFF-STREET PARKING DIMENSIONS	17.116.200	50-50 compact / standard; or 75% intermediate + 12.5% compact
OFF-STREET DRIVE AISLE DIMENSIONS	17.116.210	21'-24' two way aisle widths
OFF-STREET LOADING - RESIDENTIAL	17.116.120	Loading per zoning requirements
OFF-STREET LOADING - RETAIL	17.116.150	Loading per zoning requirements
LOADING BERTH DIMENSIONS	17.116.220	12'x33', 14' high
BICYCLE REQUIREMENTS - RESIDENTIAL	17.117.090	LT: total 229 spaces; ST: total 57 spaces LT: 1 per 10,000 sf of commercial; ST: 1 per 20,000 sf of commercial LT: 0.25 spaces per dwelling unit; ST: 0.05 per dwelling unit; bicycle parking provide per zoning code
BICYCLE REQUIREMENTS - RETAIL	17.117.110	LT: total 5 spaces; ST: total 30 spaces LT: 1 per 12k; ST: 1 per 2k; bicycle parking provided per zoning code



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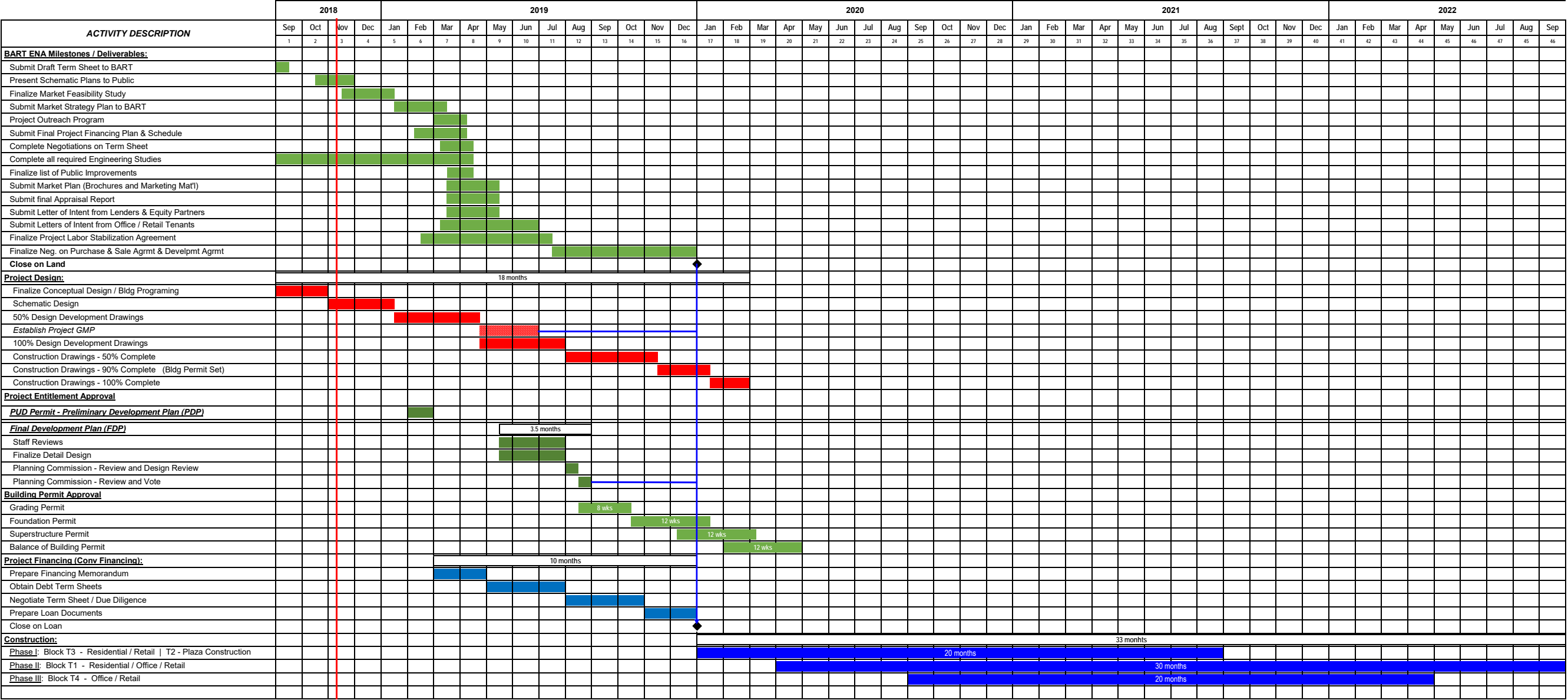


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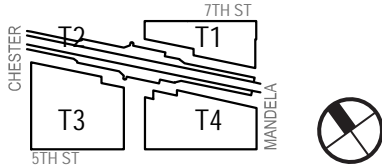
ZONING SUMMARY

SHEET:
A-00.09

West Oakland BART Village MIXED-USE DEVELOPMENT PROJECT
OAKLAND, CA.
PROJECT DEVELOPMENT SCHEDULE



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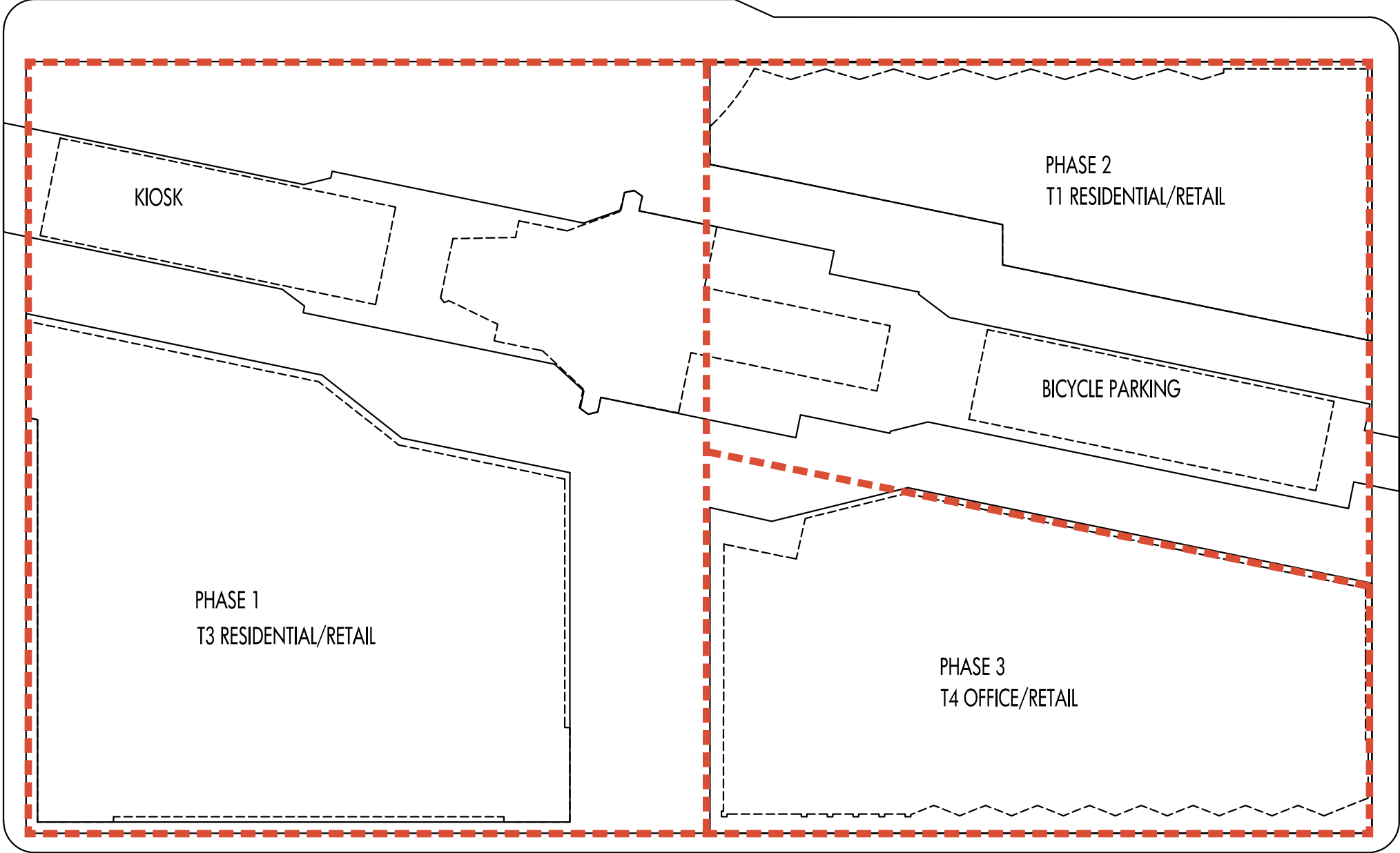
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CONSTRUCTION
SCHEDULE

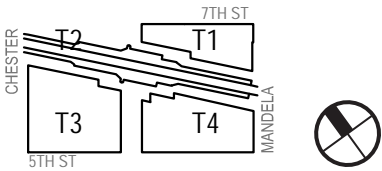
SHEET:
A-00.10



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DATE: January 18, 2019

PHASING PLAN

SHEET: A-00.11

LEED CS v4 SCORECARD

West Oakland Station T4

IP	Confirmed				Phase	Credit Number	Credit Name	Points Available
	Likely	Maybe	No					
	1			D	Credit	Integrative Process - In design phases, achieve synergies between building, energy AND water related systems	1	
	1						1	
LOCATION & TRANSPORTATION			20	D	Credit	LEED for Neighborhood Development Location - Locate within LEED ND certified development site boundary	20	
	2			D	Credit	Sensitive Land Protection - Develop on previously developed land or follow criteria for non - sensitive	2	
	2		1	D	Credit	High Priority Site - Locate project on infill location in historic district, priority designation or brownfield	3	
	2	2	2	D	Credit	Surrounding Density & Diverse Uses - Site within 1/4 mile of surrounding density criteria and/or a 1/2 mile of diverse uses	6	
	6			D	Credit	Access to Quality Transit - Locate functional entries within 1/4 mile of existing transit or 1/2 mile of planned transit services	6	
		1		D	Credit	Bicycle Facilities - Provide a bike network and storage areas	1	
		1		D	Credit	Reduced Parking Footprint - Don't exceed minimum local code requirements for parking capacity	1	
		1		D	Credit	Green Vehicles - 5 % of spaces or 20 % discount for parking and electric car charging OR liquid, gas or battery facilities	1	
	12	5	20		Totals		20	
	SUSTAINABLE SITES	Yes			C	Prereq	Construction Activity Pollution Prevention - Implement an erosion control plan, per the EPA CGP v2012	NA
			1	D	Credit	Site Assessment - Complete site survey including: topography, hydrology, climate, vegetation, soils, human use, human health	1	
			2	D	Credit	Site Development - Protect or Restore Habitat - Preserve 40% of greenfield AND on-site restoration OR financial support	2	
1				D	Credit	Open Space - Provide outdoor space greater than or equal to 30% of total site area, 25% of which is vegetated	1	
			3	D	Credit	Rainwater Management - Manage runoff for at least the 85th percentile of local rainfall events	3	
		1	1	D	Credit	Heat Island Reduction - Meet nonroof and roof criteria OR place a minimum of 75% parking spaces under cover	2	
1				D	Credit	Light Pollution Reduction - Backlight-uplight-glare method or calculation method, exterior luminaires and signage requirements	1	
1				D	Credit	Tenant Design and Construction Guidelines - Provide Manual or automative glare control devices	1	
3	1	7		Totals		11		
WATER	Yes			D	Prereq 1	Outdoor Water Use Reduction - Permanent non-irrigated landscape OR reduce landscape water use 30% for peak watering month	NA	
	Yes			D	Prereq 2	Indoor Water Use Reduction - Reduce aggregate water use by 20% for fixtures and fittings	NA	
	Yes			D	Prereq 3	Building-Level Water Metering - Install permanent water meters that measure potable water use, share data with USGBC	NA	
	1		1	D	Credit	Outdoor Water Use Reduction - Reduce water use no irrigation or reduced irrigation 50% - 100%	2	
	3		3	D	Credit	Indoor Water Use Reduction - Reduce fixture and fitting water use by 25% - 50%	6	
			2	D	Credit	Cooling Tower Water Use - Conduct a one-time potable water analysis, measure control parameters in Table 1	2	
			1	D	Credit	Water Metering - Meters for 2 or more water subsystems: irrigation, indoor plumbing, hot water, boiler, reclaimed water, or other	1	
	4		7		Totals		11	
ENERGY & ATMOSPHERE	Yes			C	Prereq 1	Fundamental Commissioning and Verification - Commissioning for ASHRAE 0-2005 and 1.1-2007	NA	
	Yes			D	Prereq 2	Minimum Energy Performance - Whole building energy simulation OR ASHRAE 50% Design Guide OR ABCPG	NA	
	Yes			D	Prereq 3	Building-Level Energy Metering - Use building-level energy meters or submeters that can aggregate building-level data	NA	
	Yes			D	Prereq 4	Fundamental Refrigerant Management - Do not use CFC-based refrigerants in HVAC&R systems, or have a phase out plan	NA	
	3	1	2	C	Credit	Enhanced Commissioning - Implement systems commissioning or monitor-based commissioning	6	
	5	2	11	D	Credit	Optimize Energy Performance - Whole building energy simulation or follow ASHRAE Advanced Energy Design Guide	18	
			1	D	Credit	Advanced Energy Metering - Install advanced energy metering for whole building and individual energy sources	1	
		2		C	Credit	Demand Response - Participate in existing demand response program or provide infrastructure for demand response programs	2	
			3	D	Credit	Renewable Energy Production - Use renewable energy system to meet 1-10% of usage	3	
		1		D	Credit	Enhanced Refrigerant Management - Refrigerants with ODP of 0 and GWP of less than 50 OR calculate refrigerant impact	1	
			2	C	Credit	Green Power and Carbon Offsets - Use 50-100% green power or carbon offsets	2	
	8	6	19		Totals		33	

Confirmed	Likely	Maybe	No	Phase	Credit Number	Credit Name	Points Available		
MATERIALS & RESOURCES	Yes				D	Prereq	Storage and Collection of Recyclables - Dedicated areas for waste collection, collection and storage	NA	
	Yes				D	Prereq	Construction and Demolition Waste Management Planning - Establish C&D waste diversion goals	NA	
		3			3	C	Credit	Building Life-Cycle Impact Reduction - Historic building reuse, renovate blighted buildings OR whole building LCA	6
		1			1	C	Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
		1			1	C	Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
		1			1	C	Credit	Building Product Disclosure and Optimization - Material Ingredients	2
	1				1	C	Credit	C&D Waste Management - Divert 50% (3 streams), 75% (4 streams) OR 2.5 lbs. waste per square foot	2
	1	6		7	Totals			14	
INDOOR ENVIRONMENTAL	Yes				D	Prereq	Minimum Indoor Air Quality Performance - Meet ASHRAE 62.1-2010	NA	
	Yes				D	Prereq	Environmental Tobacco Smoke Control - Prohibit smoking indoors, restrict outdoor smoking within 25 feet	NA	
	1	1				D	Credit	Enhanced Indoor Air Quality Strategies - Comply with enhanced IAQ strategies	2
	1	1			1	C	Credit	Low-Emitting Materials - Achieve level of compliance for product categories or use budget calculation method	3
					1	C	Credit	Construction IAQM Plan - Implement IAQMP & protect materials and equipment during construction	1
					3	D	Credit	Daylight - Install glare control devices, spatial daylight autonomy, illuminance calculations OR daylight floor area measurement	3
		1				D	Credit	Quality Views - Vision glazing for 75% of regularly occupied floor area, with at least two kinds of view types	1
	2	3		5	Totals			10	
INNOVATION*		1				D	Credit	Innovation: Low Mercury Lighting	1
		1				D	Credit	Innovation: Greenbuilding Education	1
					1	D	Credit	TBD	1
					1	D	Credit	TBD	1
					1	D	Credit	TBD	1
	1					C	Credit	LEED Accredited Professional	1
	1	2		3	Totals			6	
*Innovation in Design includes Exemplary Performance credits									
REGIONAL**					1	D	Credit	Optimize Energy Performance (10 Points)	1
	1					D	Credit	Access to Quality Transit (5 Points)	1
		1				D	Credit	BPDO - Raw Materials (1 point)	1
					1	D	Credit	Rainwater Management (3 Points)	1
					1	D	Credit	Outdoor Water Use Reduction (2 points)	1
		1				D	Credit	Indoor Water Use Reduction (1 point)	1
	1	2		3	Totals			4	

**only 4 Regional Credits are Applicable

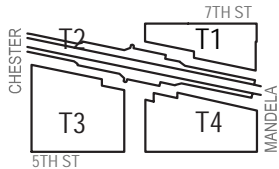
Confirmed Certification Level:	Not
Confirmed + Likely Certification Level:	SILVER
Confirmed + Likely + Maybe Certification Level:	Silver
Total Confirmed Points	32
Total Confirmed + Likely Points	58
Total Confirmed + Likely + Maybe Points	58



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PROJ. # 168-153 WO BART

DATE: January 18, 2019

LEED

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A-00.12

LEED NC v4 SCORECARD

West Oakland Station T1

IP	1				D	Credit	Integrative Process - In design phases, achieve synergies between building, energy AND water related systems	1
	1					Totals		1
LOCATION & TRANSPORTATION				16	D	Credit	LEED for Neighborhood Development Location - Locate within LEED ND certified development site boundary	16
	1				D	Credit	Sensitive Land Protection - Develop on previously developed land or follow criteria for non - sensitive	1
	2				D	Credit	High Priority Site - Locate project on infill location in historic district, priority designation or brownfield	2
	4			1	D	Credit	Surrounding Density & Diverse Uses - Site within 1/4 mile of surrounding density criteria and/or a 1/2 mile of diverse uses	5
	5				D	Credit	Access to Quality Transit - Locate functional entries within 1/4 mile of existing transit or 1/2 mile of planned transit services	5
		1			D	Credit	Bicycle Facilities - Provide a bike network and storage areas	1
		1			D	Credit	Reduced Parking Footprint - Don't exceed minimum local code requirements for parking capacity	1
		1			D	Credit	Green Vehicles - 5 % of spaces or 20 % discount for parking and electric car charging OR liquid, gas or battery facilities	1
	12	3		16		Totals		16
SUSTAINABLE SITES	Yes				C	Prereq	Construction Activity Pollution Prevention - Implement an erosion control plan, per the EPA CGP v2012	NA
				1	D	Credit	Site Assessment - Complete site survey including: topography, hydrology, climate, vegetation, soils, human use, human health	1
				2	D	Credit	Site Development - Protect or Restore Habitat - Preserve 40% of greenfield AND on-site restoration OR financial support	2
	1				D	Credit	Open Space - Provide outdoor space greater than or equal to 30% of total site area, 25% of which is vegetated	1
				3	D	Credit	Rainwater Management - Manage runoff for at least the 85th percentile of local rainfall events	3
		1		1	D	Credit	Heat Island Reduction - Meet nonroof and roof criteria OR place a minimum of 75% parking spaces under cover	2
	1				D	Credit	Light Pollution Reduction - Backlight-uplight-glare method or calculation method, exterior luminaires and signage requirements	1
	2	1		7		Totals		10
WATER	Yes				D	Prereq 1	Outdoor Water Use Reduction - Non-irrigated landscape OR reduce landscape water use 30% for peak watering month	N/A
	Yes				D	Prereq 2	Indoor Water Use Reduction - Reduce aggregate water use by 20% for fixtures and fittings	N/A
	Yes				D	Prereq 3	Building-Level Water Metering - Install permanent water meters that measure potable water use, share data with USGBC	N/A
	1			1	D	Credit	Outdoor Water Use Reduction - Reduce water use no irrigation or reduced irrigation 50% - 100%	2
	3			3	D	Credit	Indoor Water Use Reduction - Reduce fixture and fitting water use by 25% - 50%	6
				2	D	Credit	Cooling Tower Water Use - Conduct a one-time potable water analysis, measure control parameters in Table 1	2
				1	D	Credit	Water Metering - Meters for 2 or more water subsystems: irrigation, indoor plumbing, hot water, boiler, reclaimed water, or other	1
	4			7		Totals		11
ENERGY & ATMOSPHERE	Yes				C	Prereq 1	Fundamental Commissioning and Verification - Commissioning for ASHRAE 0-2005 and 1.1-2007	N/A
	Yes				D	Prereq 2	Minimum Energy Performance - Whole building energy simulation OR ASHRAE 50% Design Guide OR ABCPG	N/A
	Yes				D	Prereq 3	Building-Level Energy Metering - Use building-level energy meters or submeters that can aggregate building-level data	N/A
	Yes				D	Prereq 4	Fundamental Refrigerant Management - Do not use CFC-based refrigerants in HVAC&R systems, or have a phase out plan	N/A
	3	1		2	C	Credit	Enhanced Commissioning - Implement systems commissioning or monitor-based commissioning	6
	5	2		11	D	Credit	Optimize Energy Performance - Whole building energy simulation or follow ASHRAE Advanced Energy Design Guide	18
				1	D	Credit	Advanced Energy Metering - Install advanced energy metering for whole building and individual energy sources	1
				2	C	Credit	Demand Response - Participate in existing demand response program or provide infrastructure for demand response programs	2
				3	D	Credit	Renewable Energy Production - Use renewable energy system to meet 1-10% of usage	3
		1			D	Credit	Enhanced Refrigerant Management - Refrigerants with ODP of 0 and GWP of less than 50 OR calculate refrigerant impact	1
				2	C	Credit	Green Power and Carbon Offsets - Use 50-100% green power or carbon offsets	2
	8	4		21		Totals		33

Certified	40-49
Silver	50-59
Gold	60-79
Platinum	80+

MATERIALS & RESOURCES	Yes				D	Prereq	Storage and Collection of Recyclables - Dedicated areas for waste collection, collection and storage	N/A
	Yes				D	Prereq	Construction and Demolition Waste Management Planning - Establish C&D waste diversion goals	N/A
		3		2	C	Credit	Building Life-Cycle Impact Reduction - Historic building reuse, renovate blighted buildings OR whole building LCA	5
		1		1	C	Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
		1		1	C	Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
		1		1	C	Credit	Building Product Disclosure and Optimization - Material Ingredients	2
	1			1	C	Credit	C&D Waste Management - Divert 50% (3 streams), 75% (4 streams) OR 2.5 lbs. waste per square foot	2
	1	6		6		Totals		13

INDOOR ENVIRONMENTAL QUALITY	Yes				D	Prereq	Minimum Indoor Air Quality Performance - Meet ASHRAE 62.1-2010	N/A
	Yes				D	Prereq	Environmental Tobacco Smoke Control - Prohibit smoking indoors, restrict outdoor smoking within 25 feet	N/A
	1	1			D	Credit	Enhanced Indoor Air Quality Strategies - Comply with enhanced IAQ strategies	2
	1	1		1	C	Credit	Low-Emitting Materials - Achieve level of compliance for product categories or use budget calculation method	3
	1				C	Credit	Construction IAQM Plan - Implement IAQMP & protect materials and equipment during construction	1
				2	C	Credit	Indoor Air Quality Assessment - Before and during occupancy flush-out OR conduct baseline IAQ testing	2
				1	D	Credit	Thermal Comfort - Meet requirements for ASHRAE 55-2010	1
				2	D	Credit	Interior Lighting - Lighting Controls for 90% plus individual occupant spaces & four lighting quality strategies	2
				3	D	Credit	Daylight - Install glare control devices, daylight autonomy, illuminance calculations, daylight floor area measurement	3
	1				D	Credit	Quality Views - Vision glazing for 75% of regularly occupied floor area, with at least two kinds of view types	1
				1	D	Credit	Acoustic Performance - Meet requirements for HVAC noise, sound isolation, reverberation time, & sound masking	1
	4	2		10		Totals		16

INNOVATION*		1			D	Credit	Innovation: Low Mercury Lighting	1
		1			D	Credit	Innovation: Occupant Comfort Survey (1 point)	1
				1	D	Credit	TBD	1
				1	D	Credit	TBD	1
				1	D	Credit	TBD	1
	1				C	Credit	LEED Accredited Professional	1
	1	2		3		Totals		6

*Innovation in Design includes Exemplary Performance credits

REGIONAL**				1	D	Credit	Optimize Energy Performance (10 Points)	1
	1				D	Credit	Access to Quality Transit (5 Points)	1
		1			D	Credit	BPDO - Raw Materials (1 point)	1
				1	D	Credit	Rainwater Management (3 Points)	1
				1	D	Credit	Outdoor Water Use Reduction (2 points)	1
		1			D	Credit	Indoor Water Use Reduction (1 point)	1
	1	2		3		Totals		4

**only 4 Regional Credits are Applicable

Confirmed Certification Level:	Not Certified
Confirmed + Likely Certification Level:	SILVER
Confirmed + Likely + Maybe Certification Level:	Silver

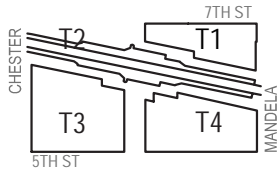
Total Confirmed Points	33
Total Confirmed + Likely Points	54
Total Confirmed + Likely + Maybe Points	54



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WEST OAKLAND STATION T3



NEW HOME RATING SYSTEM, VERSION 7.0

Blueprint Scoresheet

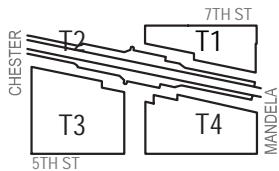


		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	Responsible Party	Blueprint Page No.
		Possible Points							
CALGreen									
Yes	CALGreen Res (REQUIRED)	4		1	1	1	1		
C. LANDSCAPE									
Yes	C1. Plants Grouped by Water Needs (Hydrozoning)	1					1		
	C3. Resource Efficient Landscapes								
Yes	C3.1 No Invasive Species Listed by Cal-IPC	1				1			
Yes	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species	1					3		
E. EXTERIOR									
Yes	E4. Durable and Non-Combustible Cladding Materials	1				1			
	E5. Durable Roofing Materials								
Yes	E5.2 Roofing Warranty for Shingle Roofing	Y	R	R	R	R	R		
F. INSULATION									
	F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content								
Yes	F1.1 Walls and Floors	1				1			
	F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions								
Yes	F2.1 Walls and Floors	1			1				
Yes	F2.2 Ceilings	1			1				
G. PLUMBING									
	G2. Install Water-Efficient Fixtures								
Yes	G2.1 WaterSense Showerheads 1.8 gpm with Matching Compensation Valve	2					2		
Yes	G2.2 WaterSense Bathroom Faucets with 1.0gpm or less	1					1		
1.28 gpf	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams 1.28gpf OR 1.1 gpf	1					2		
H. HEATING, VENTILATION, AND AIR CONDITIONING									
	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality								
Yes	H6.1 Meet ASHRAE Standard 62.2-2010 Ventilation Residential Standards	Y	R	R	R	R	R		
J. BUILDING PERFORMANCE AND TESTING									
	J5. Building Performance Exceeds Title 24 Part 6								
Option 1: Compliance Over Title 24	J5.1 Home Outperforms Title 24	25		25+					
N. COMMUNITY									
	N1. Smart Development								
Yes	N1.1 Infill Site	2	1			1			
	N2. Home(s)/Development Located Near Transit								
Yes	N2.2. Within 1/2 mile of a Major Transit Stop	2	2						
	N3. Pedestrian and Bicycle Access								
	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services	2	2						
10	Enter the number of Tier 1 services								
10	Enter the number of Tier 2 services								
Yes	N9.2 Community Location	2	1		1				
O. OTHER									
Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R		
Yes	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors	2		0.5		1	0.5		
Yes	O7. Green Appraisal Addendum	Y	R	R	R	R	R		
P. DESIGN CONSIDERATIONS									
	P3. Commissioning								
Yes	P3.1 Design Phase	2		1	1				
Yes	P3.2 Construction Phase	3		2	1				
Yes	P3.3 Post-Construction Phase	3		2	1				
Summary									
Total Available Points in Specific Categories		375.5	46	110.5	70	95	54		
Minimum Points Required in Specific Categories		50	2	25	6	6	6		
Total Points Targeted		58	6	31.5	7	6	7.5		



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RELEVANT WEST OAKLAND SPECIFIC PLAN POLICY

1. Enhancements could include mitigating the sound and visual effects of the elevated BART tracks

2. Create an enhanced local transit system involving streetcar, light rail, buses, and/or shuttles to serve employment, business, and community centers.

3. Ensure adequate parking to attract and support development while encouraging alternative travel modes;

4. Improve lighting and street appearance so as to deter dumping and blight.

5. Ensure that new development employs sustainable “green” building practices, facilitates access to pedestrian and transit networks, and enhances streetscapes and open spaces.

6. Promote energy efficiency throughout all aspects of new development and redevelopment.

7. Encourage sustainable development that incorporates innovative approaches to storm water management and air pollution mitigation, and continues to enhance the well-being of residents of West Oakland.

8. Recognize and market the artisan and arts community for their contribution to social, cultural, youth education and the economic development in West Oakland.

9. Establish new grocery stores in West Oakland that can serve the un-met food needs of current and future West Oakland consumers. A grocery anchor can also create a customer flow that can be leveraged to successfully attract other retail shops that can then draw patrons from the anchor tenant’s shoppers. A safe and pleasant pedestrian environment will be necessary, especially near the transit station.

10. Neighborhood amenities such as benches, kiosks, lighting, and outdoor cafes are needed to enrich and enhance the urban setting.

NOTES ON COMPLIANCE WITH GUIDELINES

1. Residential and commercial buildings will be constructed with sound insulating window and wall construction to meet Title 24 requirements.

2. Access plan is designed to accommodate maximum flexibility of current and future transit modes. This includes planned curb space for AC Transit buses and curb drop-off for transit riders. The site has been designed to maximize the pedestrian access from all surrounding blocks. Bike access is enhanced with dedicated bike tracks on the 7th Street and Mandela Street sides of the project.

3. Site design complies. The on-site parking exceeds minimum requirements for proposed uses and will, provide adequate parking for the residential, commercial and retail uses on site. The site plan is also designed to maximize the use of transit and non-vehicular use of and access to the site. The Site design is planned to encourage pedestrian and bike access to the BART station and the public uses on site.

4. The Lighting plan will be designed to create well lighted plazas and pedestrian pathways throughout the site. The visual security of all pedestrian spaces within the site is facilitated by locating retail and other public activities along all edges of the development.

5. All new buildings and the site design meet or exceed requirements for energy efficiency and sustainable development. By developing an infill site with a high density residential and commercial uses, this development is “green” in terms of land use. The site plan has been designed to maximize transit access, pedestrian and bike access to the site and to the BART station.

6.All new buildings and the site are designed to incorporate energy efficient systems and design standards. The buildings will be designed to meet or exceed local Green Building standards. Measures employed during the design and construction of the project will contribute additional environmental benefits. These measures will promote occupant comfort while conserving water, energy, water and natural resources.

7. Site is designed to provide innovative strategies policy for achieving storm water management on site. The overall site design will meet or exceed city standard for stormwater management and air pollution mitigation. The master plan concept is designed to encourage the overall comfort and wellbeing of residents and visitors to the site. The overall plan concept will promote occupant comfort while conserving water, energy, water and natural resources.

8. The project will incorporate significant and innovative arts, education and cultural programing on site. The open spaces will be programed with year round cultural, community and arts events that encourages use of the site, and supports the involvement of local arts and artists within the West Oakland community. This cultural, education and arts programming is incorporated into the overall design, leasing and operations to encourage and incubate the arts in West Oakland.

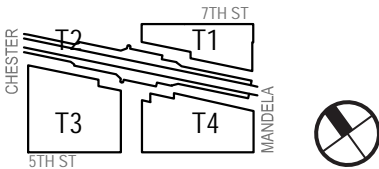
9. It is anticipated food, grocery or other neighborhood serving retail will be incorporated into the tenant leasing of the ground floor retail. Planning incorporates large retail spaces with loading and transit access that are conducive to these neighborhood serving uses. The pedestrian environment is designed to encourage local shopping by planning safe, active pedestrian spaces and access to promote local community use and a quality shopping pedestrian experience.

10.The site design is designed to facilitate flexible community uses including: recreation, community events, farmers markets, makers markets, arts events, festivals and other events that promote this as a destination for the local and regional community. Neighborhood amenities, such as seating, lighting, retail kiosks, cafes, maker spaces and other activated uses will be incorporated into the pedestrian edges of all public edges of the development. This will ensure that the overall development becomes a year round and activated urban community destination.



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SPECIFIC PLAN
GUIDELINE
CHECKLIST

SHEET:
A-00.15.1

11. Potential conflicts between vehicles and pedestrians in and around the station will need to be eliminated.

12. Mandela/7th 1: Site Planning. Close to the West Oakland BART station, a large civic plaza should be created near the intersection of Mandela Parkway and 7th Street that is surrounded by ground floors that include publicly accessible uses such as restaurants, retail, building lobbies, galleries, and studios.

13. Mandela/7th -2: Massing, Height. Taller buildings are encouraged along Mandela Parkway and in particular to mark intersection of 7th St and Mandela Parkway.

14. Mandela/7th- 3: Height. It is encouraged that taller buildings mark the intersection of 7th Street and Mandela Parkway.

15. Mandela /7th -4: Fenestration. Ground floors should have large openings and a high degree of transparency in the blocks adjacent to the West Oakland BART Station.

16. Mandela/7th - 5: Landscape. Landscaping should be coordinated with that of the existing public landscaped areas along Mandela Parkway and should include a similarly high quality of planting and paving.

17. 7th Street TOD Env-1: New residences within the West Oakland BART Station TOD area will be subject to Title 24 of the California Code of Regulations, which requires an interior noise standard of 45 dBA DNL in any habitable room, and requires an acoustical analysis demonstrating how dwelling units have been designed to meet this interior standard. To meet the interior noise standard, a noise level reduction of up to nearly 35 dBA will likely be necessary from the exterior façades of the buildings facing towards the I-880 freeway and BART tracks and station.

18. 7th Street TOD Env.-4: New development of all sensitive receptor uses at the West Oakland BART Station TOD sites must mitigate the anticipated health risks and air quality hazards at this location through implementation of Best Management Practices (BMPs) for air quality.

11. The Site Circulation and Access plan is designed to coordinate the vehicle and pedestrian access and use of the site. The design intentionally mitigates potential vehicular and pedestrian by minimizing vehicular traffic Parking is restricted to non-peDESTALING areas. Building loading areas are located so as to minimize pedestrian conflicts, and to minimize conflicts with transit and other access modes to the site.

12. Site design complies. A larger civic plaza and pedestrian passages have been designed into the site design to celebrate the central location of the site at the gateway to the BART station and to enhance the Mandela corridor. . This plaza is located central to the overall site in order to increase its public importance, public access, and public use for community, arts and cultural events. The central plaza is visible and accessible from Mandela and 7th Street.

13. Site design complies. Larger buildings are located on 7th street and Mandela. A signature tower will be located at the intersection of Mandela and 7th Street to create a visual icon for the West Oakland community. This massing will reinforce the importance of Mandela and 7th Street corridors.

14. Site design complies. Larger buildings are located on 7th street and Mandela. This massing will reinforce the importance of Mandela and 7th Street corridors. The urban design of the overall site locates smaller buildings along 5th and Chester Streets to transition the scale lower to the south and west portions of the site.

15. Site design complies. Ground floors have high floor to floor heights and retail with high proportion of glass store front for good retail transparency. The ground floor retail spaces are planned at all building ground floors to provide activated street edges, and to activate the interior plazas and pedestrian passages. Quality materials and varied design will be incorporated into the ground floor retail design to create visual interest for shoppers and pedestrians using the site.

16. Site design complies. Landscape plan is designed to enhance 7th street corridor and to create a high quality pedestrian experience and civic prominence. The existing trees will be replaced because of conflicts with the access plan. The new tree planting will complement the overall landscape strategy of the 7th Street corridor to ensure a continuous, interesting and varied visual experience. Planting and paving materials will be of high quality and will be aesthetically designed to differentiate unique spaces within the pedestrian plazas, promote visual access to the BART station entrance, and to create opportunities for cultural, community and arts events. The landscape plan is designed to create a visually significant destination and center for the West Oakland community and users of the transit hub.

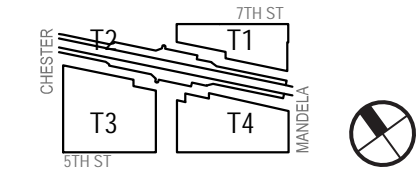
17. Residential and commercial buildings will be constructed with code complying sound insulating window and wall construction to meet Title 24 requirements. This includes required sound insulation from the I-880 freeway to ensure development meets necessary noise reduction criteria. The station location has reduced BART noise due to low speed of trains at this station.

18. Site design complies. The building design will use practical and cost effective Best Management Practices (BPM) practices in the design of all structures and open space to mitigate the anticipated health risks and air quality hazards. It is also the intent of the overall plan to facilitate dramatic increases in transit use which will have a major impact on the decrease in air quality hazards in the community.

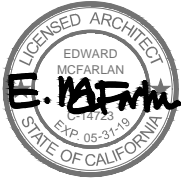


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19. Provide a more effective and substantial transition in building heights nearest to the South Prescott neighborhood, with buildings nearest to this neighborhood as low as 2-stories.

20. Ensure that new development projects along 7th Street are of compatible height and mass as the existing, newer developments within Mandela Gateway.

21. Target 15% of the new units to be built in the Plan Area between now and 2035 for low and moderate income households

22. Neighborhood Commercial 3: Height. Except when located at important intersections such as Mandela Parkway and 7th Street, buildings over 5 stories in height should generally include a significant step-back along commercial arterial roadways to harmonize the scale of new buildings with the existing neighborhood.

23. Neighborhood Commercial 8: Landscape. Publicly accessible outdoor space areas should be comprehensively designed with high quality pavement, landscaping, and seating, and are encouraged at the following locations: Mandela and 7th Street.

24. Intent: The intersection of Mandela Parkway and 7th Street needs to establish an important civic focus adjacent to the West Oakland BART station. The following Design Guidelines apply to properties immediately fronting onto the intersection of Mandela Parkway and 7th Street (see Figure A-12 and A-13).

19. Site Design complies. The project places the maximum height along Mandela and 7th Street, and transitions down to 5th Street and Chester Street. The Chester Street frontage has been designed with 3 level residential buildings that reflect more of the scale and detail of the structures of the South Prescott neighborhood, to further mitigate the height of the larger structures and to create a urban scale transition to the smaller structures in the neighborhood. It is the intent to use a more modern design vocabulary along Chester Street that uses scale and fenestration elements that relate to the neighboring structures.

20. Site design complies. The base of the larger buildings has been articulated with a cornice height, materials and a variety of window fenestrations that intentionally scales the buildings to relate to the lower existing structures along 7th Street and 5th Street neighborhood context. These larger buildings are designed with a clear separation of lower tower and upper towers to differentiate the higher structures, and to emphasize the importance of the lower buildings that create the activated street elevations.

21. Site complies. The development plan will meet or exceed the requirement for affordable units on-site. .

22. Site design complies. The lower 5 floors of the high-rise buildings have been articulated with a cornice and clear differentiation between the lower and upper portions of the building. The building massing is designed to provide a varied base and street elevation that relates to the smaller scale of the surrounding buildings along the 7th Street corridor. Residential buildings along 5th Street exceed the 5-floor step-back in order to have a well- proportioned street façade. The building base massing to provide a variety of scales to provide a visually active street scape, and to relate to the varied neighborhood context.

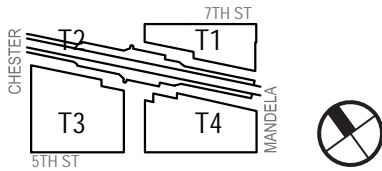
23. Site design complies. The landscape materials are designed with high quality stone, brick, finished concrete and other materials to create a high quality public pedestrian experience and to maximize the types of uses that can occur on site. The landscape will be designed to relate to a larger vision for the 7th Street corridor. The new tree planting will complement the overall landscape strategy of the 7th Street corridor to ensure a continuous, interesting and varied visual experience. Planting and paving materials will be of high quality and will be aesthetically designed to differentiate unique spaces within the pedestrian plazas, promote visual access to the BART station entrance, and to create opportunities for cultural, community and arts events. The landscape plan is designed to create a visually significant destination and center for the West Oakland community and users of the transit hub.

24.Site design complies. The site is designed with a series of important civic open spaces, including: major civic plaza at 7th Street fronting BART Station entrance; Pedestrian Plaza replacing the vacated Center Street, Pedestrian Paseo along and under the trackway, expanded sidewalks and building arcades along 7th Street, expanded pedestrian sidewalks at 5th Street. These pedestrian spaces are designed with the highest level of decorative planting, paving, flexible seating and night lighting to create a community hub and activated social center for the community, and to maximize access to BART and associated transit modes.



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2. Access plan is designed to accommodate maximum flexibility of current and future transit modes. This includes planned curb space for AC Transit buses and curb drop-off for transit riders. The site has been designed to maximize the pedestrian access from all surrounding blocks. Bike access is enhanced with dedicated bike tracks on the 7th Street and Mandela Street sides of the project.

3. Site design complies. The on-site parking exceeds minimum requirements for proposed uses and will, provide adequate parking for the residential, commercial and retail uses on site. The site plan is also designed to maximize the use of transit and non-vehicular use of and access to the site. The Site design is planned to encourage pedestrian and bike access to the BART station and the public uses on site.

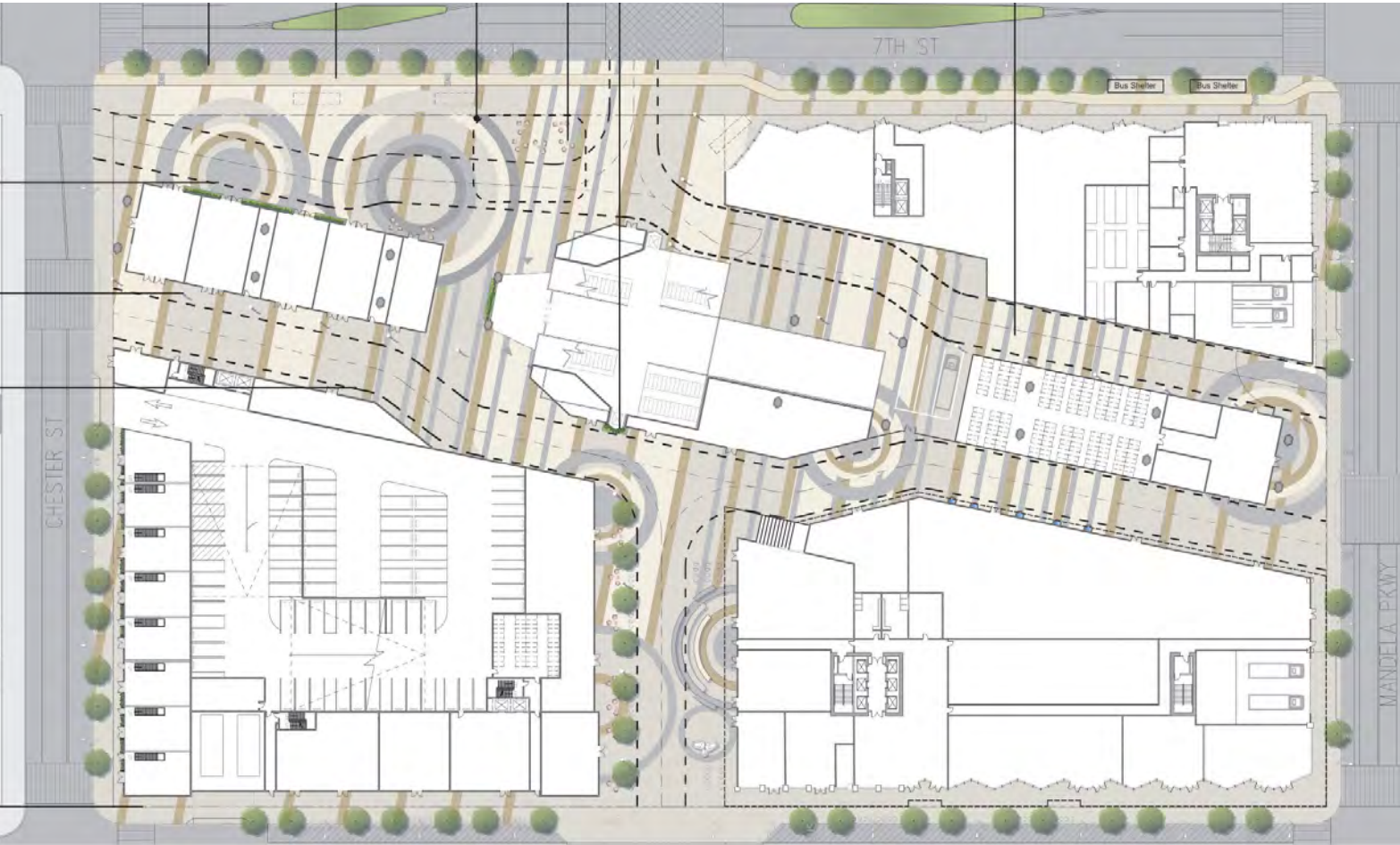
4. The Lighting plan will be designed to create well lighted plazas and pedestrian pathways throughout the site. The visual security of all pedestrian spaces within the site is facilitated by locating retail and other public activities along all edges of the development.

8. The project will incorporate significant and innovative arts, education and cultural programing on site. The open spaces will be prograded with year round cultural, community and arts events that encourages use of the site, and supports the involvement of local arts and artists within the West Oakland community. This cultural, education and arts programming is incorporated into the overall design, leasing and operations to encourage and incubate the arts in West Oakland.

9. It is anticipated food, grocery or other neighborhood serving retail will be incorporated into the tenant leasing of the ground floor retail. Planning incorporates large retail spaces with loading and transit access that are conducive to these neighborhood serving uses. The pedestrian environment is designed to encourage local shopping by planning safe, active pedestrian spaces and access to promote local community use and a quality shopping pedestrian experience.

10. The site design is designed to facilitate flexible community uses including: recreation, community events, farmers markets, makers markets, arts events, festivals and other events that promote this as a destination for the local and regional community. Neighborhood amenities, such as seating, lighting, retail kiosks, cafes, maker spaces and other activated uses will be incorporated into the pedestrian edges of all public edges of the development. This will ensure that the overall development becomes a year round and activated urban community destination.

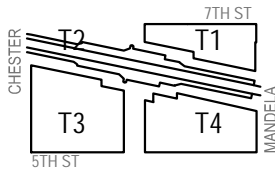
11. The Site Circulation and Access plan is designed to coordinate the vehicle and pedestrian access and use of the site. The design intentionally mitigates potential vehicular and pedestrian by minimizing vehicular traffic. Parking is restricted to non-pedestaling areas. Building loading areas are located so as to minimize pedestrian conflicts, and to minimize conflicts with transit and other access modes to the site.



HENSEL PHELPS

WEST OAKLAND BART

1451 7th St, Oakland,
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JRDV Architects, Inc
The Cathedral Building
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510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: January 18, 2019

DESIGN GUIDELINE CHECKLIST

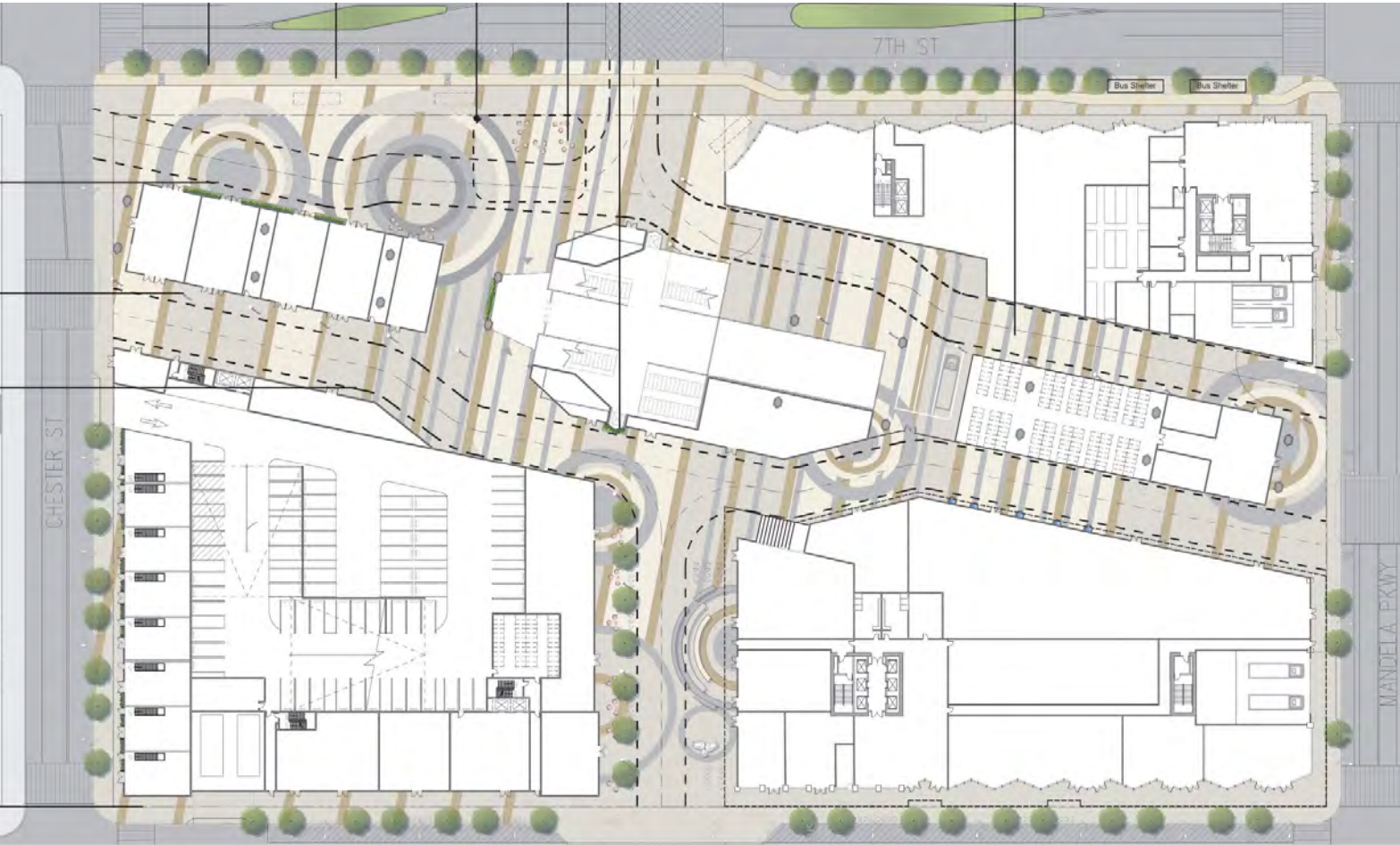
SHEET:
A-00.15.4

12. Site design complies. A larger civic plaza and pedestrian passages have been designed into the site design to celebrate the central location of the site at the gateway to the BART station and to enhance the Mandela corridor. . This plaza is located central to the overall site in order to increase its public importance, public access, and public use for community, arts and cultural events. The central plaza is visible and accessible from Mandela and 7th Street.

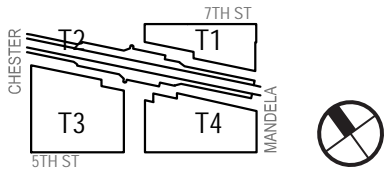
16. Site design complies. Landscape plan is designed to enhance 7th street corridor and to create a high quality pedestrian experience and civic prominence. The existing trees will be replaced because of conflicts with the access plan. The new tree planting will complement the overall landscape strategy of the 7th Street corridor to ensure a continuous, interesting and varied visual experience. Planting and paving materials will be of high quality and will be aesthetically designed to differentiate unique spaces within the pedestrian plazas, promote visual access to the BART station entrance, and to create opportunities for cultural, community and arts events. The landscape plan is designed to create a visually significant destination and center for the West Oakland community and users of the transit hub.

23. Site design complies. The landscape materials are designed with high quality stone, brick, finished concrete and other materials to create a high quality public pedestrian experience and to maximize the types of uses that can occur on site. The landscape will be designed to relate to a larger vision for the 7th Street corridor. The new tree planting will complement the overall landscape strategy of the 7th Street corridor to ensure a continuous, interesting and varied visual experience. Planting and paving materials will be of high quality and will be aesthetically designed to differentiate unique spaces within the pedestrian plazas, promote visual access to the BART station entrance, and to create opportunities for cultural, community and arts events. The landscape plan is designed to create a visually significant destination and center for the West Oakland community and users of the transit hub.

24. Site design complies. The site is designed with a series of important civic open spaces, including: major civic plaza at 7th Street fronting BART Station entrance; Pedestrian Plaza replacing the vacated Center Street, Pedestrian Paseo along and under the trackway, expanded sidewalks and building arcades along 7th Street, expanded pedestrian sidewalks at 5th Street. These pedestrian spaces are designed with the highest level of decorative planting, paving, flexible seating and night lighting to create a community hub and activated social center for the community, and to maximize access to BART and associated transit modes.



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PROJ. #	168-153 WO BART
DATE:	January 18, 2019

DESIGN
GUIDELINE
CHECKLIST

SHEET:	A-00.15.5
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13. Site design complies. Larger buildings are located on 7th street and Mandela. A signature tower will be located at the intersection of Mandela and 7th Street to create a visual icon for the West Oakland community. This massing will reinforce the importance of Mandela and 7th Street corridors.

14. Site design complies. Larger buildings are located on 7th street and Mandela. This massing will reinforce the importance of Mandela and 7th Street corridors. The urban design of the overall site locates smaller buildings along 5th and Chester Streets to transition the scale lower to the south and west portions of the site.

19. Site Design complies. The project places the maximum height along Mandela and 7th Street, and transitions down to 5th Street and Chester Street. The Chester Street frontage has been designed with 3 level residential buildings that reflect more of the scale and detail of the structures of the South Prescot neighborhood, to further mitigate the height of the larger structures and to create a urban scale transition to the smaller structures in the neighborhood. It is the intent to use a more modern design vocabulary along Chester Street that uses scale and fenestration elements that relate to the neighboring structures.

17. Residential and commercial buildings will be constructed with code complying sound insulating window and wall construction to meet Title 24 requirements. This includes required sound insulation from the I-880 freeway to ensure development meets necessary noise reduction criteria. The station location has reduced BART noise due to low speed of trains at this station.

22. Site design complies. The lower 5 floors of the high-rise buildings have been articulated with a cornice and clear differentiation between the lower and upper portions of the building. The building massing is designed to provide a varied base and street elevation that relates to the smaller scale of the surrounding buildings along the 7th Street corridor. Residential buildings along 5th Street exceed the 5-floor step-back in order to have a well- proportioned street façade. The building base massing to provide a variety of scales to provide a visually active street scape, and to relate to the varied neighborhood context.

20. Site design complies. The base of the larger buildings has been articulated with a cornice height, materials and a variety of window fenestrations that intentionally scales the buildings to relate to the lower existing structures along 7th Street and 5th Street neighborhood context. These larger buildings are designed with a clear separation of lower tower and upper towers to differentiate the higher structures, and to emphasize the importance of the lower buildings that create the activated street elevations.

15. Site design complies. Ground floors have high floor to floor heights and retail with high proportion of glass store front for good retail transparency. The ground floor retail spaces are planned at all building ground floors to provide activated street edges, and to activate the interior plazas and pedestrian passages. Quality materials and varied design will be incorporated into the ground floor retail design to create visual interest for shoppers and pedestrians using the site.



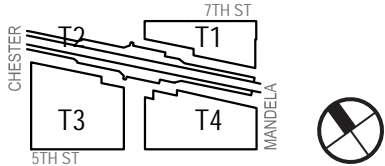
7TH STREET ELEVATION



5TH STREET ELEVATION

WEST OAKLAND BART

1451 7th St, Oakland,
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INTERNATIONAL
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BKF100+
YEARS
ENGINEERS, SURVEYORS, PLANNERS
stök
PGAdesign
LANDSCAPE ARCHITECTS

PROJ. # 168-153 WO BART
DATE: January 18, 2019

DESIGN GUIDELINE CHECKLIST

SHEET:
A-00.15.6

14. Site design complies. Larger buildings are located on 7th street and Mandela. This massing will reinforce the importance of Mandela and 7th Street corridors. The urban design of the overall site locates smaller buildings along 5th and Chester Streets to transition the scale lower to the south and west portions of the site.

18. Site design complies. The building design will use practical and cost effective Best Management Practices (BPM) practices in the design of all structures and open space to mitigate the anticipated health risks and air quality hazards. It is also the intent of the overall plan to facilitate dramatic increases in transit use which will have a major impact on the decrease in air quality hazards in the community.

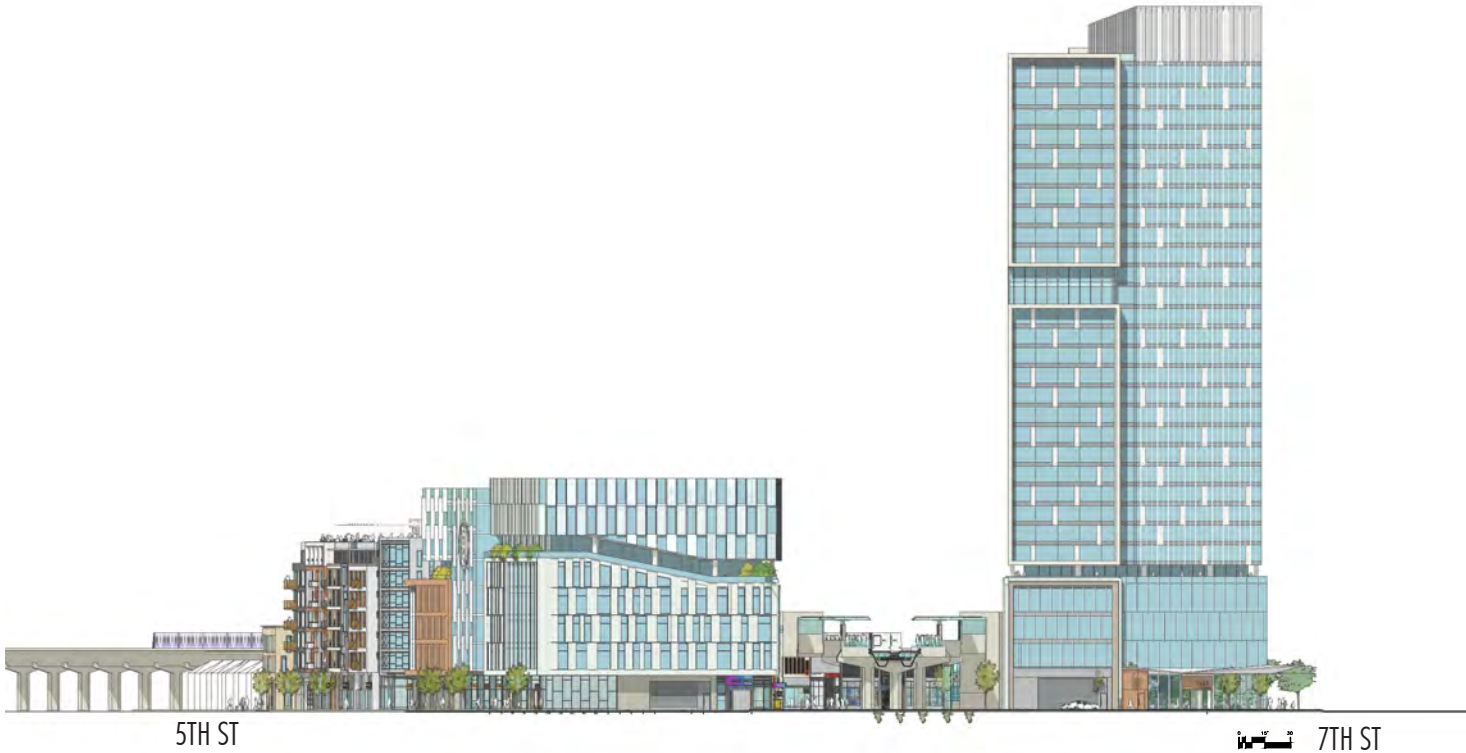
19. Site Design complies. The project places the maximum height along Mandela and 7th Street, and transitions down to 5th Street and Chester Street. The Chester Street frontage has been designed with 3 level residential buildings that reflect more of the scale and detail of the structures of the South Prescott neighborhood, to further mitigate the height of the larger structures and to create a urban scale transition to the smaller structures in the neighborhood. It is the intent to use a more modern design vocabulary along Chester Street that uses scale and fenestration elements that relate to the neighboring structures.

20. Site design complies. The base of the larger buildings has been articulated with a cornice height, materials and a variety of window fenestrations that intentionally scales the buildings to relate to the lower existing structures along 7th Street and 5th Street neighborhood context. These larger buildings are designed with a clear separation of lower tower and upper towers to differentiate the higher structures, and to emphasize the importance of the lower buildings that create the activated street elevations.

22. Site design complies. The lower 5 floors of the high-rise buildings have been articulated with a cornice and clear differentiation between the lower and upper portions of the building. The building massing is designed to provide a varied base and street elevation that relates to the smaller scale of the surrounding buildings along the 7th Street corridor. Residential buildings along 5th Street exceed the 5-floor step-back in order to have a well- proportioned street façade. The building base massing to provide a variety of scales to provide a visually active street scape, and to relate to the varied neighborhood context.

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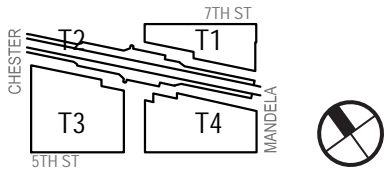
MANDELA PKWY ELEVATION



CHESTER STREET ELEVATION



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PROJ. # 168-153 WO BART
DATE: January 18, 2019

DESIGN
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CHECKLIST

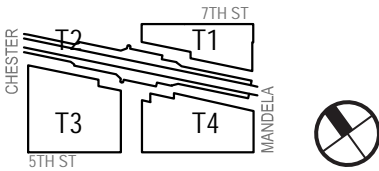
SHEET:
A-00.15.7

22. Site design complies. The lower 5 floors of the high-rise buildings have been articulated with a cornice and clear differentiation between the lower and upper portions of the building. The building massing is designed to provide a varied base and street elevation that relates to the smaller scale of the surrounding buildings along the 7th Street corridor. Residential buildings along 5th Street exceed the 5-floor step-back in order to have a well- proportioned street façade. The building base massing to provide a variety of scales to provide a visually active street scape, and to relate to the varied neighborhood context.

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WEST OAKLAND
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PROJ. # 168-153 WO BART
DATE: January 18, 2019

DESIGN
GUIDELINE
CHECKLIST

SHEET:
A-00.15.8

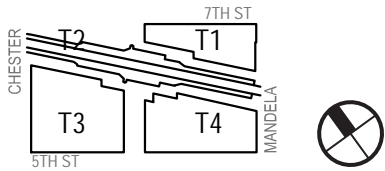


LOCATION OF PROJECT SITE WITHIN WEST OAKLAND NEIGHBORHOOD



5 ACRE PROJECT SITE

WEST OAKLAND BART 1451 7th St, Oakland, CA 94607







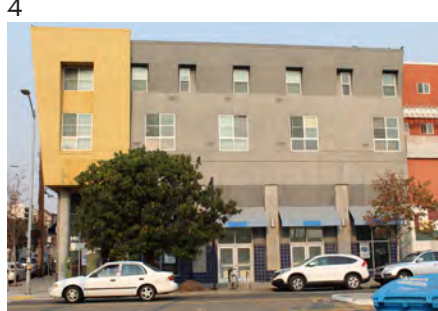

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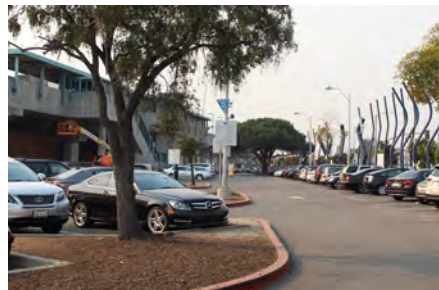
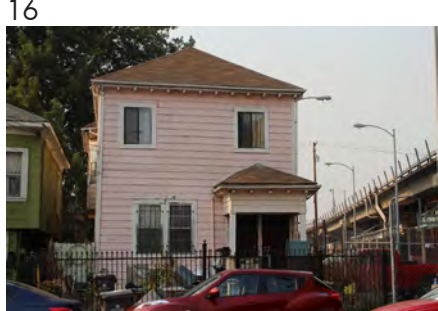
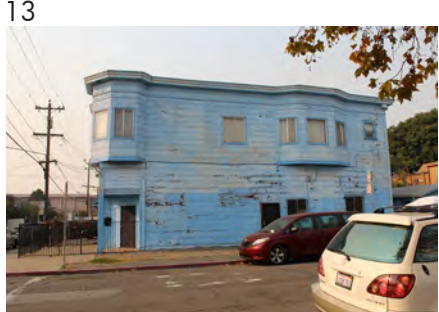
PROJ. # 168-153 WO BART
 DATE: January 18, 2019

CONTEXT MAP

SHEET:
 A-00.17

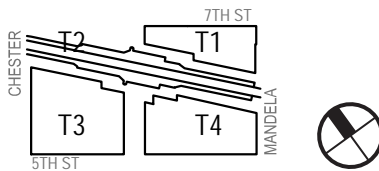


SITE



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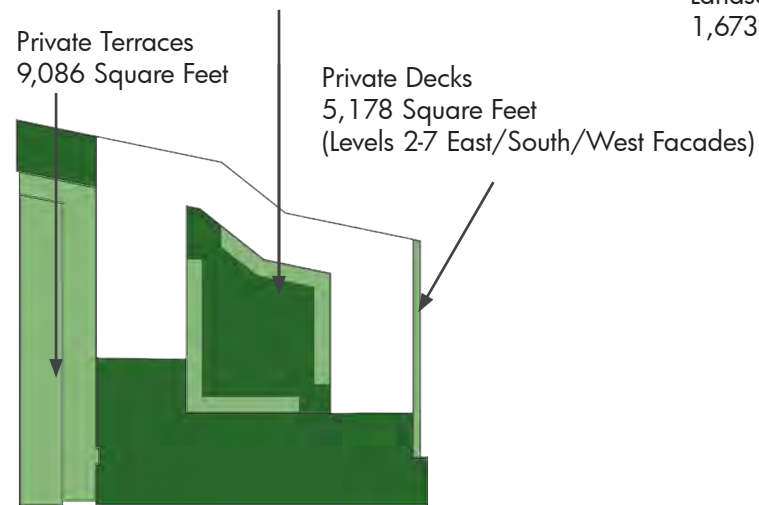


PROJ. # 168-153 WO BART
DATE: January 18, 2019

CONTEXT
PHOTOS

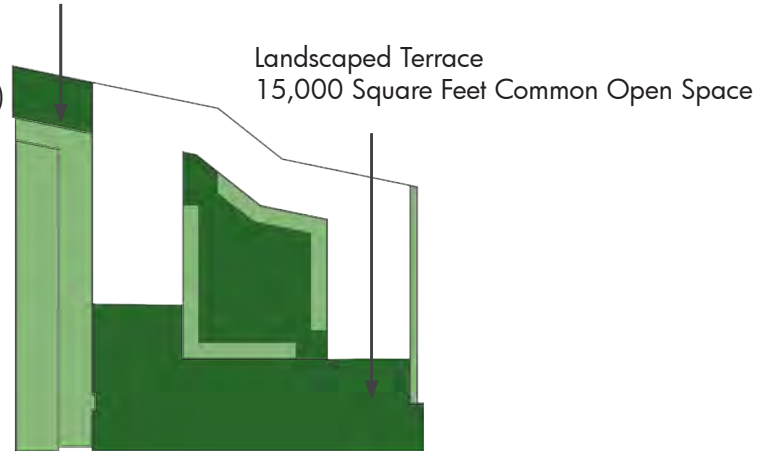
SHEET: A-00.18

Landscaped Courtyard
6,055 Square Feet Common Open Space
3,750 Private Space



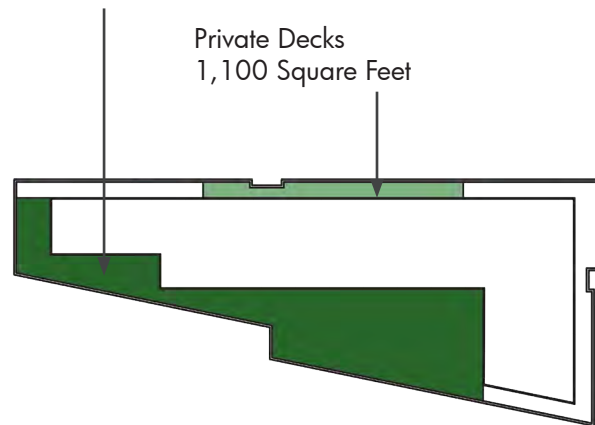
BUILDING T3 - LEVEL 3 - AMENITY

Landscaped Terrace
1,673 Square Feet Common Open Space



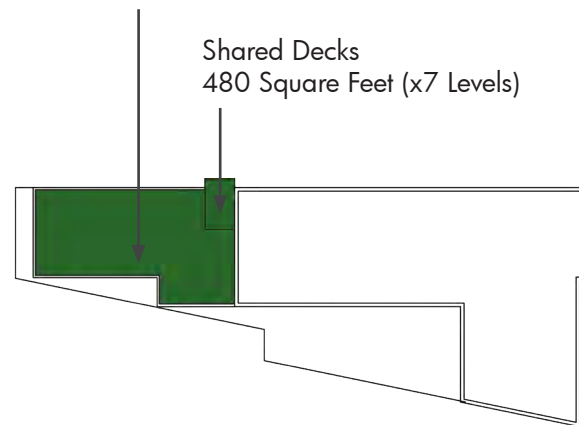
BUILDING T3 - LEVEL 7 - AMENITY

Landscaped Terrace
7,830 Square Feet Common Open Space

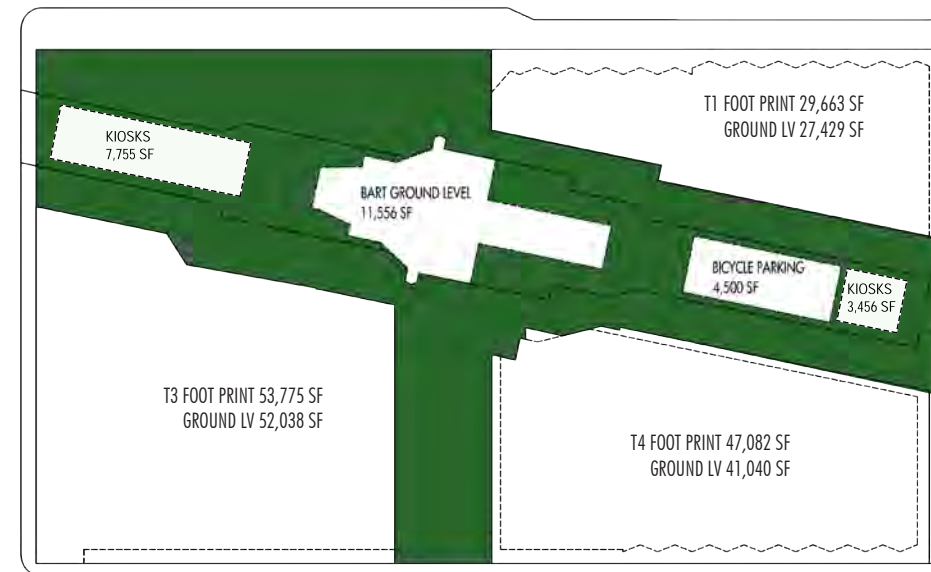


BUILDING T1 - LEVEL 5 - AMENITY

Landscaped Terrace
5,712 Square Feet Common Open Space



BUILDING T1 - LEVEL 18 - AMENITY



GROUND LEVEL - OPEN SPACE 85,793 SF

Ground Level

Level 1 - Public Open Space 85,793 Square Feet

Building T3

Level 3 - Common Use Courtyard 6,055 Square Feet

Level 7 - Common Use Terrace 1,673 Square Feet

Roof Deck - Common Use Terrace 15,000 Square Feet

Levels 2-7 Private Decks & Terraces - 18,014 (x2) Square Feet

Building T1

Level 5 - Common Use Terrace 7,830 Square Feet

Level 5 - Private Decks 1,100 (x2) Square Feet

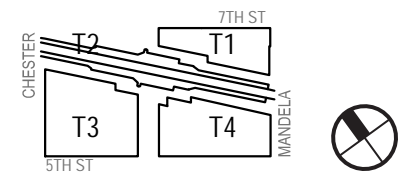
Level 28 - Common Use Terrace 5,712 Square Feet

Common Use Decks - 3,360 Square Feet



WEST OAKLAND BART

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CA 94607



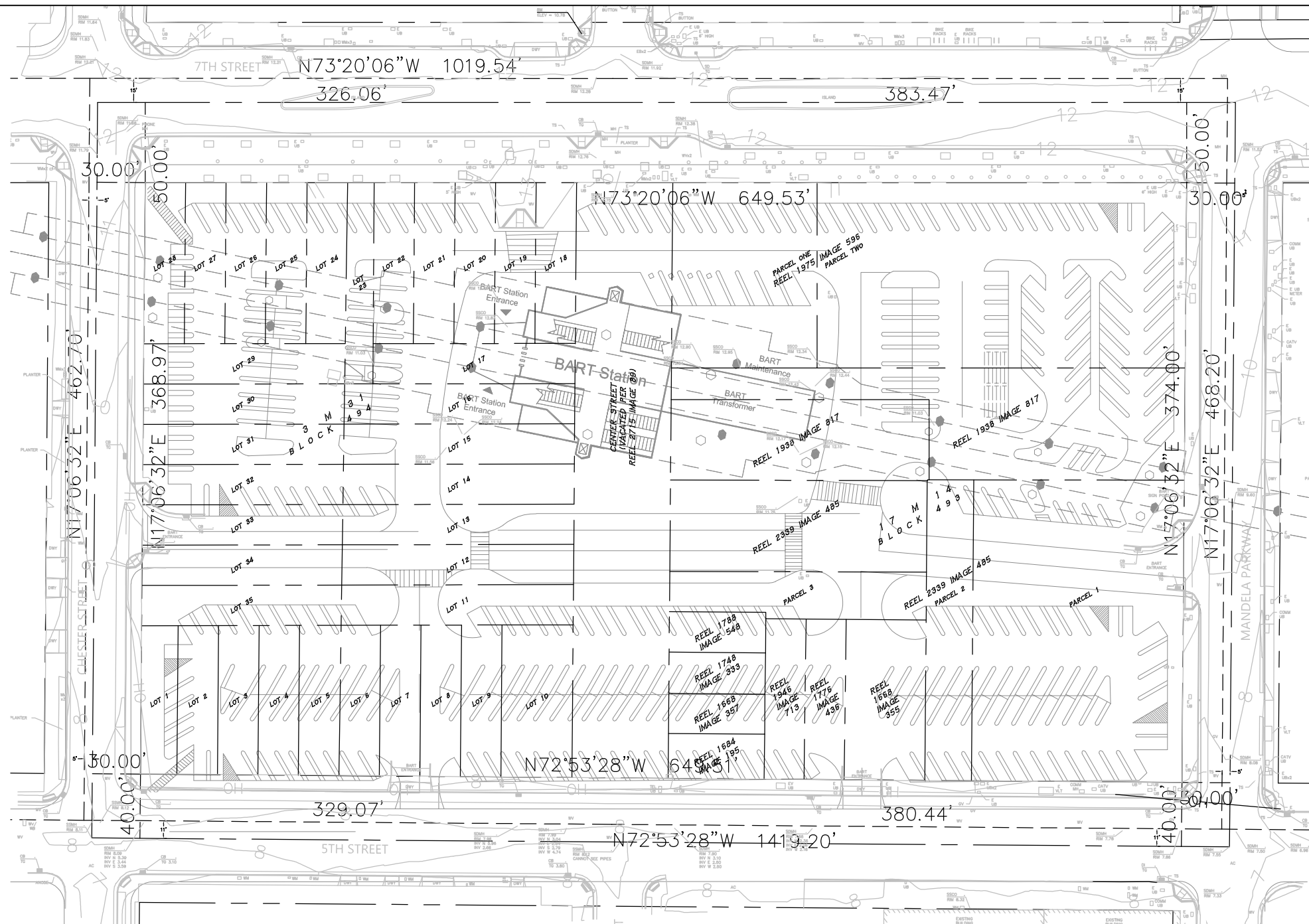
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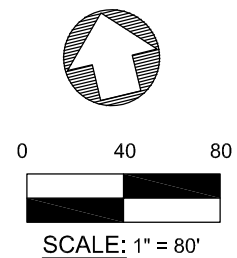
PROJ. # 168-153 WO BART
DATE: January 18, 2019

OPEN SPACE ANALYSIS

SHEET:
A-00.19



NOTE:
EXISTING BOUNDARY FROM RECORD INFORMATION FOR
PLANNING PURPOSES ONLY



STAMP



WEST OAKLAND

BART

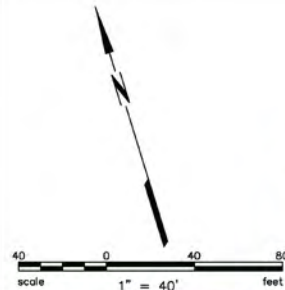
1451 7th St, Oakland,
CA 94607

PROJ. # 168-153 WO BART
DATE: January 28, 19

EXISTING
CONDITIONS
PLAN

SHEET:

C1.00



BASIS OF BEARINGS

THE BEARING OF NORTH 72°53'28" WEST BETWEEN FOUND MONUMENTS ON 5TH AVENUE BETWEEN HENRY STREET AND KIRKHAM STREET AS SHOWN ON THAT RECORD OF SURVEY, R/S 1687, FILED AUGUST 7, 2000 IN BOOK 25 OF RECORDS OF SURVEY AT PAGES 58-69, INCLUSIVE, ALAMEDA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

THE ELEVATIONS SHOWN HEREON ARE BASED ON A FOUND CITY OF OAKLAND BENCHMARK, DESIGNATION 25/H, BEING A BRONZE DISK STAMPED, "SEC 25 STA H," ELEVATION 10.784 FEET (DATUM = MEAN SEA LEVEL).

NOTES

1. THE SURVEY WAS CONDUCTED IN NOVEMBER OF 2018.
2. ALL UNITS ARE IN US SURVEY FEET AND DECIMALS THEREOF.
3. THE TOPOGRAPHIC MAPPING SHOWN HEREON IS A WORKING DOCUMENT. THE TOPOGRAPHIC SURVEY AND MAPPING IS IN PROGRESS AND HAS NOT BEEN COMPLETED OR FINALIZED.

SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.

KEVIN STEIN, P.L.S. NO. 9028

DATE:



DATE:

Date:	12/06/2018	No.	Revisions
Scale:	AS SHOWN		
Design:	N/A		
Drawn:	ADD		
Approved:	KS		
Job No:	180384		

Drawing Number:

180384

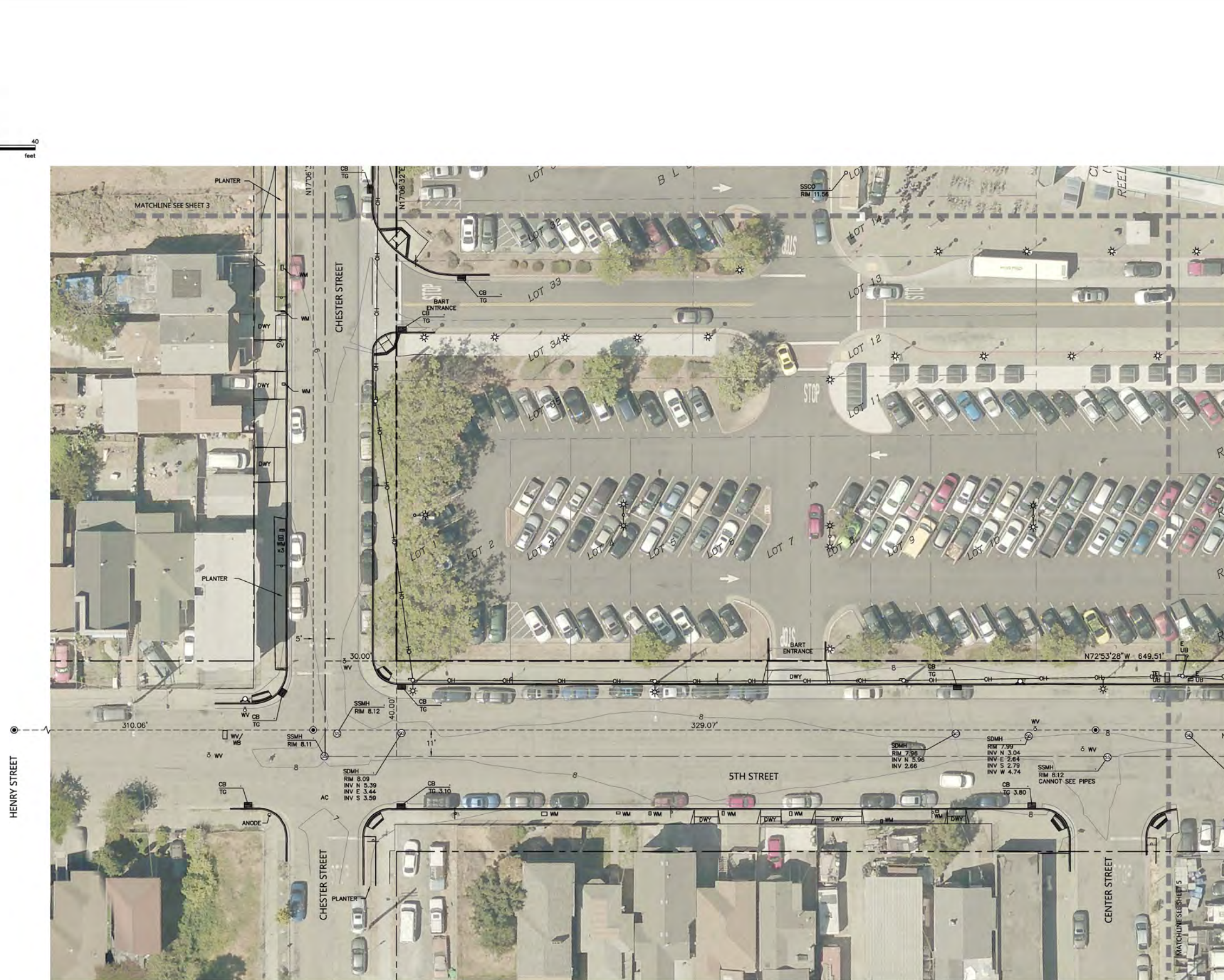
1 OF 5

Date:	12/06/2018	No.	Revisions
Scale:	AS SHOWN		
Design:	N/A		
Drawn:	ADD		
Approved:	KS		
Job No.	100784		

Drawing Number

180384

2 OF 5



PROGRAM NAME: K:\2018\180364_West_Oakland_BART_TCO_Survey\SUR\Mapping\Topo\180364_V-TOPO.dwg

SYMBOLS & LEGEND

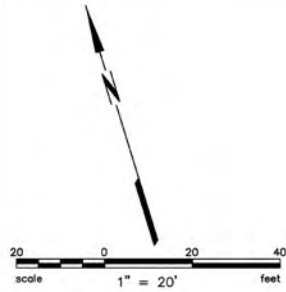
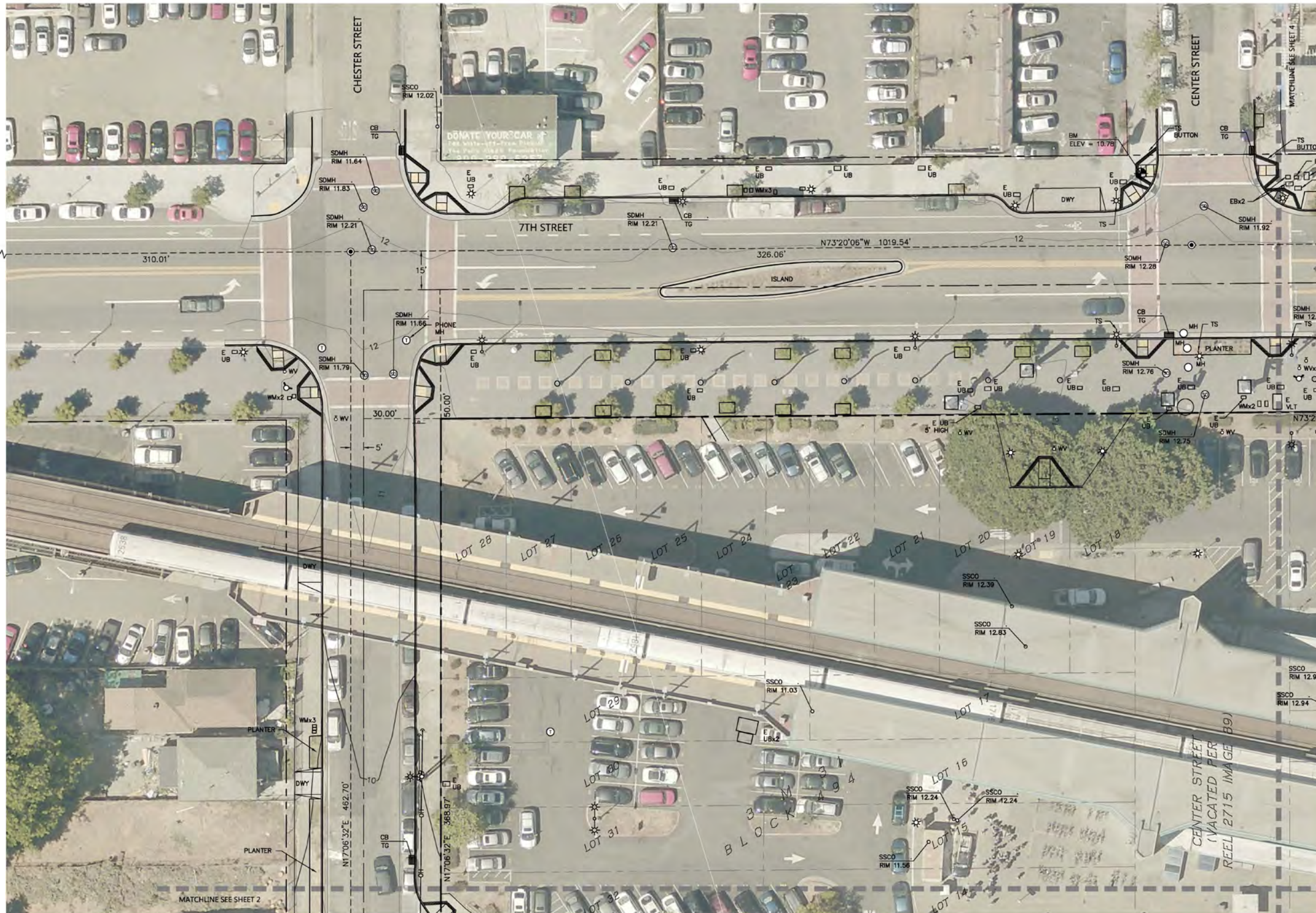
EXISTING

- FOUND CITY OF OAKLAND MONUMENT
- VALVE
- FIRE HYDRANT
- BACKFLOW PREVENTION DEVICE
- RISER
- SIGN
- STREET LIGHT (UNLESS NOTED OTHERWISE)
- LIGHT POLE (UNLESS NOTED OTHERWISE)
- GUY ANCHOR
- UTILITY POLE
- TELEPHONE MANHOLE
- MANHOLE

- SUBJECT PROPERTY
- ADJOINING LOT
- CENTERLINE
- SURVEY TIE
- STORM DRAIN
- SANITARY SEWER
- OVERHEAD UTILITY LINE
- CONCRETE
- DETECTABLE WARNING

ABBREVIATIONS

- AC ASPHALT CONCRETE
- CA CABLE
- CB CATCH BASIN
- CO CLEAN OUT
- COMM COMMUNICATION
- CONC CONCRETE
- DI DROP INLET
- DWY DRIVEWAY
- E ELECTRIC
- EP EDGE OF PAVEMENT
- FL SURFACE FLOWLINE
- G GAS
- GYP GUY POLE
- INV BOTTOM INSIDE OF PIPE
- LG LIP OF GUTTER
- M METER
- MH MANHOLE
- OH OVERHEAD UTILITY LINE
- SD STORM DRAIN
- SL STREETLIGHT
- SS SANITARY SEWER
- TC TOP FACE OF CURB
- TEL TELECOMMUNICATION LINE
- TG TOP OF GRATE
- TS TRAFFIC SIGNAL
- TV TELEVISION
- UB UTILITY BOX
- V VALVE
- VLT VAULT
- W WATER
- WM WATER METER



Revisions	
No.	
Date:	12/06/2018
Scale:	AS SHOWN
Design:	N/A
Drawn:	ADD
Approved:	KS
Job No:	180384

Drawing Number:

180384

SYMBOLS & LEGEND

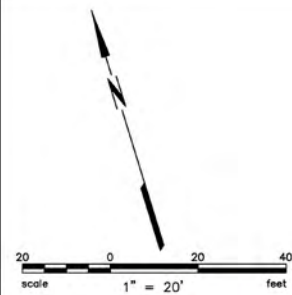
EXISTING

- FOUND CITY OF OAKLAND MONUMENT
- VALVE
- FIRE HYDRANT
- BACKFLOW PREVENTION DEVICE
- RISER
- SIGN
- STREET LIGHT (UNLESS NOTED OTHERWISE)
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- MANHOLE

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- CENTERLINE
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- OVERHEAD UTILITY LINE
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- DETECTABLE WARNING

ABBREVIATIONS













- AC ASPHALT CONCRETE
- CA CABLE
- CB CATCH BASIN
- CO CLEAN OUT
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- TG TOP OF GRATE
- TS TRAFFIC SIGNAL
- TV TELEVISION
- UB UTILITY BOX
- V VALVE
- VLT VAULT
- W WATER
- WM WATER METER














SYMBOLS & LEGEND

EXISTING

	FOUND CITY OF OAKLAND MONUMENT
	VALVE
	FIRE HYDRANT
	BACKFLOW PREVENTION DEVICE
	RISER
	SIGN
	STREET LIGHT (UNLESS NOTED OTHERWISE)
	LIGHT POLE (UNLESS NOTED OTHERWISE)
	GUY ANCHOR
	UTILITY POLE
	TELEPHONE MANHOLE
	MANHOLE

	SUBJECT PROPERTY
	ADJOINING LOT
	CENTERLINE
	SURVEY TIE
	STORM DRAIN
	SANITARY SEWER
	OVERHEAD UTILITY LINE
	CONCRETE
	DETECTABLE WARNING

ABBREVIATIONS

AC	ASPHALT CONCRETE
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M	METER
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SD	STORM DRAIN
SL	STREETLIGHT
SS	SANITARY SEWER
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TEL	TELECOMMUNICATION LINE
TG	TOP OF GRADE
TS	TRAFFIC SIGNAL
TV	TELEVISION
UB	UTILITY BOX
V	VALVE
VLT	VAULT
W	WATER
WM	WATER METER

PROGRAM NAME: K:\2018\160384_West_Goldend_BART_T00_Survey\SUR\MAPPING\Topo\160384_V-TOP0.dwg

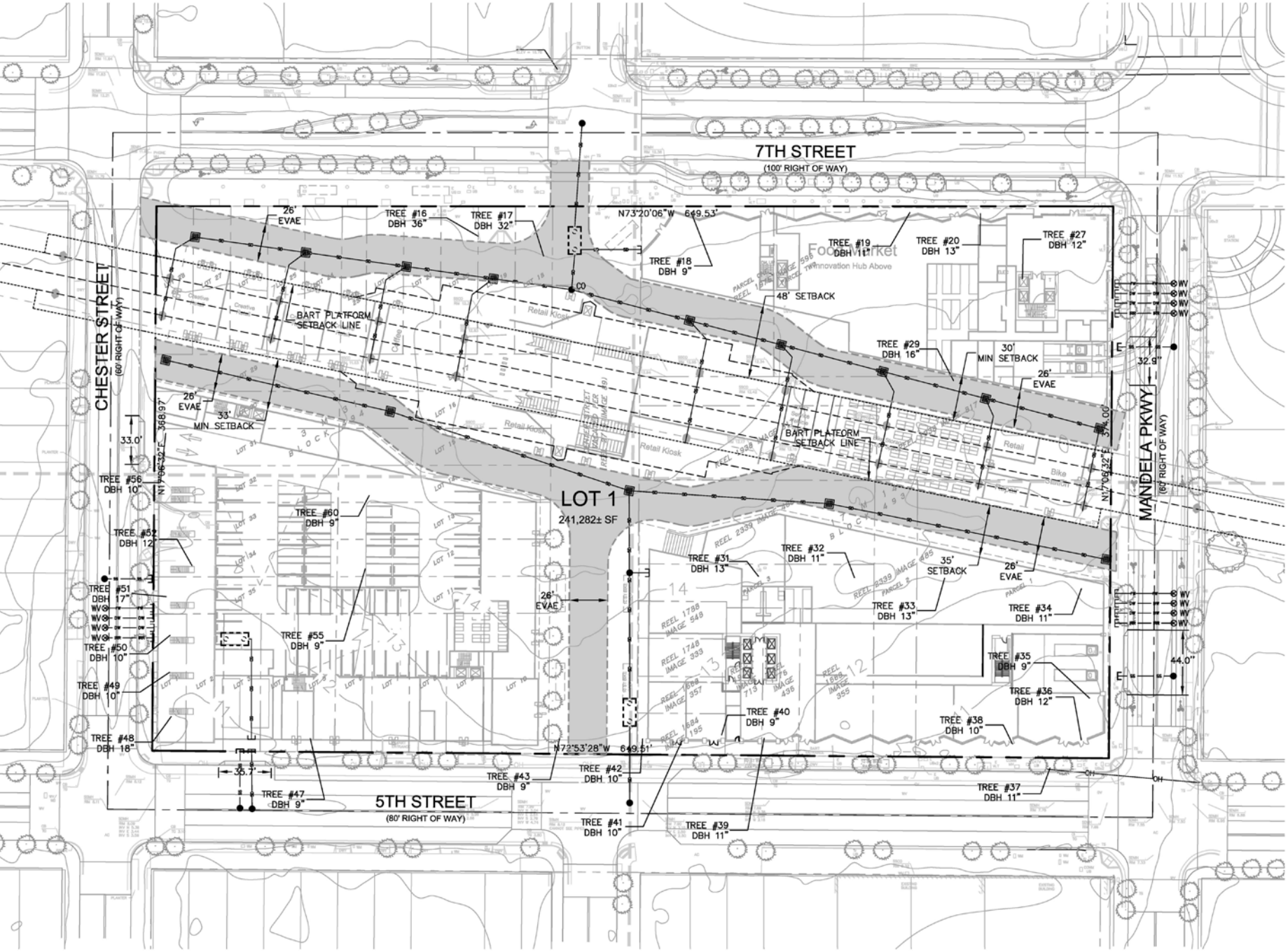
TENTATIVE PARCEL MAP NO. 10940

FOR A VOLUNTARY MERGE OF 41 PARCELS INTO 1 LOT

Revisions	No.	Date
	1	01/22/2019
	2	01/22/2019
	3	01/22/2019
	4	01/22/2019
	5	01/22/2019
	6	01/22/2019
	7	01/22/2019
	8	01/22/2019
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	45	01/22/2019
	46	01/22/2019
	47	01/22/2019
	48	01/22/2019
	49	01/22/2019
	50	01/22/2019
	51	01/22/2019
	52	01/22/2019

DRAWING NAME: K:\2018\180384_West_Oakland_BART_TOD_Survey\ENG\TENTATIVE PARCEL MAP\WOBART_TM.dwg
PLOT DATE: 01-28-19 PLOTTED BY: chuc

West Oakland BART Proposed Trees		
Tree number	DBH (in)	Species Name
16	36	Pinus Pinea
17	32	Pinus Pinea
20	13	Liriodendron Tulipifera
27	12	Maytenus Boaria
29	16	Maytenus Boaria
31	13	Liriodendron Tulipifera
33	13	Liriodendron Tulipifera
36	12	Liriodendron Tulipifera
48	18	Platanus X Acerifolia
51	17	Platanus X Acerifolia
52	12	Liriodendron Tulipifera



SYMBOLS & LEGEND

EXISTING

- FOUND CITY OF OAKLAND MONUMENT
- VALVE
- FIRE HYDRANT
- BACKFLOW PREVENTION DEVICE
- RISER
- SIGN
- STREET LIGHT (UNLESS NOTED OTHERWISE)
- LIGHT POLE (UNLESS NOTED OTHERWISE)
- GUY ANCHOR
- UTILITY POLE
- TELEPHONE MANHOLE
- MANHOLE
- SUBJECT PROPERTY
- ADJOINING LOT
- CENTERLINE
- SURVEY TIE
- STORM DRAIN
- SANITARY SEWER
- OVERHEAD UTILITY LINE
- CONCRETE
- DETECTABLE WARNING
- PROPOSED LOT LINE

ABBREVIATIONS

- AC ASPHALT CONCRETE
- CA CABLE
- CB CATCH BASIN
- CO CLEAN OUT
- COMM COMMUNICATION
- CONC CONCRETE
- DI DROP INLET
- DWY DRIVEWAY
- E ELECTRIC
- EP EDGE OF PAVEMENT
- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- FL SURFACE FLOWLINE
- G GAS
- GYP GUY POLE
- INV BOTTOM INSIDE OF PIPE
- LG LIP OF GUTTER
- M METER
- MH MANHOLE
- OH OVERHEAD UTILITY LINE
- SD STORM DRAIN
- SL STREET LIGHT
- SS SANITARY SEWER
- TC TOP FACE OF CURB
- TEL TELECOMMUNICATION LINE
- TG TOP OF GRATE
- TS TRAFFIC SIGNAL
- TV TELEVISION
- UB UTILITY BOX
- V VALVE
- VLT VAULT
- W WATER
- WM WATER METER

PROPERTY ADDRESS:

1451 7TH STREET
OAKLAND, CA 94607
510-465-2278

OWNER AND SUBDIVIDER:

SAN FRANCISCO BAY AREA RAPID TRANSIT DISTRICT
300 LAKESIDE DRIVE, 22ND FLOOR
OAKLAND, CA 94612
510-597-6300

BASIS OF BEARINGS

THE BEARING OF NORTH 72°53'28" WEST BETWEEN FOUND MONUMENTS ON 5TH AVENUE BETWEEN HENRY STREET AND KIRKHAM STREET AS SHOWN ON THAT RECORD OF SURVEY, R/S 1687, FILED AUGUST 7, 2000 IN BOOK 25 OF RECORDS OF SURVEY AT PAGES 58-69, INCLUSIVE, ALAMEDA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

THE ELEVATIONS SHOWN HEREON ARE BASED ON A FOUND CITY OF OAKLAND BENCHMARK, DESIGNATION 25/H, BEING A BRONZE DISK STAMPED, "SEC 25 STA H." ELEVATION 10.784 FEET (DATUM = MEAN SEA LEVEL).

NOTES

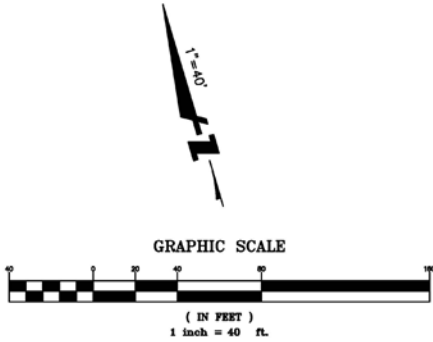
- THE CONTROL SURVEY WAS CONDUCTED IN NOVEMBER OF 2018.
- ALL UNITS ARE IN US SURVEY FEET AND DECIMALS THEREOF.
- THE PROPERTY BOUNDARY SHOWN HEREON IS BASED ON AN ONGOING BOUNDARY RESOLUTION SURVEY. THIS RESOLVED BOUNDARY SURVEY WILL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT PRIOR TO PARCEL MAP SUBMITTAL.
- THE TOPOGRAPHIC MAPPING SHOWN HEREON IS A WORKING DOCUMENT. THE TOPOGRAPHIC SURVEY AND MAPPING IS IN PROGRESS AND HAS NOT BEEN COMPLETED OR FINALIZED.
- ALL BUILDINGS TO THE NORTH OF THE BART STATION SHALL BE SET BACK A MINIMUM OF 30' FROM THE BART PLATFORM, AND ALL BUILDINGS TO THE SOUTH OF THE BART STATION SHALL BE SET BACK A MINIMUM OF 33' FROM THE BART PLATFORM.
- ALL EMERGENCY VEHICLE ACCESS EASEMENTS SHALL BE A MINIMUM OF 26' WIDE.

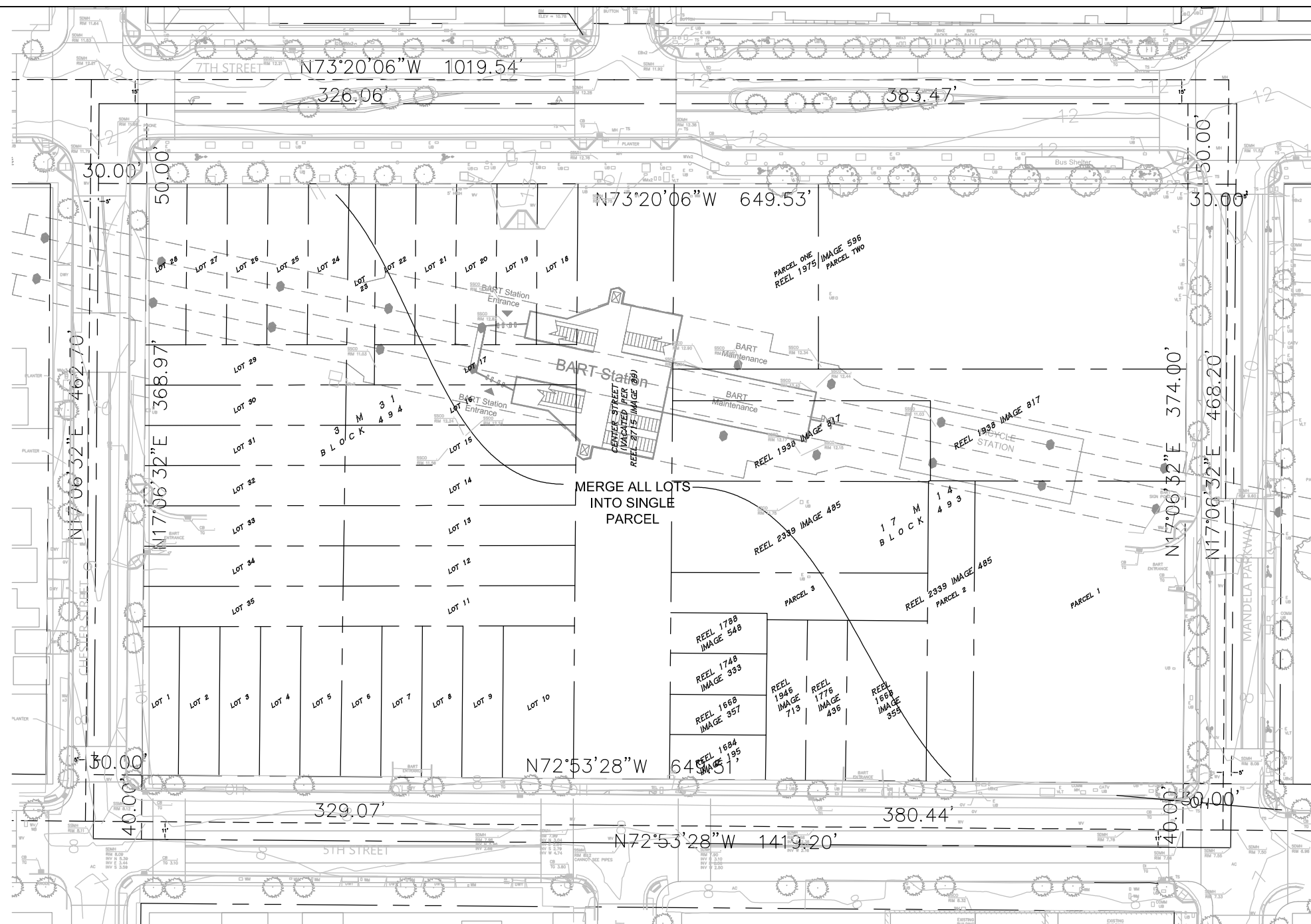
SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.

BARRY WILLIAMS, P.L.S. NO. 6711

DATE:





STAMP



WEST OAKLAND
BART

1451 7th St, Oakland,
CA 94607

PROJ. # 168-153 WO BART

DATE: December 06, 18

LOT MERGER PLAN

SHEET:

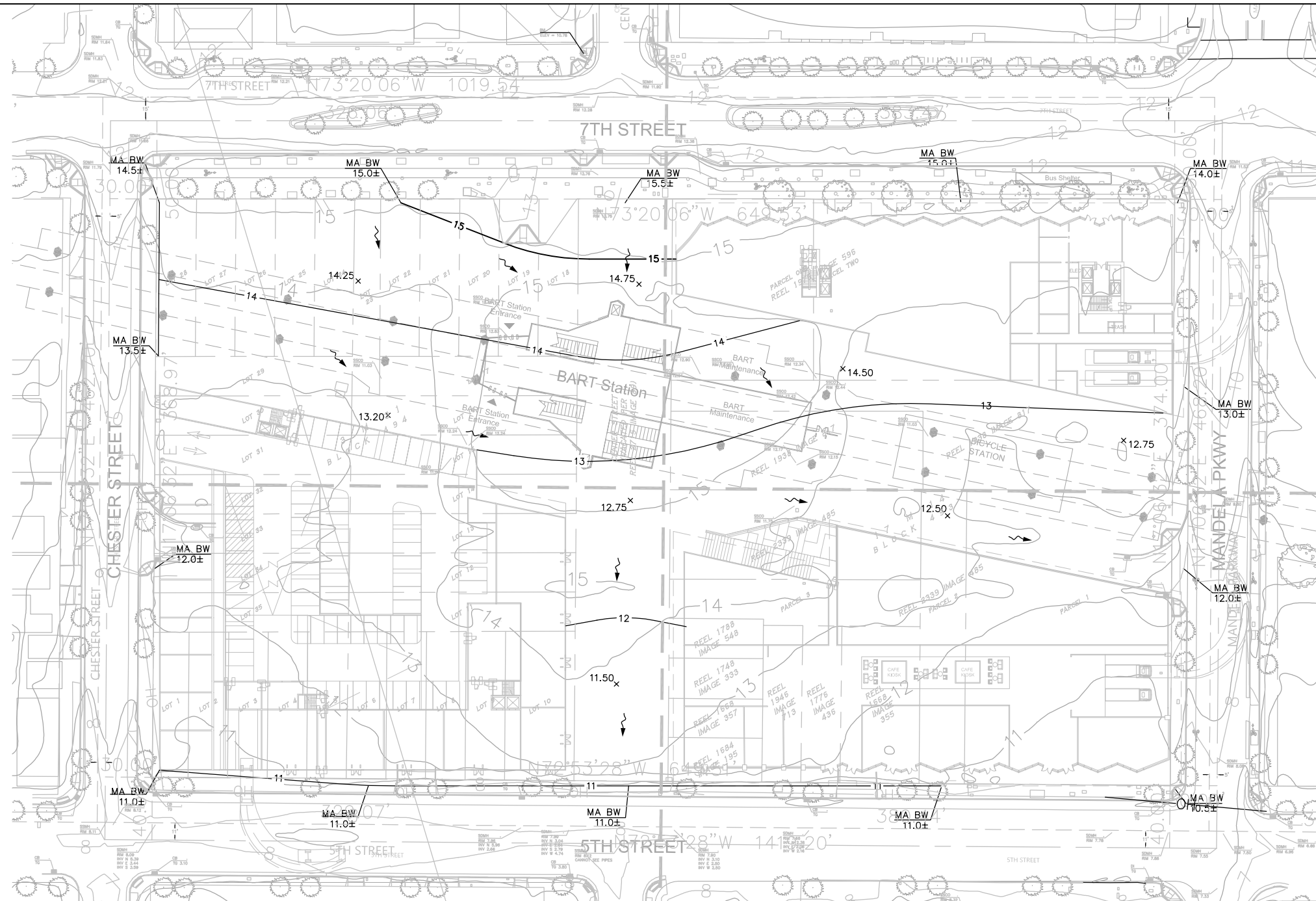
C1.01



0 40 80



SCALE: 1" = 80'



ABBREVIATIONS:

FF FINISHED FLOOR
FG FINISHED GROUND
FS FINISHED SURFACE
FL FLOW LINE
MA MATCH
TC TOP OF CURB
TS TOP OF STEP
TW TOP OF WALL

GRADING NOTES:

1. TC ELEVATIONS ARE 6" ABOVE ADJACENT PAVEMENT FL ELEVATIONS, UNLESS OTHERWISE NOTED ON PLAN.

LEGEND:

~ DIRECTION OF PROPOSED DRAINAGE
--- GRADE BREAK
-5.00- CONTOUR

EARTHWORK SUMMARY:

TOTAL EXCAVATION: 51,303 CUBIC YARDS
TOTAL FILL: 0 CUBIC YARDS
TOTAL OFFHAUL: 51,303 CUBIC YARDS



STAMP

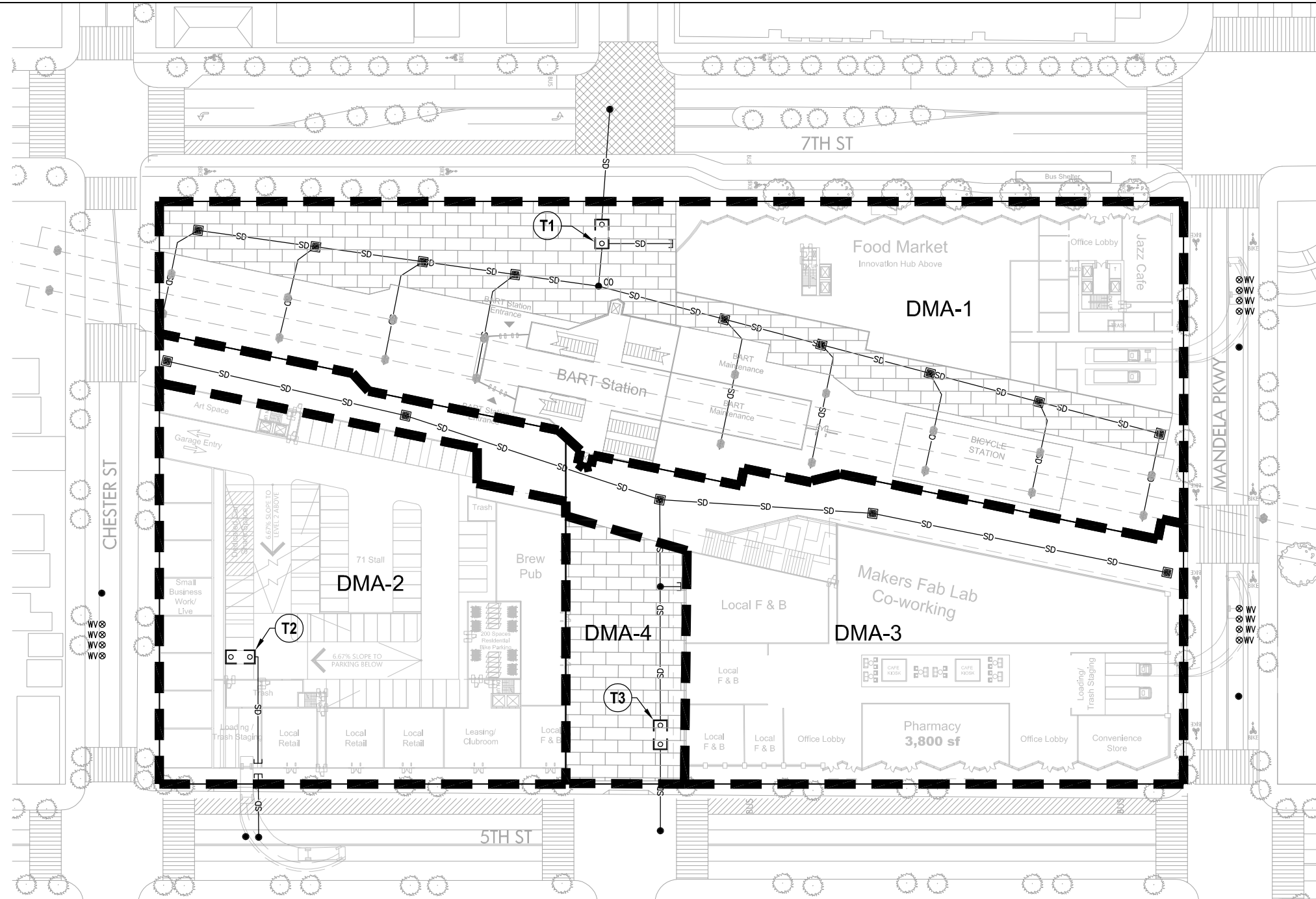


WEST OAKLAND
BART
1451 7th St, Oakland,
CA 94607

PROJ. # 168-153 WO BART
DATE: December 06, 18

PROPOSED
GRADING
PLAN

SHEET:
C2.00



LEGEND:

DRAINAGE MANAGEMENT AREA (DMA)

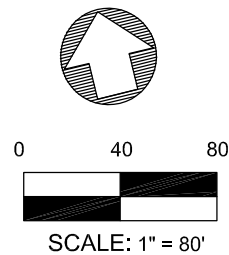
PERMEABLE PAVERS

FILTER VAULT
SEE SHEET C3.01

TREATMENT AREA LABEL

STORMWATER MANAGEMENT NOTES:

1. THE TREATMENT VAULTS WERE SELECTED BASED ON 243,131 SF OF IMPERVIOUS SURFACE AND A TREATMENT INTENSITY OF 0.2 IN/HR. SEE OLD CASTLE WASHINGTON GULD PF-V-8-WA-0001 PERK FILTER DETAIL ON SHEET C3.01. ALL FILTER VAULTS SHOWN ARE COMPRISED OF (31) - 18" CARTRIDGES.



DMA	Impervious Area (SF)	Pervious Area (SF)	Treatment Type	Designated Treatment Area
1	74,600	28,445	Filter Vault	T1
2	58,278	0	Filter Vault	T2
3	69,667	0	Filter Vault	T3
4	0	12,140	Permeable Pavers	T4

TOTAL SITE AREA (SF)	TOTAL LAND AREA DISTURBED (SF)	TOTAL EXISTING/PRE-PROJECT IMPERVIOUS SURFACE (SF)	REPLACED IMPERVIOUS SURFACE (SF)	NEW IMPERVIOUS SURFACE (SF)	TOTAL POST-PROJECT IMPERVIOUS SURFACE (SF)
243,130	243,130	212,865	177,410	25,135	202,545

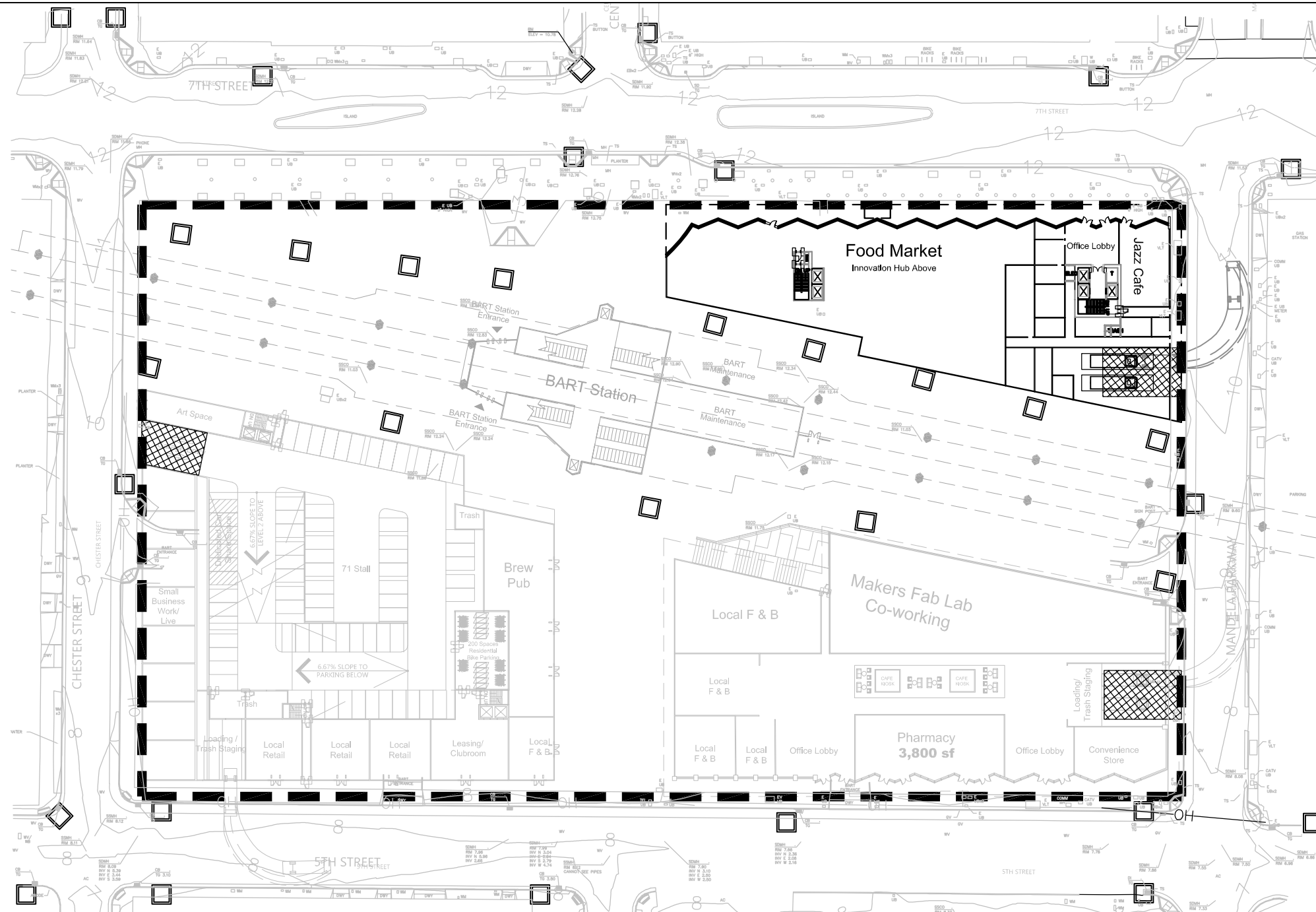
STAMP

WEST OAKLAND
BART
1451 7th St, Oakland,
CA 94607

PROJ. # 168-153 WO BART
DATE: December 06, 18

STORMWATER
MANAGEMENT
PLAN

SHEET:
C3.00



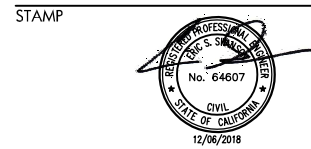
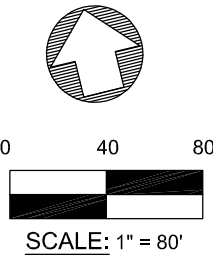
EROSION CONTROL LEGEND:

- [Symbol] STABILIZED CONSTRUCTION ENTRANCE (TC-1)**
WITH ENTRANCE/OUTLET TIRE WASH (TC-3)**
- [Symbol] STORM DRAIN INLET PROTECTION (SC-10)**
- [Symbol] FIBER ROLL (SC-05)**

**REFER TO SHEET C4.01 FOR DETAILS

EROSION CONTROL NOTES:

- 1. SITE ACCESS SHOWN ON THIS PLAN IS PROVIDED FOR INFORMATION PURPOSES ONLY. CONTRACTOR SHALL LOCATE CONSTRUCTION ACCESS DRIVEWAYS AS NECESSARY.
- 2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT AND MAINTAINED BY THE CONTRACTOR ON A YEAR-ROUND BASIS UNTIL ALL DISTURBED AREAS ARE STABILIZED UNLESS OTHERWISE PERMITTED BY THE COUNTY INSPECTOR.
- 3. ALL INLETS RECEIVING STORM WATER RUNOFF FROM THE PROJECT AREA MUST BE EQUIPPED WITH REQUIRED INLET PROTECTION.
- 4. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF ENTERING THE STORM DRAIN SYSTEM.
- 5. STOCKPILED EARTHEN MATERIAL SHALL BE EITHER COVERED WITH A TARP OR WATERED SUFFICIENTLY TO ELIMINATE DUST.
- 6. REFERENCE: "CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICE (BMP) HANDBOOK", JANUARY 2015.

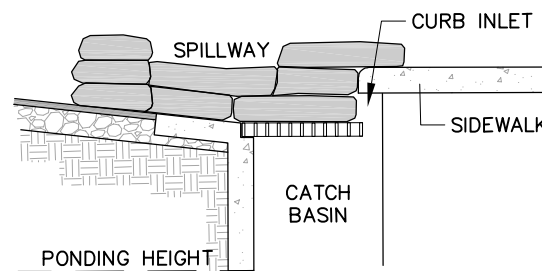
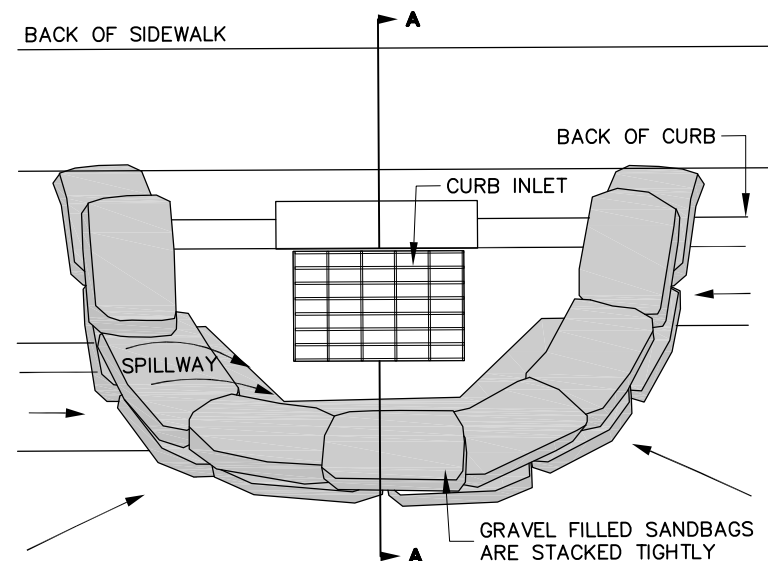


WEST OAKLAND
BART
1451 7th St, Oakland,
CA 94607

PROJ. # 168-153 WO BART
DATE: December 06, 18

EROSION
CONTROL
PLAN

SHEET:
C4.00

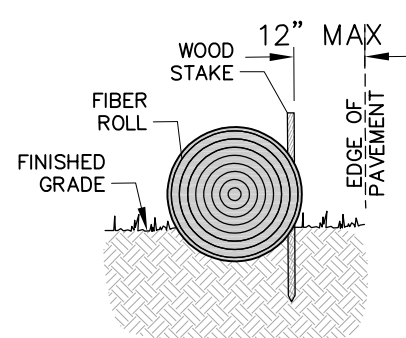


SECTION A-A

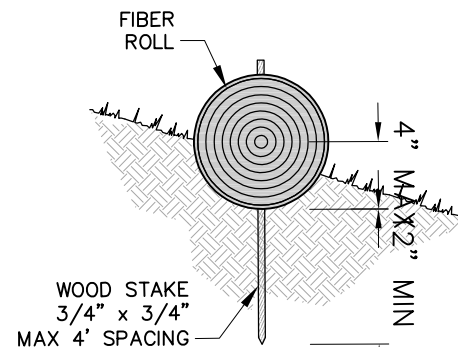
NOTES:

1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
2. SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC, ARE FILLED WITH GRAVEL LAYERED AND PACKED TIGHTLY.
3. LEAVE A ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

① CURB INLET SEDIMENT BARRIER
NOT TO SCALE



ENTRENCHMENT DETAIL
IN FLAT AREA

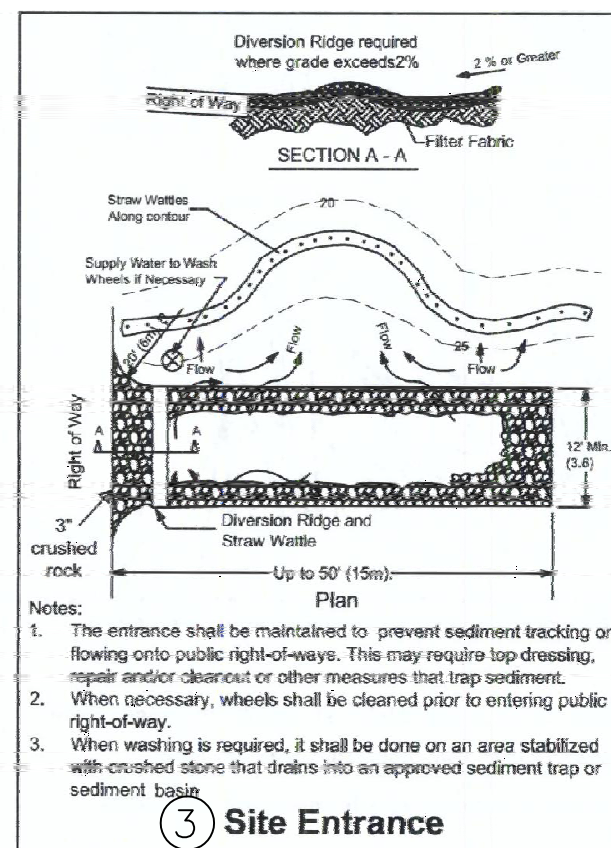


ENTRENCHMENT DETAIL
IN SLOPED AREA

NOTES

1. FIBER ROLLS ARE TUBES MADE FROM POROUS BIODEGRADABLE FIBER STUFFED IN A PHOTO-DEGRADABLE OPEN WEAVE NETTING. THEY ARE APPROXIMATELY 8" DIAMETER.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 2"-4" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL. ROLLS SHOULD BE ABUTTED SECURELY TO PROVIDE A TIGHT JOINT, NOT OVERLAPPED.

② FIBER ROLL
NOT TO SCALE



Notes:

1. The entrance shall be maintained to prevent sediment tracking or flowing onto public right-of-ways. This may require top dressing, repair and/or cleanout or other measures that trap sediment.
2. When necessary, wheels shall be cleaned prior to entering public right-of-way.
3. When washing is required, it shall be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin.

③ Site Entrance



STAMP



WEST OAKLAND
BART
1451 7th St, Oakland,
CA 94607

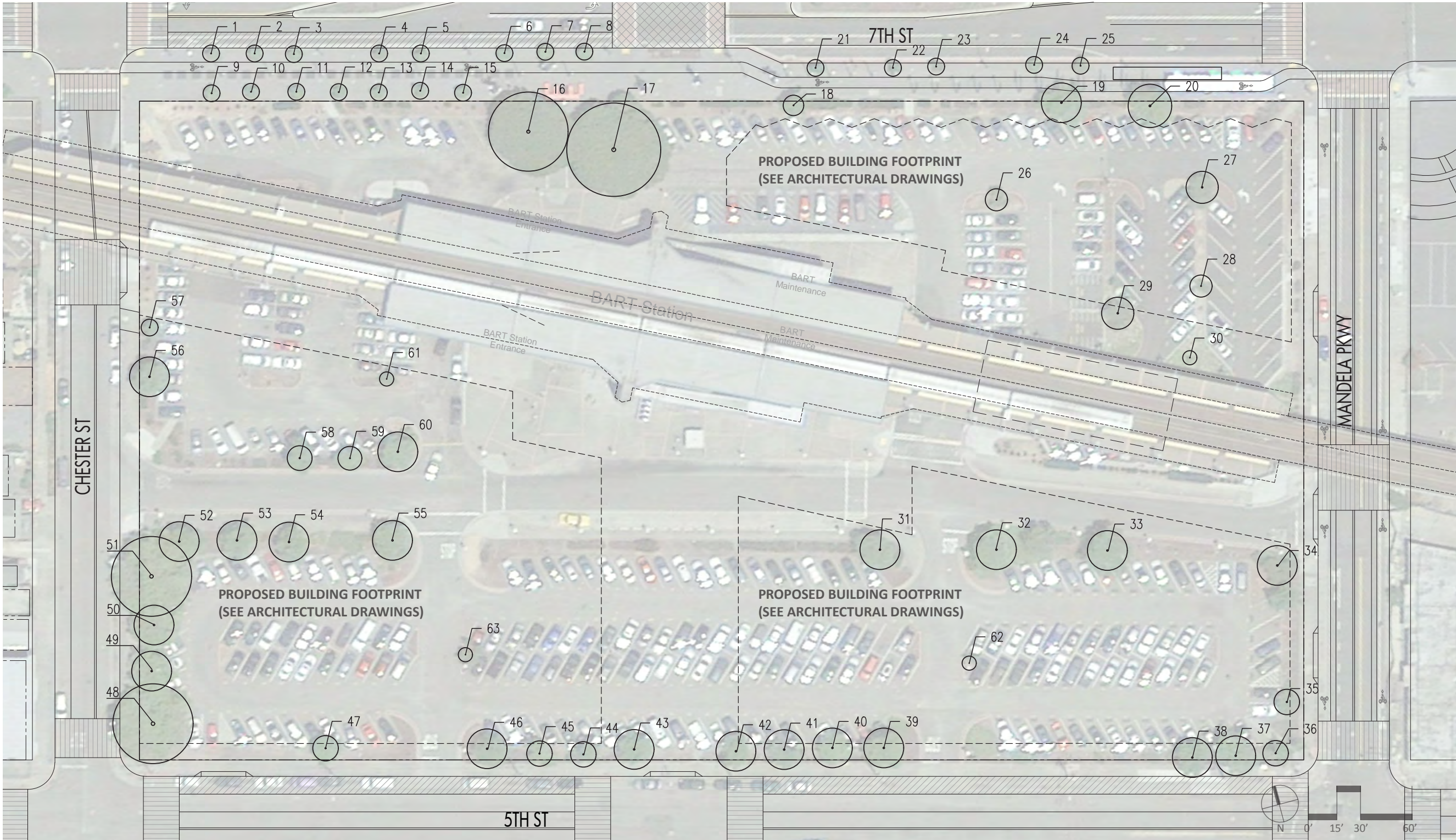
PROJ. # 168-153 WO BART

DATE: December 06, 18

EROSION
CONTROL
PLAN DETAILS

SHEET:

C4.01



Trees Proposed for Removal

Key	Species	DBH (in)
1	Pistacia chinensis	4
2	Pistacia chinensis	4
3	Pistacia chinensis	4
4	Pistacia chinensis	3
5	Pistacia chinensis	5
6	Pistacia chinensis	4
7	Pistacia chinensis	4
8	Pistacia chinensis	4
9	Pistacia chinensis	4
10	Pistacia chinensis	4
11	Pistacia chinensis	4
12	Pistacia chinensis	4
13	Pistacia chinensis	4

Key	Species	DBH (in)
14	Pistacia chinensis	4
15	Pistacia chinensis	4
16	Pinus pinea	36
17	Pinus pinea	32
18	Liriodendron tulipifera	9
19	Liriodendron tulipifera	11
20	Liriodendron tulipifera	13
21	Pistacia chinensis	4
22	Pistacia chinensis	4
23	Pistacia chinensis	4
24	Pistacia chinensis	4
25	Pistacia chinensis	5
26	Maytenus boaria	7

Key	Species	DBH (in)
27	Maytenus boaria	12
28	Maytenus boaria	5
29	Maytenus boaria	16
30	Maytenus boaria	2
31	Liriodendron tulipifera	13
32	Liriodendron tulipifera	11
33	Liriodendron tulipifera	13
34	Liriodendron tulipifera	11
35	Liriodendron tulipifera	9
36	Liriodendron tulipifera	12
37	Liriodendron tulipifera	11
38	Liriodendron tulipifera	10
39	Liriodendron tulipifera	11

Key	Species	DBH (in)
40	Liriodendron tulipifera	9
41	Liriodendron tulipifera	10
42	Liriodendron tulipifera	10
43	Liriodendron tulipifera	9
44	Liriodendron tulipifera	7
45	Liriodendron tulipifera	8
46	Liriodendron tulipifera	8
47	Liriodendron tulipifera	9
48	Platanus X acerifolia	18
49	Platanus X acerifolia	10
50	Platanus X acerifolia	10
51	Platanus X acerifolia	17
52	Liriodendron tulipifera	12

Key	Species	DBH (in)
53	Liriodendron tulipifera	8
54	Liriodendron tulipifera	8
55	Liriodendron tulipifera	9
56	Liriodendron tulipifera	10
57	Liriodendron tulipifera	5
58	Liriodendron tulipifera	8
59	Liriodendron tulipifera	7
60	Liriodendron tulipifera	9
61	Maytenus boaria	5
62	Maytenus boaria	5
63	Maytenus boaria	7
Bolded trees are protected trees.		



STAMP

WEST OAKLAND BART

1451 7th St, Oakland,
CA 94607

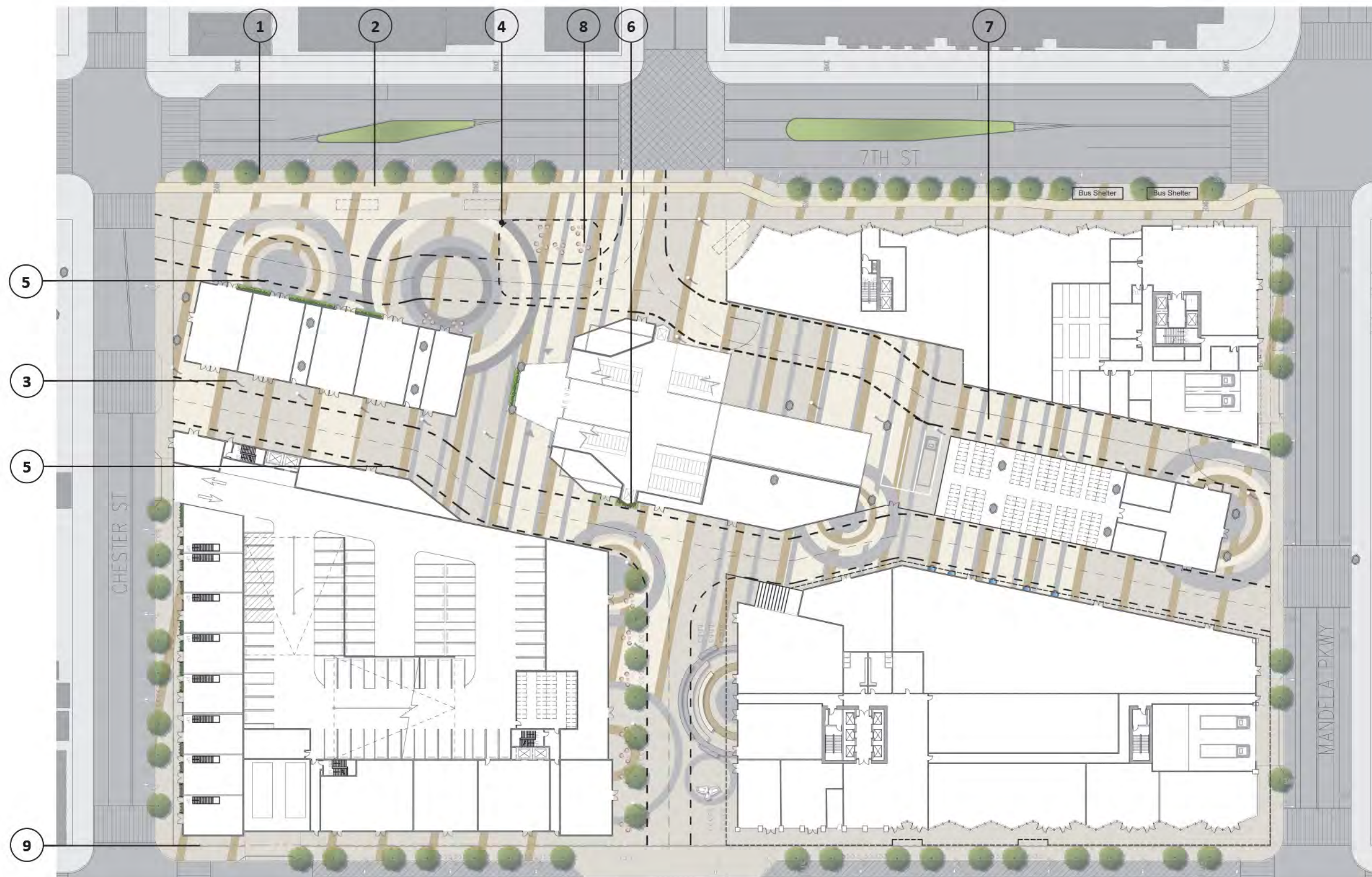
PROJ. # 168-153 WO BART

DATE: JANUARY 11, 2019

TREE REMOVAL PLAN

SHEET:

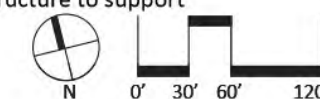
L-00.01



- ① CYCLE TRACK a separated, protected bike lane located adjacent to 7th street, distinct from both the sidewalk and 7th street.
- ② PERVIOUS PAVING see Stormwater Management Plan
- ③ ALLEY OF LIGHTS
- ④ OPEN PLAZA the space between 7th Street and the fair gates to the station will be kept open

- ⑤ EMEGENCY VEHICLE ACCESS
- ⑥ GREENWALLS, TYP. Vertical panels of wire mesh with living plants, 15' high.
- ⑦ PEDESTRIAN HARDSCAPE paving bands of concrete pavers, poured in place colored concrete, and stone highlights.

- ⑧ MOVEABLE FURNITURE custom planters, benches, seats, and tables, that can be manually positioned to create a variety of seating arrangements and support a variety of programed activities.
- ⑨ STREETSCAPE sidewalks designed with a substructure to support healthy street trees.



STAMP

WEST OAKLAND BART

1451 7th St, Oakland,
CA 94607

PROJ. # 168-153 WO BART
DATE: JANUARY 11, 2019

LANDSCAPE PLAN ON-GRADE

SHEET:

L-00.02

Planting Design Intent & Notes

- 1 The project planting and irrigation design will be designed with low water use plants and efficient irrigation system which will meet the state's model water efficient landscape ordinance. Completed calculations and worksheets will be provided during building permit phase.
- 2 Plants selected will be primarily low water use and irrigation will consist of subsurface drip with a smart irrigation controller.
- 3 All shrubs, groundcovers, trees and vines selected for planting are low water use. All shrubs and groundcover areas (non-turf areas) to be irrigated with drip irrigation. All turf areas irrigated with high-efficiency spray.
- 4 Non-turf areas: at least 75% of the plant selection is native or climate appropriate low water use species and require minimal water once established. Up to 25% of the plants may be non-drought tolerant variety as long as they are appropriately grouped together and irrigated separately and efficiently as hydrozones.
- 5 No planted species can be listed by CAL-IPC (California Invasive Plant Council) as invasive in the San Francisco bay area, and plant right, keep invasive plants in check by California Horticultural Invasive's Prevention (CAL-HIP).

Irrigation Design Intent & WELO

- 1 Irrigation system will be designed to provide the minimum amount of water necessary to sustain good plant health. All selected components to be commercial grade, selected for durability, vandal resistance and minimum maintenance requirement.
- 2 The system will be a combination of overhead sprinkler and subsurface irrigation as appropriate to plant type, exposure and slope conditions.
- 3 Control of the system will be via a weather-enabled controller capable of daily self-adjustment based on real-time weather conditions as measured by an on-site weather sensor.
- 4 The system will include a master control valve and flow sensing capability which will shut down all or part of the system if leaks are detected.
- 5 The landscape is over 2,500 square feet of new landscaping and will therefore meet the requirements of the water efficiency landscape ordinance (WELO): <https://water.ca.gov/legacyfiles/wateruseefficiency/docs/mwelo09-10-09.pdf>

Irrigation Notes will Comply with Following:

- Landscape design to comply with City of Oakland Bay-Friendly's ordinance, in addition the nine required practices are summarized below:
- 1 Mulch all shrub areas with 3-inch-thick layer of mulch. All soil on site is protected with a minimum of 3 inches of mulch after construction. All mulch is arbor waste material.
 - 2 Amend soil with compost before planting. Compost is specified as the soil amendment, at the rates indicated by a soil analysis to bring the soil organic matter content to a minimum of 3.5% by dry weight or 1 inch of compost. Option 1: require import topsoil to meet organic matter content of a minimum 3.5% by dry weight. Option 2: submit soils report that identifies existing topsoil meets organic matter content of 3.5% by dry weight or greater.
 - 3 Reduce and recycle landscape construction waste. Divert 50% of landscape construction and demolition waste by volume or weight.
 - 4 Choose and locate plants that grow to natural size and avoid shearing. No plant species will require shearing. Select species and spacing to allow plants to grow to natural size and shape without shearing at any point in the lifespan of the plant, excluding structural and regular maintenance.

- 5 Do not plant invasive species. None of the plant species listed by CAS-IPC as invasive in the San Francisco Bay area are included in the planting design.
- 6 Grow drought tolerant, California native, Mediterranean, or climate adapted plants. A minimum of 75% of the total number of plants in the non-turf areas must be species that require no or little summer watering once established. Species should be adapted to the climate in which they will be planted, as referenced by a third-party source. Plant shall be rated for moderate or occasional water use for this region and climate.
- 7 Minimize turf. A maximum of 25% of total irrigated area is specified as turf, with sports or multi-use fields exempted.
- 8 Specify automatic weather-based controller with soil moisture and/or rain sensor. Weather-based irrigation controllers, soil moisture-based controllers, or other self-adjusting irrigation controllers, shall be required for entire irrigation system.
- 9 Sprinkler and spray heads are not specified in areas less than 8 feet wide. Sprinkler and spray heads are not specified in areas less than or equal to 8 feet wide to prevent overspray and runoff. Acceptable alternatives include bubbler or drip with subsurface rigid lateral pipes. Bubblers shall not exceed 1.5 gallons per minute per bubbler.

- 1 OPEN GREEN
- 2 ROOFTOP DINNING ROOM SERVES AS OUTDOOR DINING ARE FOR RESIDENTS AND GUESTS
- 3 OUTDOOR KITCHEN AND GRILL
- 4 MOVEABLE TABLES AND CHAIRS
- 5 COMMUNAL SEATING UNDER CANOPY
- 6 WOOD LOUNGE PLATFORMS
- 7 EDIBLE GARDEN

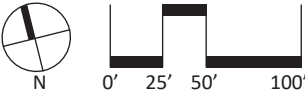


T-3 COURTYARD PLAN

- 1 ROOFTOP DINNING ROOM SERVES AS OUTDOOR DINING ARE FOR RESIDENTS AND GUESTS
- 2 OUTDOOR KITCHEN AND GRILL
- 3 MOVEABLE TABLES AND CHAIRS
- 4 TREE SHADED WOOD LOUNGE PLATFORMS
- 5 EDIBLE GARDEN
- 6 BUFFER PLANTING
- 7 PRIVATE DECK OVERLOOKS gathering areas for small groups
- 8 DOG RUN fully enclosed artificial turf with expandable oberhead canopy
- 9 BOCCIE COURT
- 10 CHILDREN PLAY SPACE
- 11 GAS FIRE PIT
- 12 WOOD DECK



T-3 ROOF DECK PLAN



STAMP

WEST OAKLAND
BART

1451 7th St, Oakland,
CA 94607

PROJ. # 168-153 WO BART
DATE: JANUARY 11, 2019

LANDSCAPE PLAN
ON-STRUCTURE

SHEET:



Gleditsia triacanthos 'Street Keeper'



Azara microphylla 15'x15'



Mahonia 'Soft Caress' 4'x4'



Agave attenuata 'Raea's Gold' 3'x3'



Cordyline 'Design-a Line' 3'x3'



Pittosporum tobira 'Mojo' 3'x3'



Digiplexis Illumination 'Apricot' 2'Hx18"W



Phormium 'Tony Tiger' 2.5'x2.5'



Echeveria 'Black Prince' 1'x1'



Mahonia repens 18"Hx3'W



LANDSCAPE ARCHITECTS



STAMP

WEST OAKLAND BART

1451 7th St, Oakland,
CA 94607

PROJ. # 168-153 WO BART
DATE: JANUARY 11, 2019

PROPOSED PLANTS- IMAGES

SHEET:

L-00.04



Prunus seratta



Maytenus boaria



Cotinus coggygria



Woodwardia fimbriata



Acer palmatum 'Sango kaku' 12'Hx8"W



Arbutus 'Marina'
Multi trunk 15'x15'



Helleborus argutifolius 3'x3'



Berberis 'Orange Rocket'
4'Hx2'W



Nandina domestica Alba
'Lemon-Lime' 4'Hx3'W



Abutilon megapotamicum 'Lemon' 3'x3'



Arctostaphylos 'Emeral Carpet'



Phormium 'Yellow Wave'



Carex divulsa



LANDSCAPE ARCHITECTS



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PROJ. # 168-153 WO BART
DATE: JANUARY 11, 2019

PROPOSED PLANTS- IMAGES

SHEET:
L-00.05



PERVIOUS PAVING



CONCRETE PAVERS



COLORED CONCRETE



LANDSCAPE ARCHITECTS



STAMP

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1451 7th St, Oakland,
CA 94607

PROJ. # 168-153 WO BART

DATE: JANUARY 11, 2019

PROPOSED PAVING-
IMAGES

SHEET:

L-00.06

Manufacturer(s): Lumec

Catalog #:
DMS50-HP5-SC3M-SMB-SCITX (Large Domus)
DOSHP5-SG3--SMB-SCITX-LMS (Small Domus)

Photometric File:
s0105312.ies (Domus DMS50, 200-250W)
s0206071.ies (Domus DOS, 35-150W)

Application:
Domus DMS50 - Arterial and/or collector street lighting
Domus DOS - Residential street lighting and/or
sidewalk side pedestrian lighting

Lamp Type: 35W, 100W, 150W, 250W HPS

Optical System: Type III

Ballast Voltage: Multi-tap 120/240V


Catalog #:
DMS50-HPS-SC₃M-SMB-SCITX (Large Domus)
DOSHP5-SG₃--SMB-SCITX-LMS (Small Domus)

Application:
Domus DMS50 - Arterial and/or collector street lighting
Domus DOS – Residential street lighting and/or
sidewalk side pedestrian lighting

Optical System: Type III

Color: Teal Green only

Luminaire Cost: \$\$\$



Public Works Agency
Electrical Services Division
Dept of Infrastructure and Operations

Page 19 of 71





STREET LIGHTING

Aspentl provides a modern industrial look with flexible illumination options. The integrated LED light with a textured diffuser illuminates up and down.



MODEL: OD1061	MODEL: OD1062	MODEL: OD1060
FINISH: BZ bronze	FINISH: BZ bronze	FINISH: BZ bronze
CH charcoal	CH charcoal	CH charcoal
LAMP: LED930 integrated LED; 120v; 10.4w; 996 delivered lumens; 3000K; 90 CRI	LAMP: LED930 integrated LED; 120v; 10.4w; 996 delivered lumens; 3000K; 90 CRI	LAMP: LED930 integrated LED; 120v; 10.4w; 996 delivered lumens; 3000K; 90 CRI
LED LED T24	LED LED T24	LED LED T24
930277 integrated LED; 277v; 10.4w; 996 delivered lumens; 3000K; 90 CRI	930277 integrated LED; 277v; 10.4w; 996 delivered lumens; 3000K; 90 CRI	930277 integrated LED; 277v; 10.4w; 996 delivered lumens; 3000K; 90 CRI
LED LED T24	LED LED T24	LED LED T24

MODEL:	OD1062	MODEL:	OD1060
FINISH:	BZ bronze	FINISH:	BZ bronze
	CH charcoal		CH charcoal
LAMP:	LED930 Integrated LED; 120v; 10.4w; 996 delivered lumens; 3000K; 90 CRI LED 930	LAMP:	LED930 Integrated LED; 120v; 10.4w; 996 delivered lumens; 3000K; 90 CRI LED 930
LED	930277 Integrated LED; 277v; 10.4w; 996 delivered lumens; 3000K; 90 CRI LED 930	LED	930277 Integrated LED; 277v; 10.4w; 996 delivered lumens; 3000K; 90 CRI LED 930

MODEL:	OD1060		
FINISH:	BZ	bronze	
	CH	charcoal	
LAMP:	LED930	integrated LED; 120v; 10.4w; 996 delivered lumens; 3000K; 90 CRI	
		 	
	LED 930277	integrated LED; 277v; 10.4w; 996 delivered lumens; 3000K; 90 CRI	
		 	

LOCATION: W wet

6.5" 165 mm

7" 178 mm

20" 508 mm

wall projection 7" / 178 mm

sample item number **ODIO618ZLED9**
Asplenti 20, bronze, integrated LED, w.

LOCATION: W wet

6.5" 165 mm


7" 178 mm

14" 356 mm

wall projection 7" 178 mm

sample item number **OD1062CHLED930277W**
Asphalt 14, charcoal, integrated LED, wet

LOCATION: W wet



6.5" 165 mm

7" 178 mm

5" 127 mm

wall projection 7" / 178 mm

sample item number **ODI060CHLED930W**
Aspentri 5, charcoal, integrated LED, wet

80 < wanna talk? — 847.410.4400

WALL LIGHTING



Series	Mounting	Height	Lamping	Lamp Color	Finish	Voltage	Options
RSA Ritorno® Square Asymmetrical	1 Single W Wall Mount	RP10 10 ft. RP12 12 ft. RP14 14 ft. RP16 16 ft.	<u>Metal Halide</u>	NOL No Lamp Supplied	WH White BK Black BZ Bronze SV Silver SP Specify Premium Color	120 208 240 277 347	REC GFCI Receptacle (pole mount only) FS¹ Single Fusing Consult factory for other options.
			H050 50w H070 70w H100 100w H150 150w	830 3000° K 940 4000° K			
			<u>T6 Metal Halide</u>				
			H070T6² 70w H150T6 150w	830 3000° K 942 4200° K			
			<u>HPS</u>	NOL No Lamp Supplied			
S050² 50w S070 70w S100 100w S150 150w	221 2100° K						
<u>QL Induction</u>	830 3000° K						
QL85¹ 85w QL165¹ 165w	840 4000° K 850 5000° K						

¹ Not available with 347v

² Not available with 240V/208V

¹ Not available with 347v ² Not available with 240V/208V

Selux Corp. © 2015
TEL (845) 834-1400
FAX (845) 834-1401
www.selux.us
RSA-0715-01 (ss-v3.5)

NRTL Listed (i.e. UL, CSA)

Union Made Affiliated
with IBEW Local 363



In a continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Specification sheets found at www.selux.us are the most recent versions and supersede all other printed or electronic versions.

PEDESTRIAN LIGHTING ON PLAZA



STAMP

1451 7th St, Oakland,
CA 94607

PROJ. # 168-153 WO BART

DATE: JANUARY 11, 2019

PROPOSED LIGHTING- IMAGES

SHEET:

L-00.07



LEGEND

WALL LIGHTING

STREET LIGHTING

PEDESTRIAN LIGHTING



STAMP

WEST OAKLAND

BART

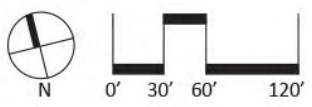
1451 7th St, Oakland,
CA 94607

PROJ. # 168-153 WO BART
DATE: JANUARY 11, 2019

PRELIMINARY
LIGHTING PLAN

SHEET:

L-00.08



Plazas & Pedestrian Walkways

Public Space Improvements:

The public spaces for the West Oakland Station site will be designed to reinforce the vibrant mixed-use development that furthers Oakland’s efforts to promote urban living at key transit sites, and provides an active and delightful center for the West Oakland community.

The site is designed with a series of important civic open spaces, including:

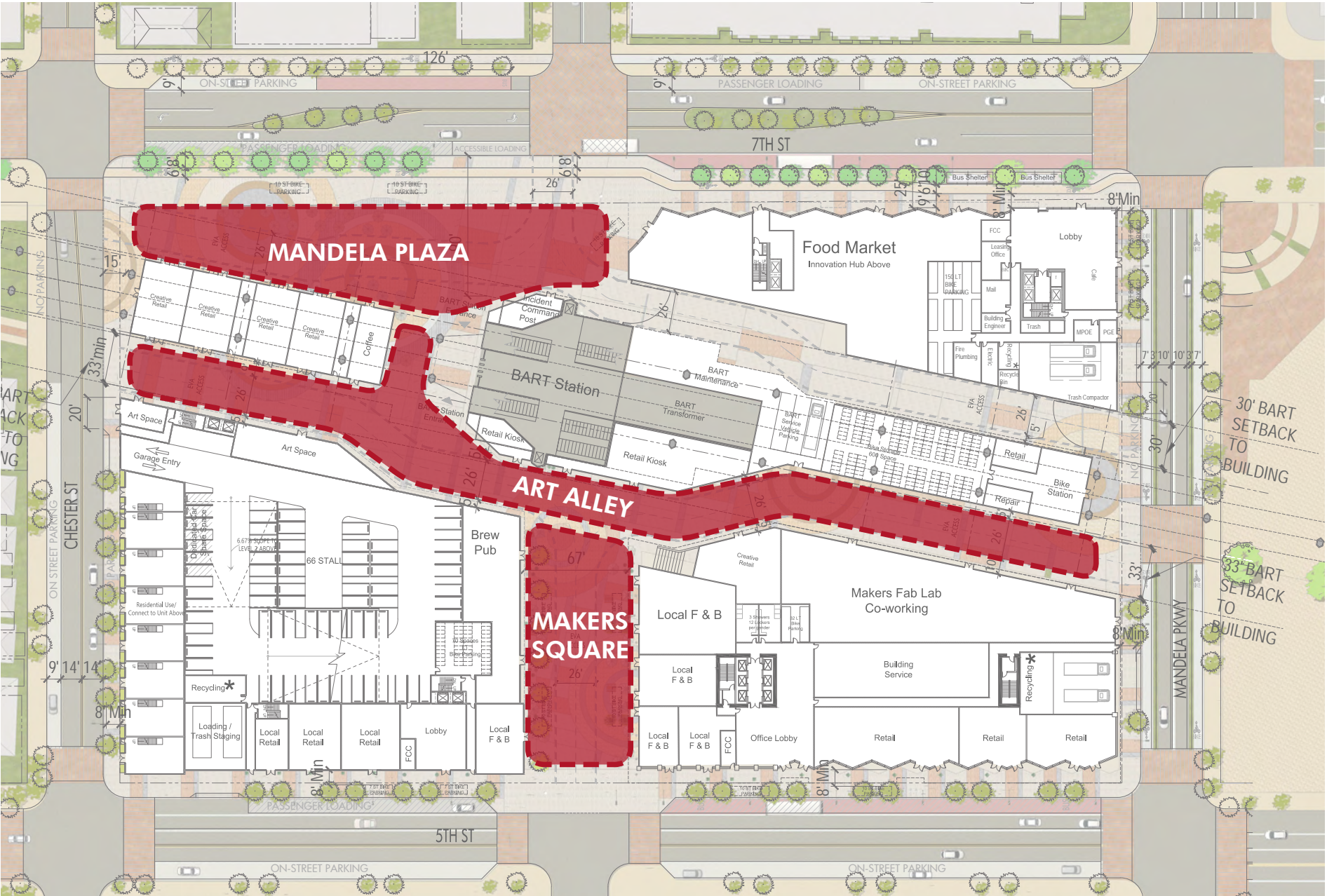
- **Mandela Plaza**, major community civic plaza at 7th Street fronting BART Station entrance;
- **Maker Square**, a pedestrian plaza replacing the vacated Center Street, and
- **Art Alley**, a pedestrian paseo along the BART trackway.

The perimeter of the site is designed to promote public access and to provide an enhanced pedestrian experience, with expanded sidewalks and retail frontages along 7th and 5th Streets.

Hardscape and Green-scape Design:

Landscape plan should be designed to enhance the pedestrian public spaces to create a high quality of pedestrian experience and civic prominence. The existing trees will be replaced because of conflicts with the access plan.

The new tree planting will complement the overall landscape strategy of the 7th and 5th Street corridors to ensure a continuous, interesting and varied visual experience. Planting and paving materials shall be of high quality and will be aesthetically designed to differentiate unique spaces within the pedestrian plazas, promote visual access to the BART station entrance, and to create opportunities for cultural, community and arts events.



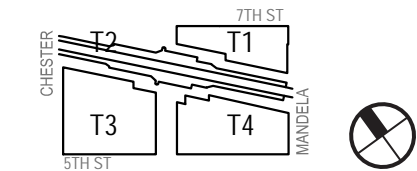
Landscape Materials: The landscape materials are designed with high quality stone, brick, finished concrete and other materials to create a high quality public pedestrian experience and to maximize the types of uses that can occur on site. The landscape will be designed to relate to a larger vision for the 7th Street corridor. The new tree planting will complement the overall landscape strategy of the 7th Street corridor to ensure a continuous, interesting and varied visual experience.

Planting and paving materials will be of high quality and will be aesthetically designed to differentiate unique spaces within the pedestrian plazas, promote visual access to the BART station entrance, and to create opportunities for cultural, community and arts events.

Site Lighting: The Lighting plan will be designed to create well lighted plazas and pedestrian pathways through the site. The visual security of all pedestrian spaces within the site is facilitated by locating retail and other public activities along all edges of the development. The landscape plan will provide adequate lighting to provide a safe environment while conforming to current best practices to mitigate light pollution.



WEST OAKLAND
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PROJ. # 168-153 WO BART
DATE: January 18, 2019

PUBLIC SPACE
IMPROVEMENT:
PLAZA & PUBLIC
WALKWAYS

SHEET:
A-10.00.0

Mandela Plaza

Mandela Plaza - Community Civic Space:

A larger civic plaza will be provided along 7th Street at the BART station, and also to celebrate the civic importance of this site in the community. This plaza is located to be central to the overall site in order to increase its public importance, public access, and public use for community, arts and cultural events. The central plaza should be designed to enhance the 7th Street corridor activation and public experience.

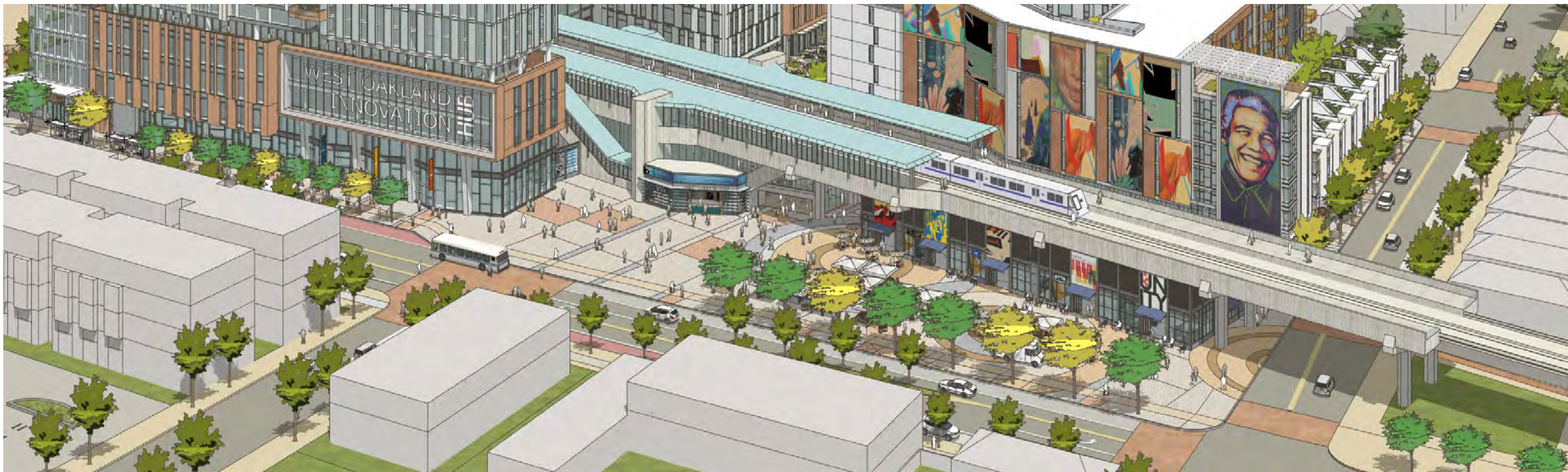
The Landscape plan is designed to enhance 7th street corridor and to create a high quality pedestrian experience and civic prominence.

The new tree planting will complement the overall landscape strategy of the 7th Street corridor to ensure a continuous, interesting and varied visual experience.

Paving materials will be of high quality and will be aesthetically designed to differentiate unique spaces within the pedestrian plazas, promote visual access to the BART station entrance, and to create opportunities for cultural, community and arts events. The landscape plan is designed to create a visually significant destination and center for the West Oakland community and users of the transit hub.



VIEW FROM 7TH STREET



VIEW FROM 7TH STREET

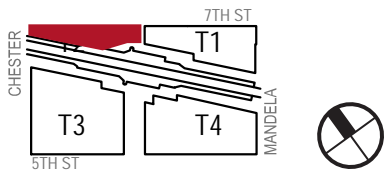


HENSEL PHELPS

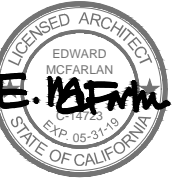
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DATE: January 18, 2019

PUBLIC SPACE
IMPROVEMENT:
MANDELA PLAZA

SHEET:
A-10.00.1

Mandela Plaza



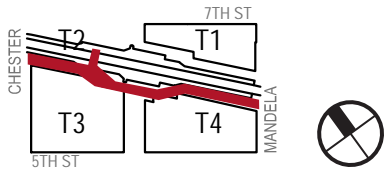
VIEW OF BART ENTRANCE AT 7TH STREET



VIEW FROM CHESTER STREET



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PROJ. # 168-153 WO BART
DATE: January 18, 2019

PUBLIC SPACE
IMPROVEMENT:
ART ALLEY

SHEET:
A-10.00.2

Art Alley

Art Alley: The mid-block passage south of the BART trackway will be designed as an active pedestrian paseo. Buildings will set back to provide both adequate emergency vehicle access and to create a delightful and activated pedestrian passage through the site to the BART station. The space will be lined with public uses that activate the space, including: retail kiosks, maker spaces, a bike station, and other cultural uses that provide day and night activation and safety for pedestrians using the space. Art and other cultural/historical installations should be introduced into this space to provide a meaningful and innovative public experience.

Landscape Materials: The landscape materials are designed with high quality stone, brick, finished concrete and other materials to create a high quality public pedestrian experience and to maximize the types of uses that can occur on site.

Site Lighting: The Lighting plan will be designed to create well lit plazas and pedestrian pathways through the site. The visual security of all pedestrian spaces within the site is facilitated by locating retail and other public activities along all edges of the development. The landscape plan will provide adequate lighting to provide a safe environment while conforming to current best practices to mitigate light pollution.



VIEW AT MAKER SQUARE



VIEW FROM CHESTER STREET



VIEW FROM MANDELA PARKWAY

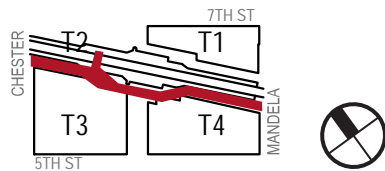


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DATE: January 18, 2019

PUBLIC SPACE IMPROVEMENT: ART ALLEY

SHEET:
A-10.00.2

Maker Square

Maker Square: The vacated Center Street will be transformed into an active urban destination for the neighborhood. This space is both an important pedestrian connection to the BART station and a significant public plaza for the surrounding community. It will be lined with public uses, including: retail, food, cultural and maker spaces. The space will be an inviting place for the neighborhood to shop, dine, and relish a quality community experience.

The landscape materials are designed with high quality stone, brick, finished concrete and other materials to create a high quality public pedestrian experience and to maximize the types of uses that can occur on site.

Site Lighting: The Lighting plan will be designed to create well lighted plazas and pedestrian pathways through the site. The visual security of all pedestrian spaces within the site is facilitated by locating retail and other public activities along all edges of the development. The landscape plan will provide adequate lighting to provide a safe environment while conforming to current best practices to mitigate light pollution.



VIEW FROM 5TH STREET



VIEW TOWARD BART STATION



VIEW OF ART ALLEY FROM MAKER SQUARE

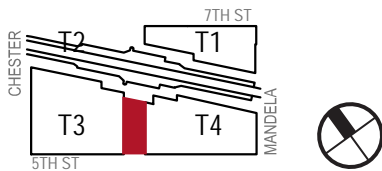


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DATE: January 18, 2019

PUBLIC SPACE
IMPROVEMENT:
MAKER SQUARE

SHEET:
A-10.00.3

Sidewalks

7th Street (between Mandela Parkway and Chester Street):

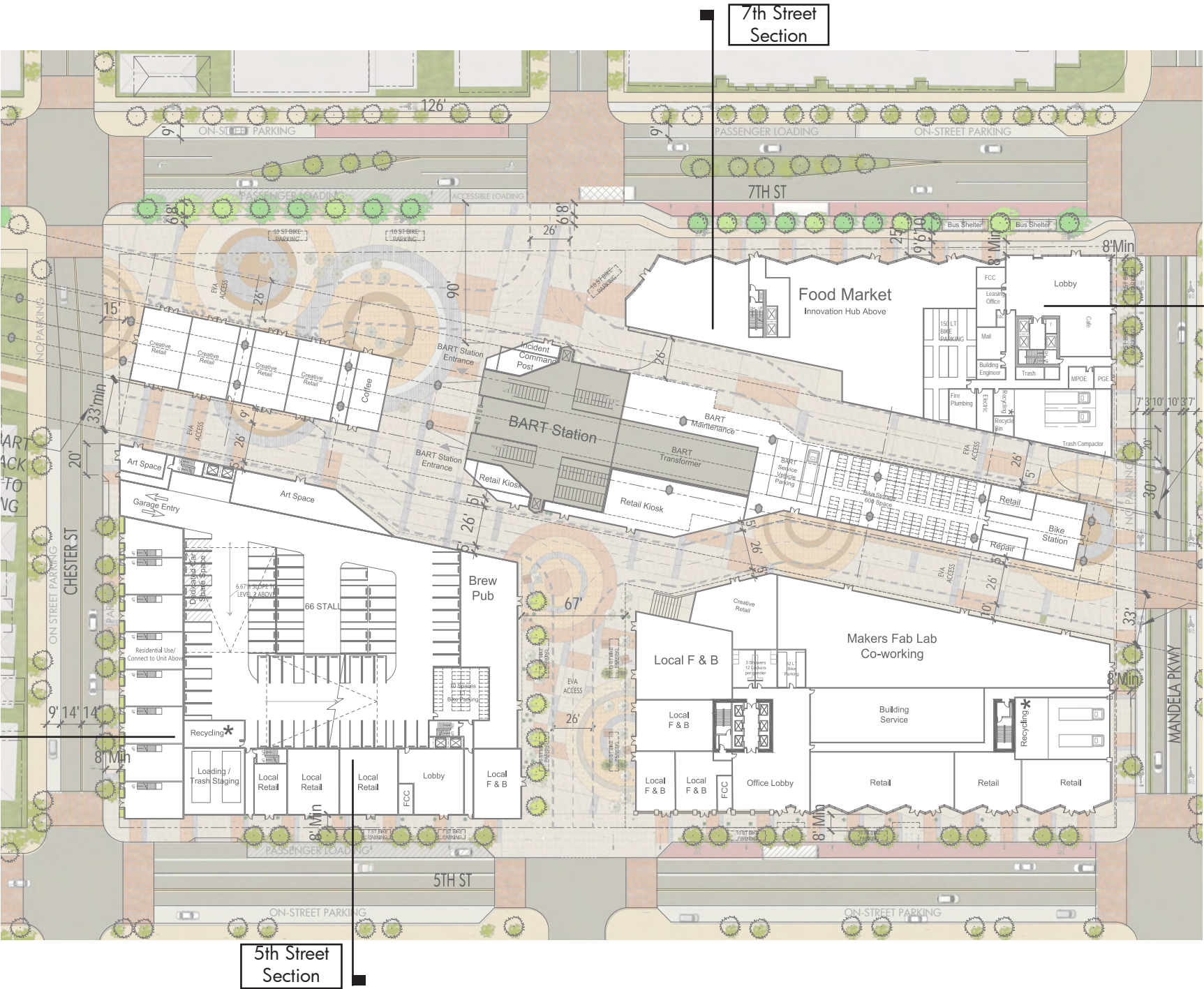
The sidewalk width will be min 8' pedestrian clear zone. in order to accommodate the needs of pedestrians, bus passengers, and curbside passenger loading. The sidewalk will be buffered from adjacent parking and street traffic by a street furnishings zone including pedestrian-scale lighting and street trees and/or other plantings.

5th Street (between Mandela Parkway and Center Street):

The sidewalk width will be min 8' pedestrian clear zone in order to accommodate the needs of pedestrians, bus passengers, and curbside passenger loading.

5th Street (between Center and Chester Street):

Between 5th and 7th Streets, sidewalks adjacent to the project site will be min 8' pedestrian clear zone. The sidewalk will be buffered from adjacent parking and street traffic by a street furnishings zone including pedestrian-scale lighting and street trees and/or other plantings.

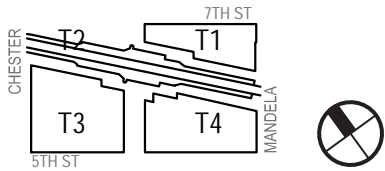


Parking and Truck Loading Entrances: For the project will be designed to provide clear sight lines, should include ADA features such as tactile warning strips, and should provide audible warnings for when vehicles cross the pedestrian path of travel.

Wayfinding Signage: Lighting, and installation of other pedestrian amenities (e.g., seating, trash receptacles, trees and other landscaping) will be provided along all public roadways bordering the project site.



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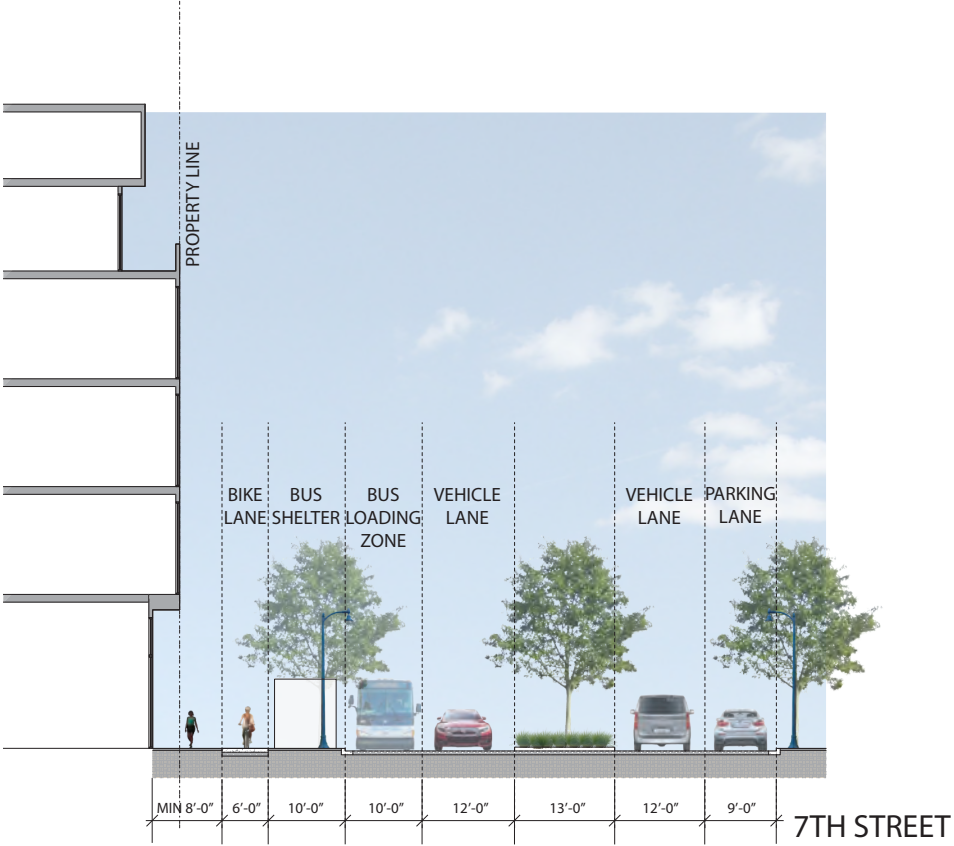


PROJ. # 168-153 WO BART
DATE: January 18, 2019

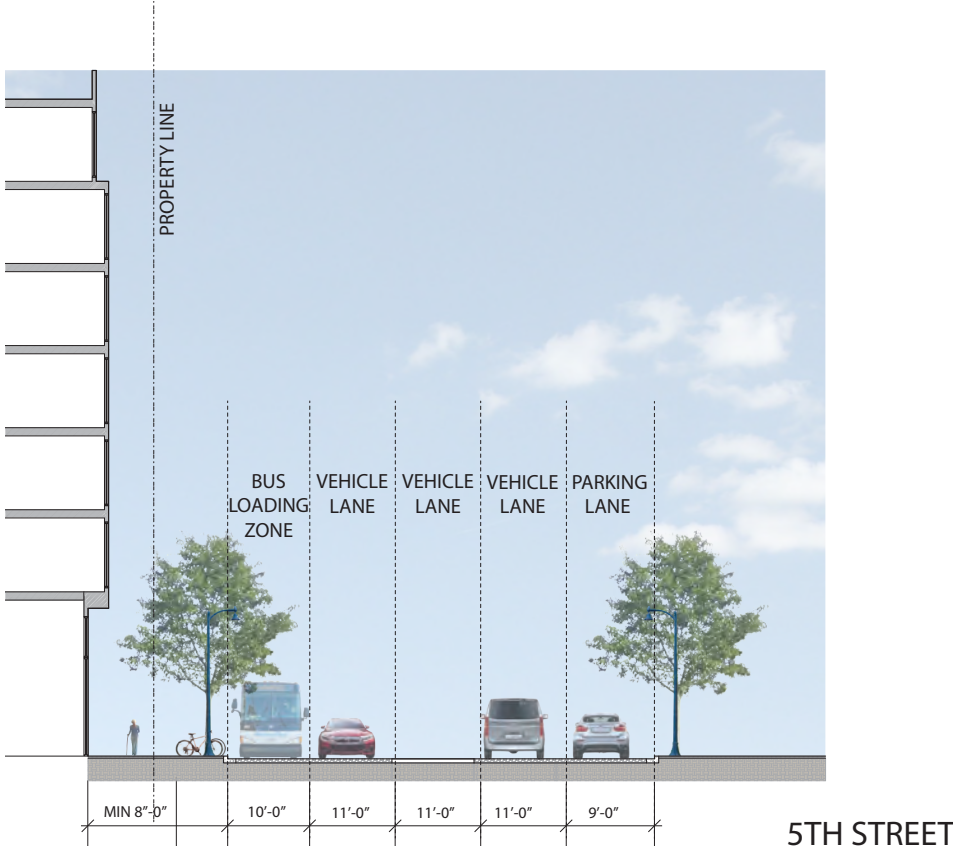
PUBLIC SPACE
IMPROVEMENT:
SIDEWALKS

SHEET:
A-10.00.4

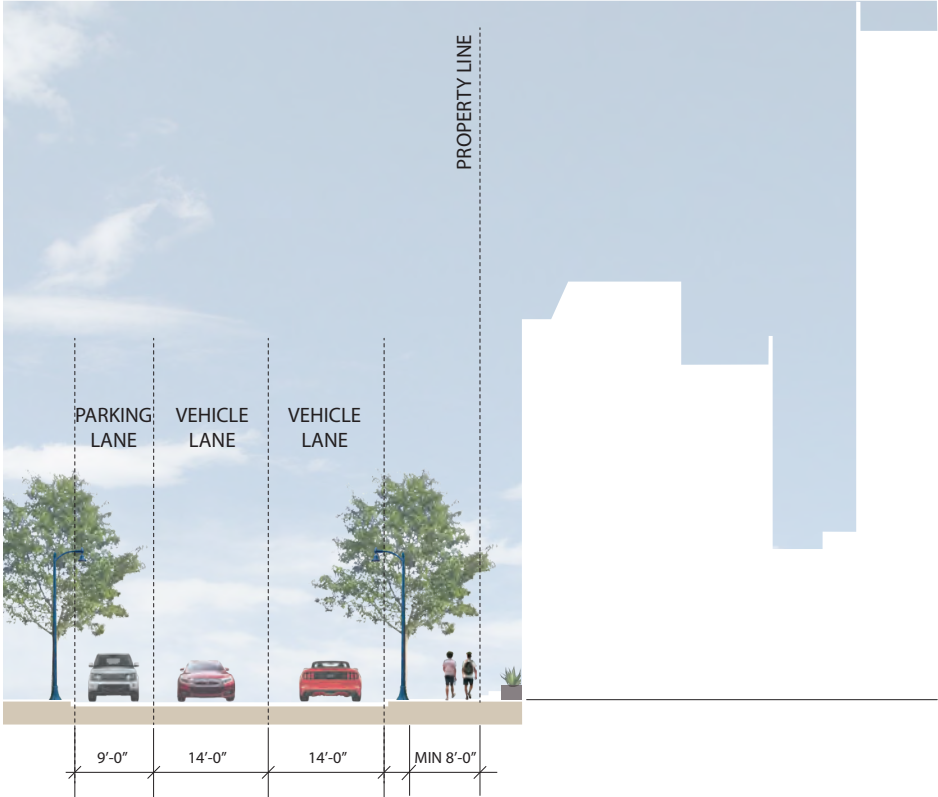
Sidewalk Sections



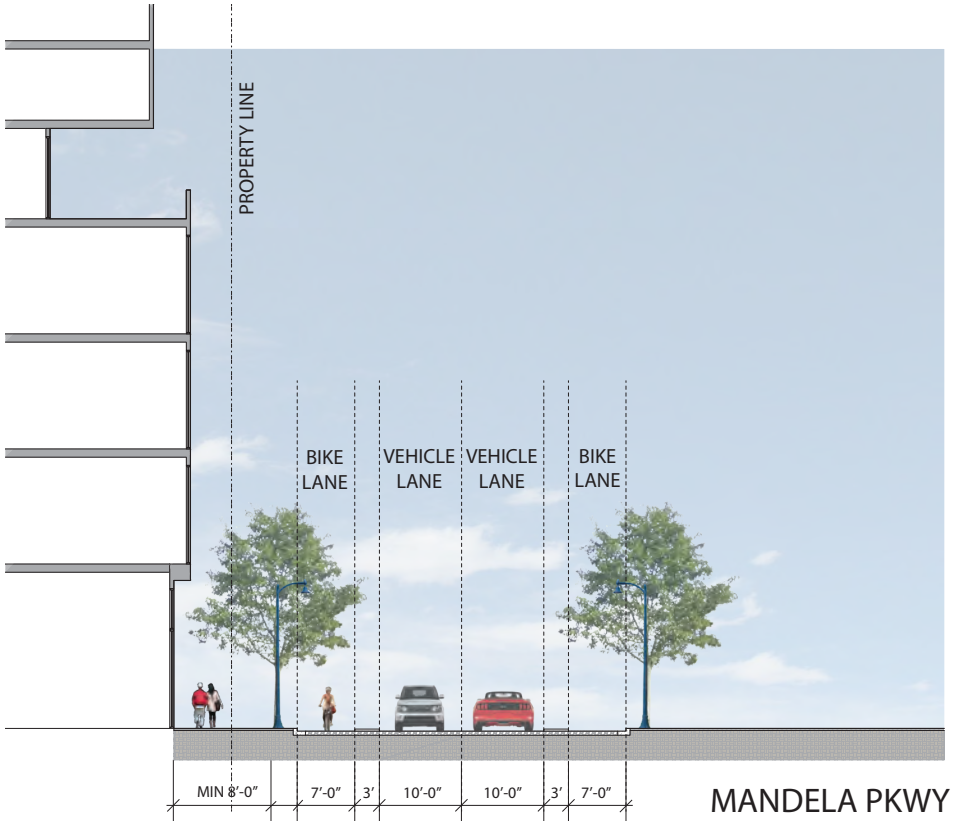
SECTION AT 7TH STREET



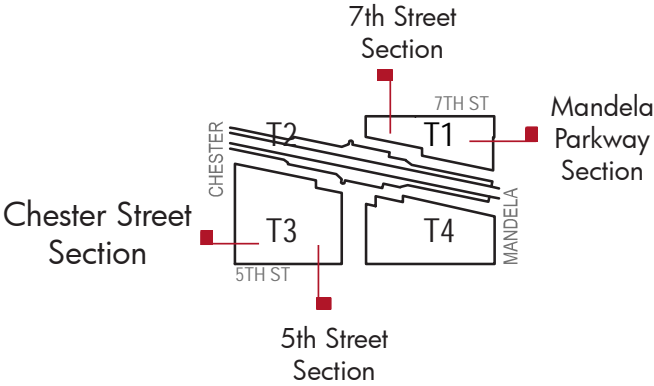
SECTION AT 5TH STREET



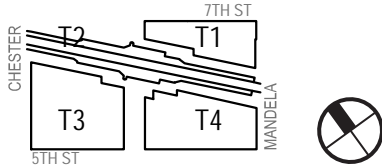
SECTION AT CHESTER STREET



SECTION AT MANDELA PARKWAY



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DATE: January 18, 2019

PUBLIC SPACE
IMPROVEMENT:
SIDEWALKS

SHEET:
A-10.00.5

Bikeways

Mandela Cycle Tracks:

To facilitate bicycle access from the bicycle lanes on Mandela Parkway south of 7th Street and north of 5th Street, two one-way cycle tracks are recommended along the west and east sides of Mandela Parkway between 7th and 5th Streets.

The recommended width for a one-way cycle track travel surface is 6 feet, and a three-foot buffer from the face of curb to the edge of the cycle track is also recommended. In addition to the cycle track and buffer, sidewalks with a minimum width of eight feet should also be provided.

7th St Cycle Tracks Eastbound:

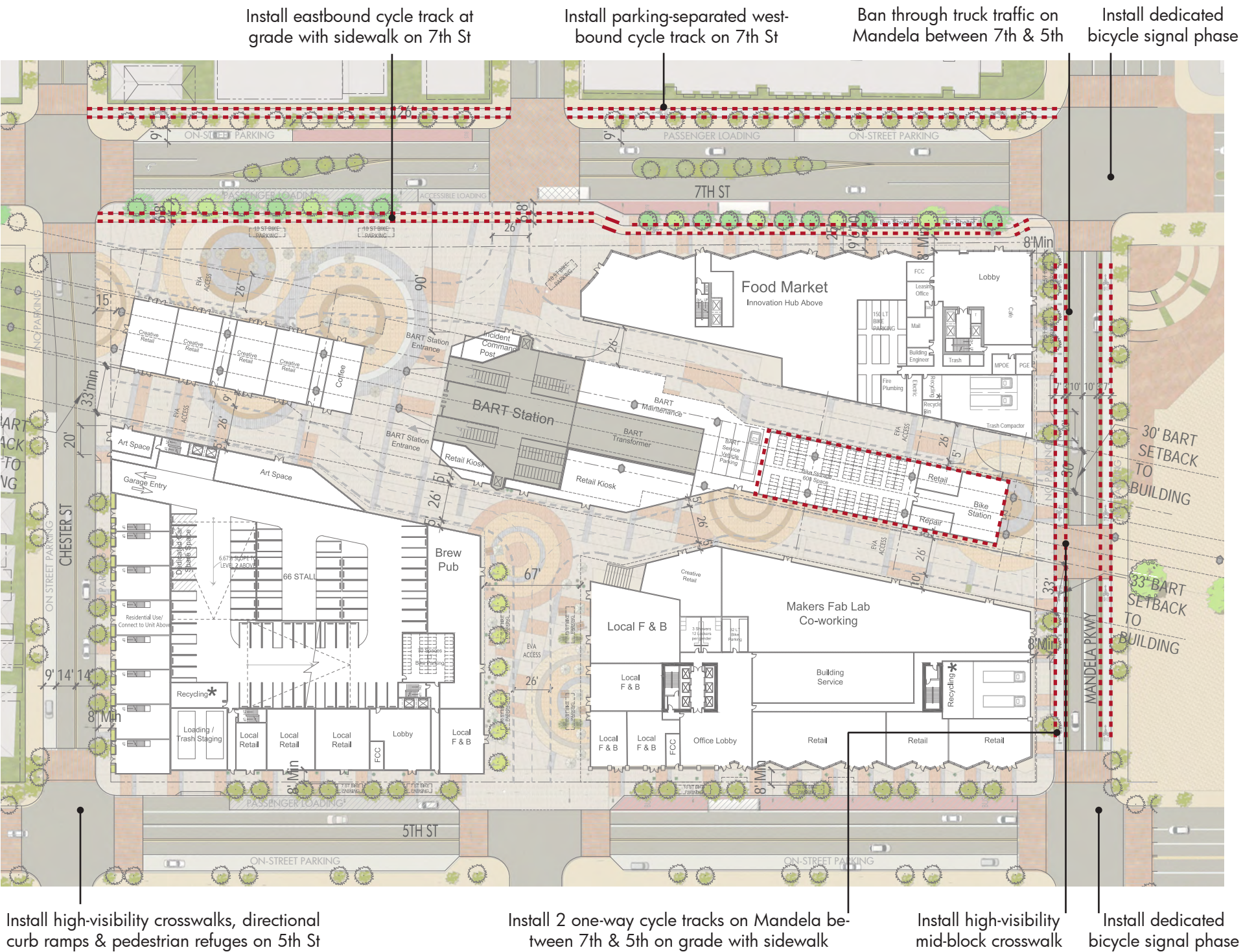
To facilitate bicycle access in conjunction with passenger loading from vehicles and buses along eastbound 7th Street between Chester Street and Mandela Parkway, a one-way cycle track will be located with a minimum width of 6 feet.

The recommended width for a one-way cycle track travel surface is 6 feet, and an 8-foot buffer and sidewalk from the face of curb to the edge of the cycle track is also recommended.

7th St Cycle Tracks Westbound:

On westbound 7th Street between Mandela Parkway and Chester Street, a one-way cycle track will be located with a minimum width of 6 feet.

The recommended width for a one-way cycle track travel surface is 6 feet, and an 8-foot buffer and sidewalk from the face of curb to the edge of the cycle track is also recommended.



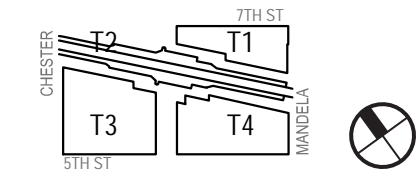
Bike Station:

The project will include an enhanced bicycle station located on the east side of the station structure that provides both valet and 24-hour secure bicycle parking to accommodate a minimum of 500 bicycles. The bike station will also include a retail and repair facility (both self-service and a bike shop).

Additional bicycle parking for BART and commercial patrons will be provided throughout the site in the form of bicycle racks. Bicycle parking for the TOD’s commercial and residential tenants will also be provided in accordance with City of Oakland requirements.



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EDWARD MCFARLAN
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STATE OF CALIFORNIA
EXP. 05-31-19



PROJ. # 168-153 WO BART
DATE: January 18, 2019

PUBLIC SPACE
IMPROVEMENT:
BIKEWAYS

SHEET:
A-10.00.6

Crosswalks & Intersections

5th Street/Center Street and 5th Street/Chester Street Intersection:

High-visibility crosswalks will be installed along with directional, ADA compliant curb ramps, and pedestrian refuges on 5th Street.

Mandela Parkway/7th Street Intersection:

Further design and engineering analyses will be required for this intersection.

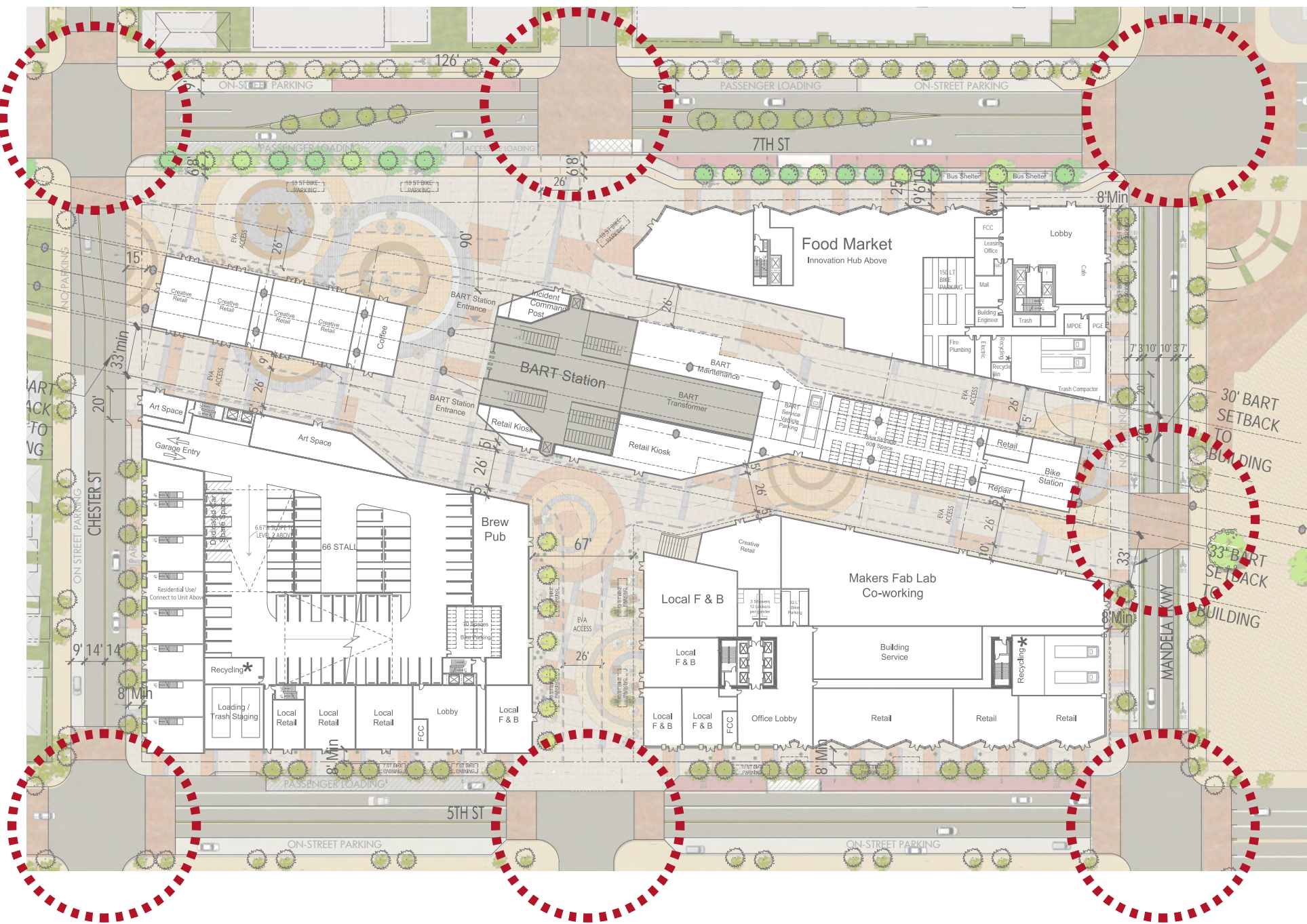
Mid-Block Crossing on Mandela:

A high-visibility, mid-block pedestrian crossing is recommended on Mandela Parkway between 7th and 5th Streets. The crossing design will need to be coordinated with the design of the two-way cycle track to facilitate safe pedestrian crossing of both the roadway and the cycle track.

Currently, there are a relatively large number of pedestrians crossing Mandela Parkway at this location because it is the most direct path of travel from parking locations east of the station to the station entrance. It is expected that this will continue to be a preferred pedestrian path of travel once the surface parking lots to the east of the station are redeveloped.

Mandela Parkway/5th Street Intersection:

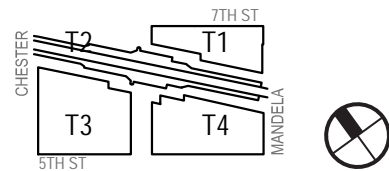
Crosswalks at this intersection will be straightened to minimize pedestrian crossing distances and ADA-compliant, directional curb ramps should be installed.



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PROJ. # 168-153 WO BART
DATE: January 18, 2019

PUBLIC SPACE
IMPROVEMENT:
CROSSWALKS &
INTERSECTIONS

SHEET:
A-10.00.7

Passenger Loading

7th Street Passenger Loading:

Will be located on the south side of 7th Street west of Center Street. A portion (at least 50 linear feet) of this loading area closest to the intersection with Center Street should be designated as a loading space for passengers with disabilities. This area provides the most direct access to the station entrance.

5th Street Passenger Loading:

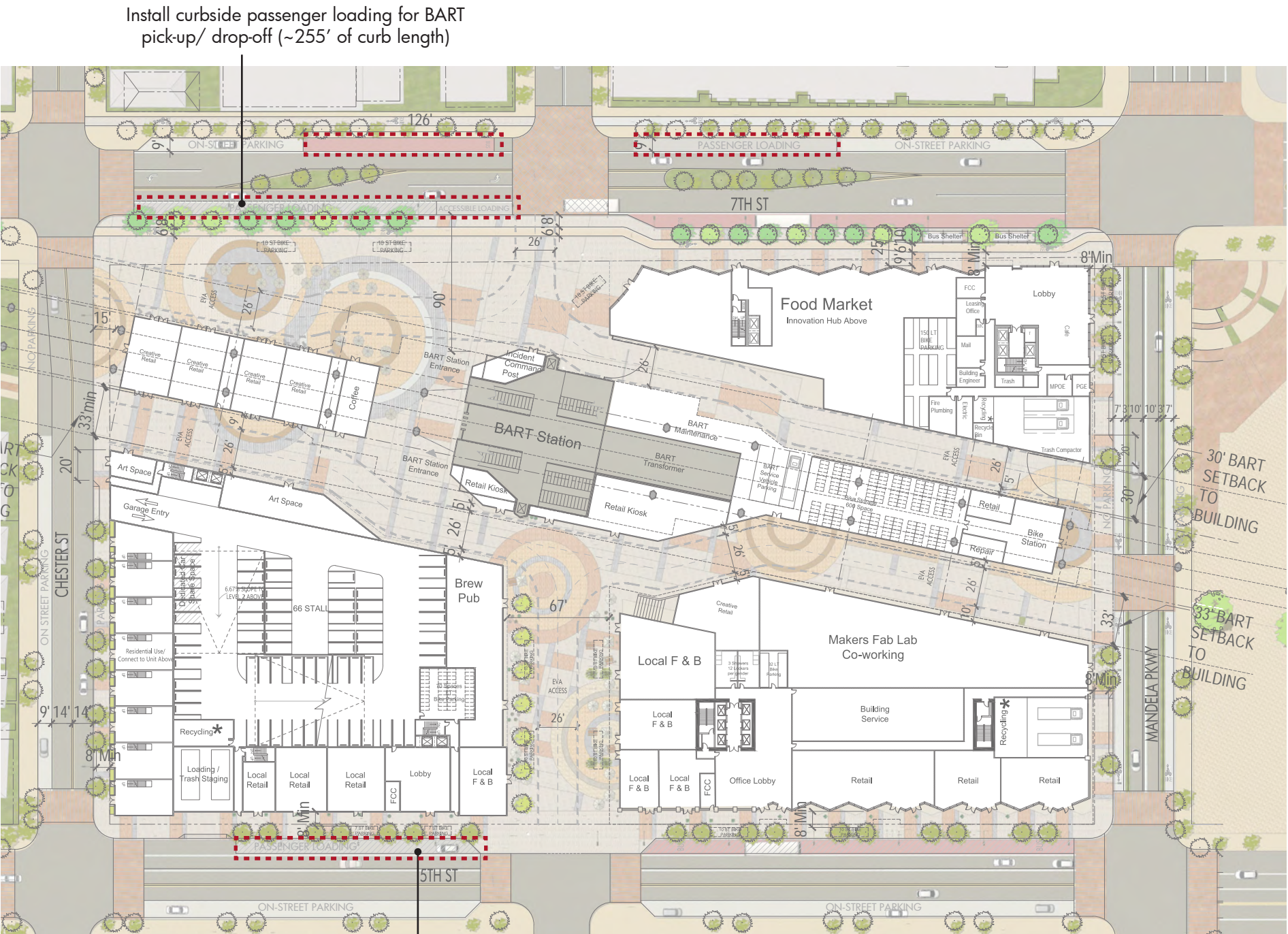
Approximately 130 feet of linear curb is proposed along westbound 5th street on the nearside of the intersection with Center Street, and another 255 feet of linear curb is proposed on eastbound 7th Street on the near side of the intersection with Center Street for passenger loading and unloading.

Differentiated TNC Loading:

Loading zones will be further differentiated between kiss-and-ride and TNC passenger loading with on-the-ground and in-app wayfinding for TNC passengers.

Wayfinding:

Signage directing vehicles to loading zones will be provided at key decision points like the Mandela Parkway and 7th Street intersection and the 5th Street and Kirkham or Union Street intersections. Loading zone locations should also be incorporated into smartphone mapping and TNC apps to facilitate safe and efficient circulation and access.

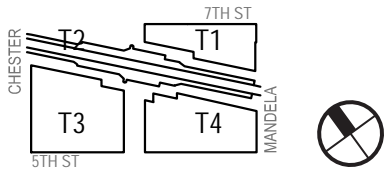


Install curbside passenger loading for BART pick-up/ drop-off (~255' of curb length)

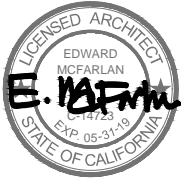
Install curbside passenger loading for BART pick-up/ drop-off (~130' of curb length)



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PROJ. # 168-153 WO BART
DATE: January 18, 2019

PUBLIC SPACE
IMPROVEMENT:
PASSENGER
LOADING

SHEET:
A-10.00.8

Bus Stops

7th Street Eastbound:

The existing bus stop on eastbound 7th Street will be retained and extended to the intersection with Center Street for an approximate total length of 270 linear feet. This stop would serve AC Transit Lines 29, 36, and 62 and would serve as both a stop and layover space for AC Transit Line 14. If Emery-Go-Round service is extended to the West Oakland Station, this stop could serve Emery-Go-Round vehicles as well.

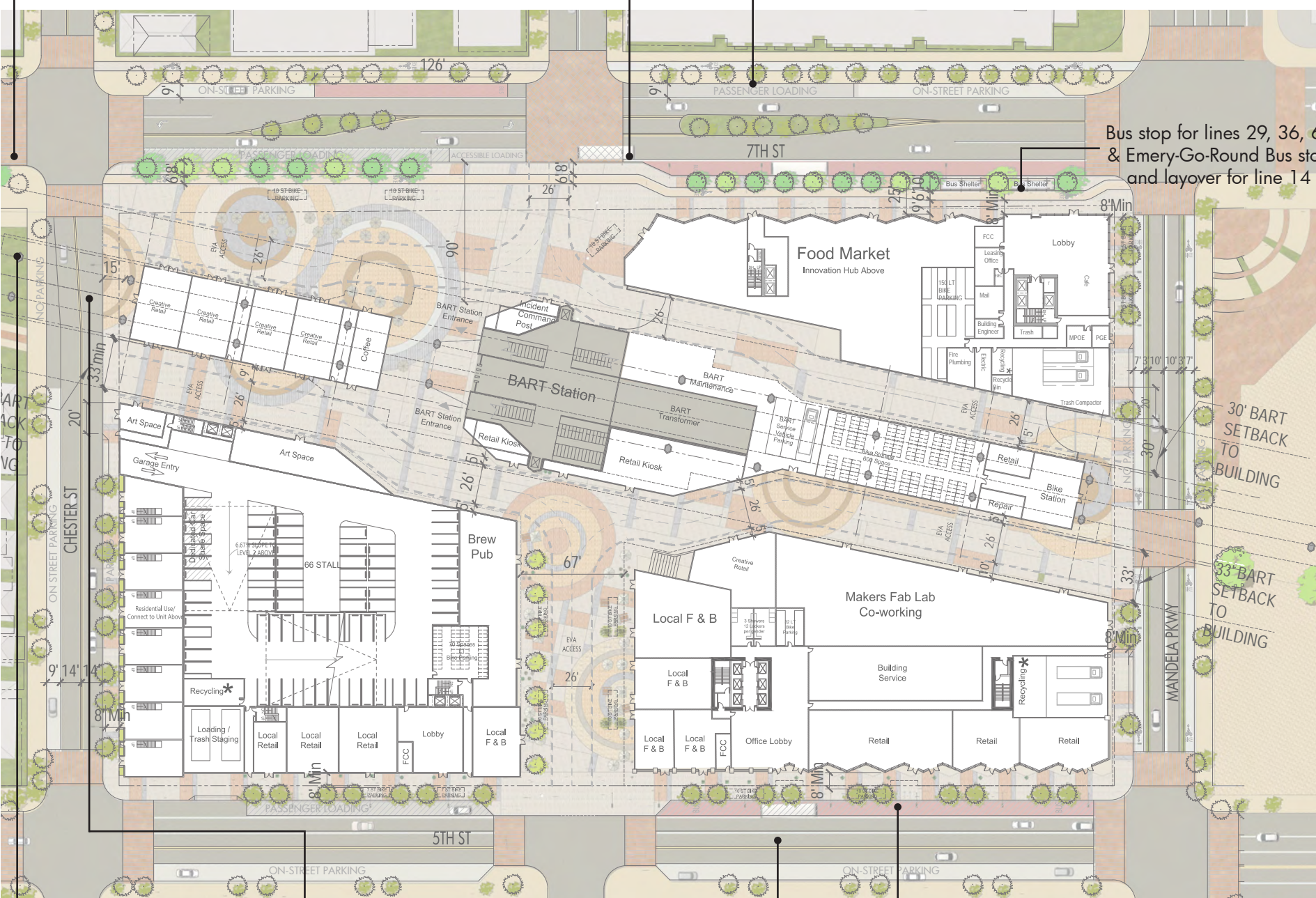
7th Street Westbound: A new bus stop will be installed on westbound 7th Street to serve AC Transit Line 29 and Emery-Go-Round, if the service is extended to the West Oakland Station. A minimum of 126 feet of linear curb is needed at this location to accommodate transit vehicles, as well as a concrete bus pad in the roadway. If a bus stop is installed at this location, AC Transit has requested that a barrier be placed in the median of 7th Street to prevent illegal mid-block pedestrian crossings between the bus stop and the BART station.

5th Street Westbound: The bus stop and layover for lines 36 and 62 will be relocated to westbound 5th Street on the far side of the intersection with Mandela Parkway. At least 170 feet of curb length will be provided to accommodate the bus stops and layovers, and a concrete bus pad would need to be installed in the roadway.

Install bus stop for intercity coaches (Bolt, Megabus)

Start sidewalk taper immediately after crosswalk to better accomodate bus access

Install bus stop for line 29 and Emery-Go-Round (at least 126' of curb length needed)



Potential layover space for lines 36 & 62, requires further evaluation

Redesign Chester St cross-section to facilitate buses turning right

Install median barrier to prevent jaywalking to/from bus stop

Bus stop and layover for lines 62 & 36 (~170' of curb length)

Intercity & Private Bus Stops: A bus stop for intercity coaches (e.g., Megabus and Bolt) could be installed on 7th Street between Henry and Chester Streets. Private employer shuttle could also utilize this stop. The existing BART surface parking immediately adjacent to this curb could be utilized for bus and shuttle transit passenger pick-up and drop-off (if not utilized as a layover space for AC Transit buses).

Passenger Amenities:

All bus stops should provide a high level of passenger amenities, including shelters with seating, maps and other information, and real-time bus arrival information; trash receptacles; and lighting.

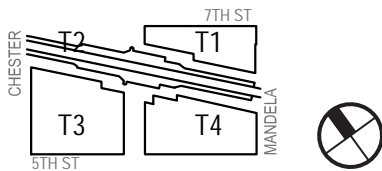


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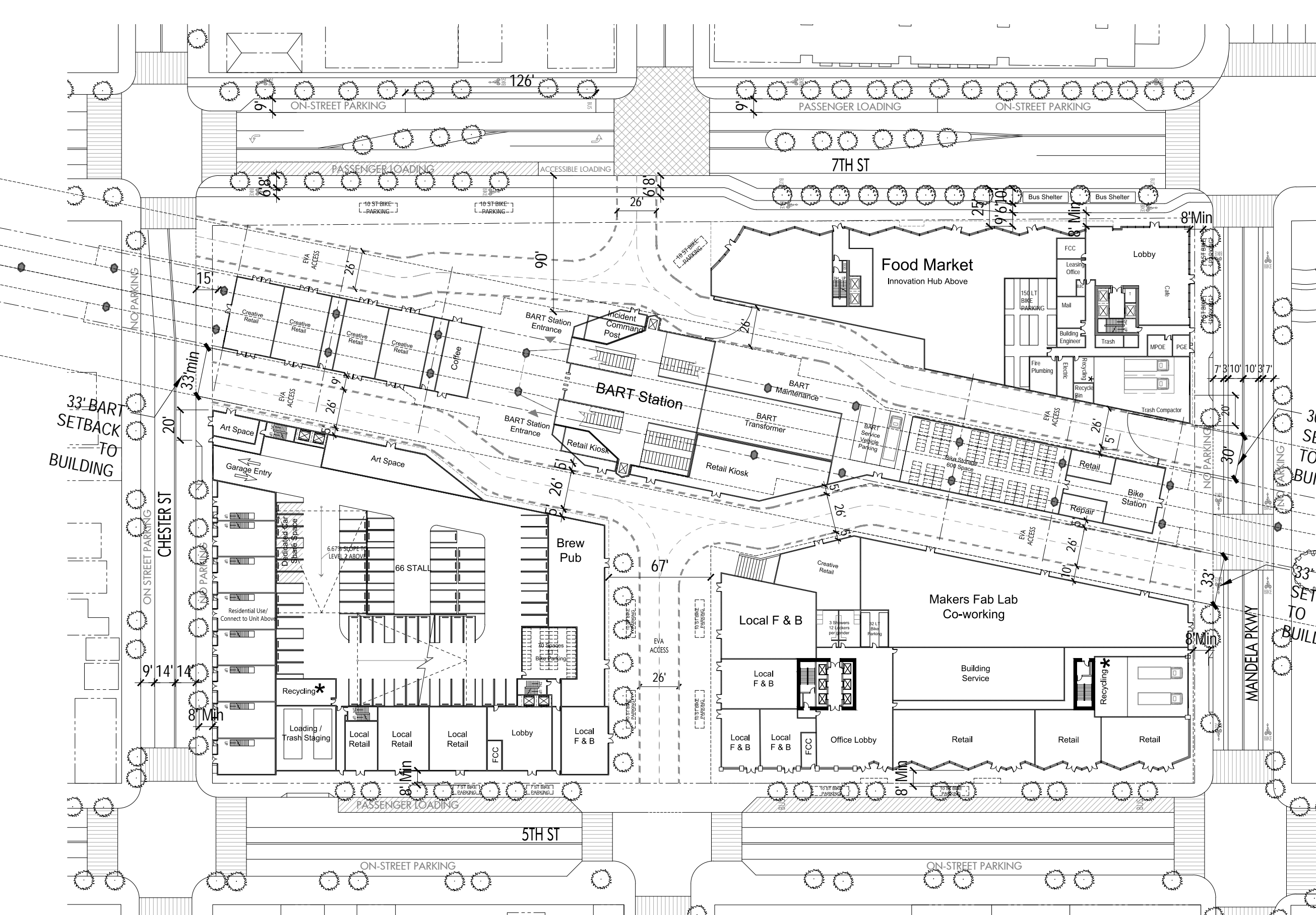
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PUBLIC SPACE IMPROVEMENT: BUS STOPS

SHEET:
A-10.00.9

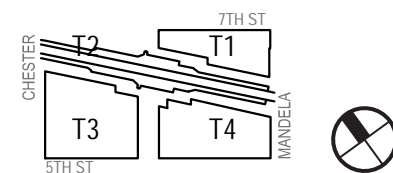


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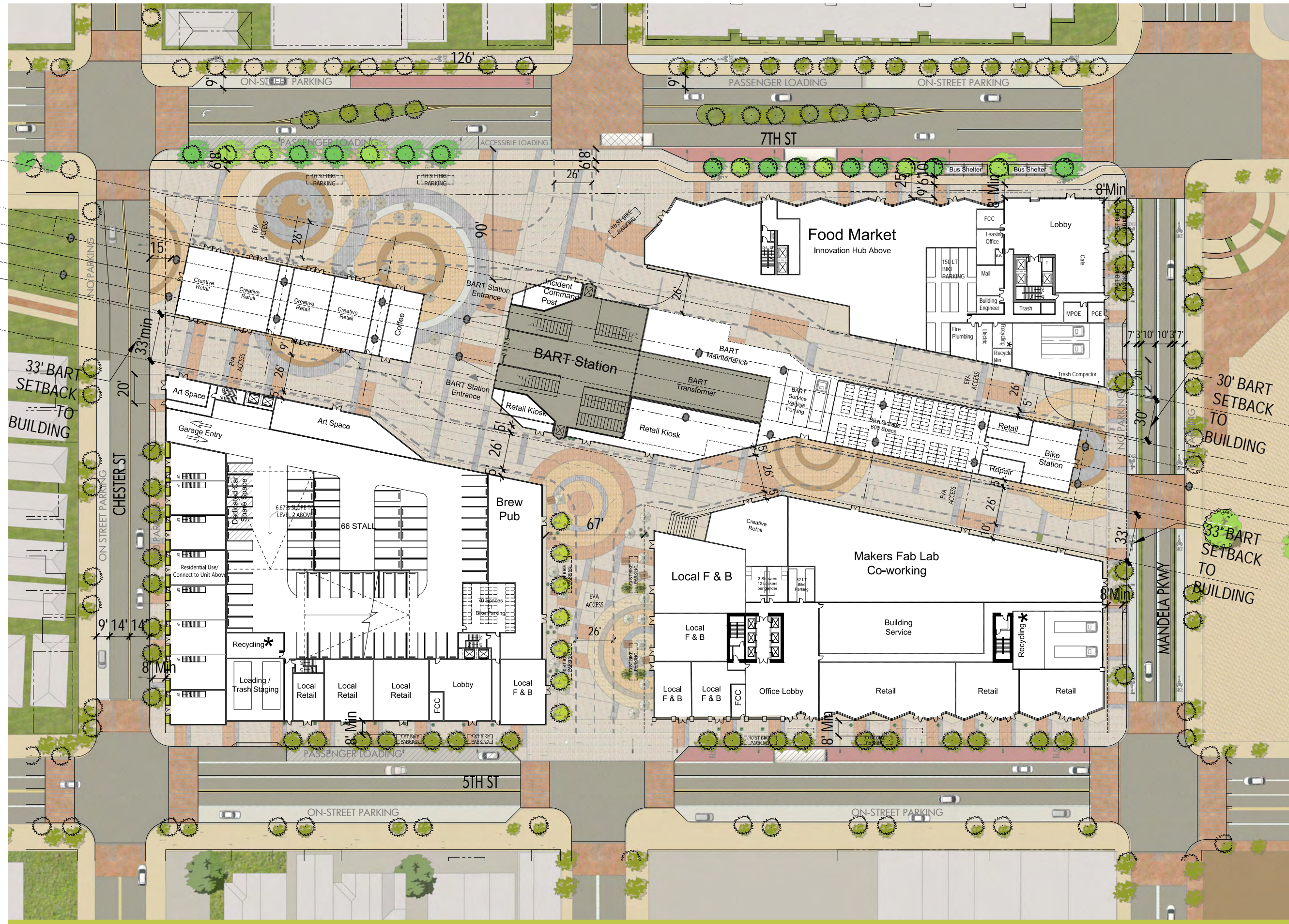
DATE:

January 18, 2019

SITE PLAN

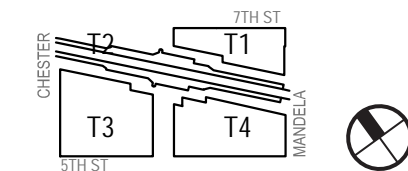
SHEET:

A-10.01



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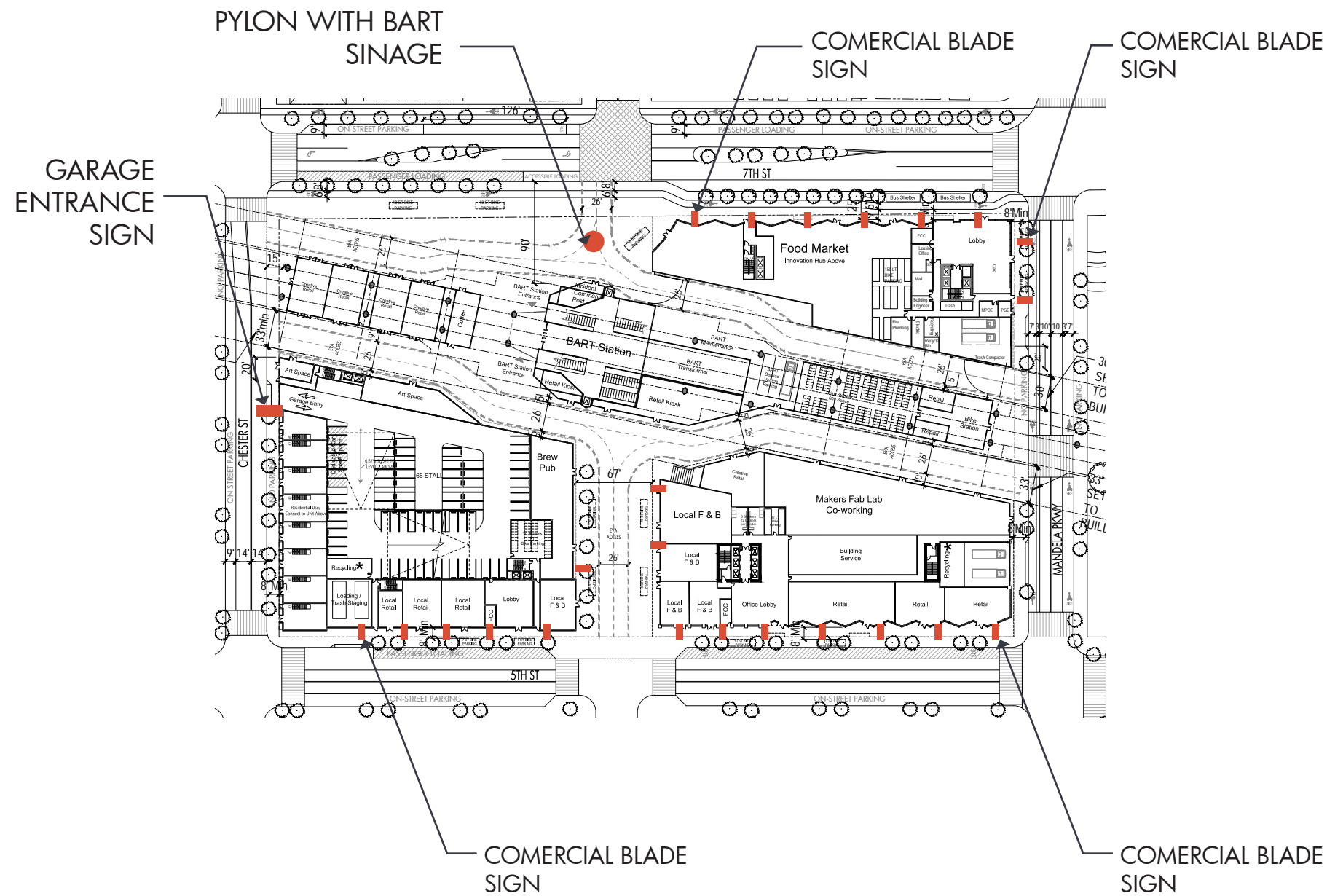
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SITE PLAN

SHEET: A-10.01



PYLON WITH BART SIGNAGE



CORPORATE SIGN



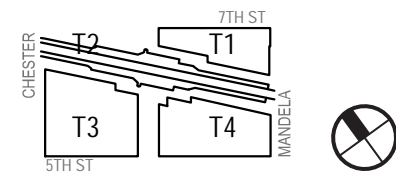
COMERCIAL BLADE SIGN



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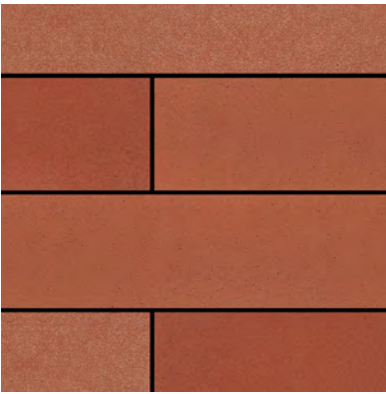
PROJ. # 168-153 WO BART
DATE: January 18, 2019

SIGN PLAN

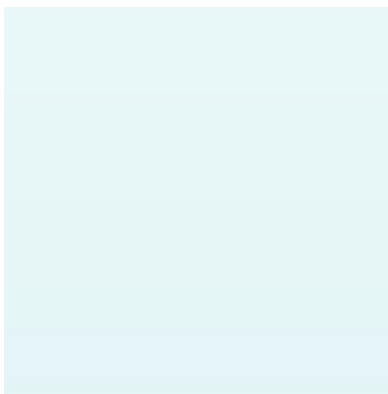
SHEET:

A-10.02

T1 RESIDENTIAL TOWER



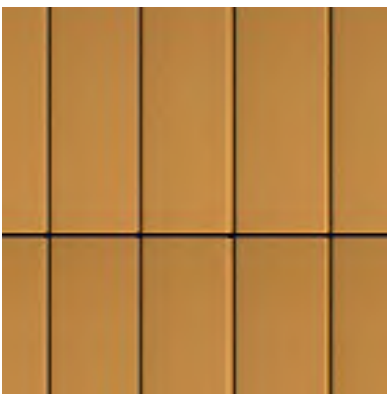
PODIUM
CONC. PRE-CAST W/ INTE-
GRATED COLOR & TEXTURE



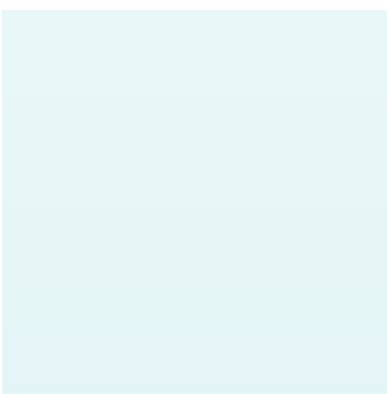
CURTAIN WALL
HIGH SOLAR PERFORMANCE
WINDOW SYSTEM



CHANNEL GLASS SCREEN
HIGH PERFORMANCE
CHANNEL GLASS



PANEL SYSTEM
PRE-CAST FIBER CEMENT PANEL



PANEL SYSTEM
HIGH SOLAR PERFORMANCE
GLASS - OPERABLE

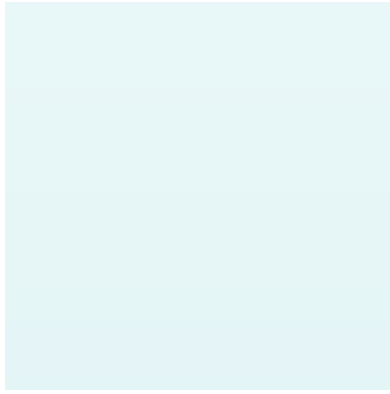
T3 RESIDENTIAL MID-RISE



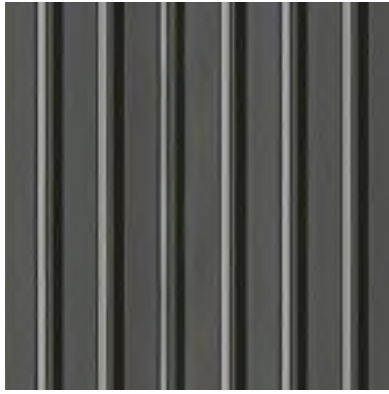
CONC. PRE-CAST W/ INTEGAR-
TED COLOR & TEXTURE



CONC. PRE-CAST W/ INTEGAR-
TED COLOR & TEXTURE



GLAZING
HIGH SOLAR PERFORMANCE
WINDOW SYSTEM



PANEL SYSTEM
CORRUGATED METAL

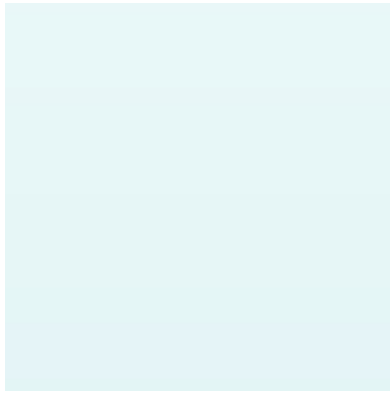
T4 OFFICE BUILDING



PODIUM
CONC. PRE-CAST W/ INTEGAR-
TED COLOR & TEXTURE



PODIUM
CONC. PRE-CAST W/ INTEGAR-
TED COLOR & TEXTURE

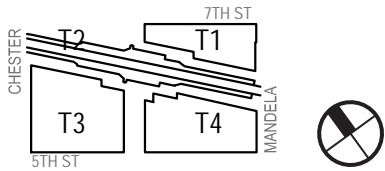


CURTAIN WALL
HIGH SOLAR PERFORMANCE
WINDOW SYSTEM



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MATERIAL
BOARD

SHEET: A-10.03



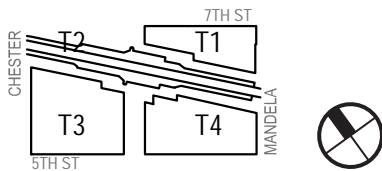
CURTAIN WALL
HIGH SOLAR PERFORMANCE WINDOW SYSTEM



PANEL SYSTEM
PRE-CAST FIBER CEMENT PANEL



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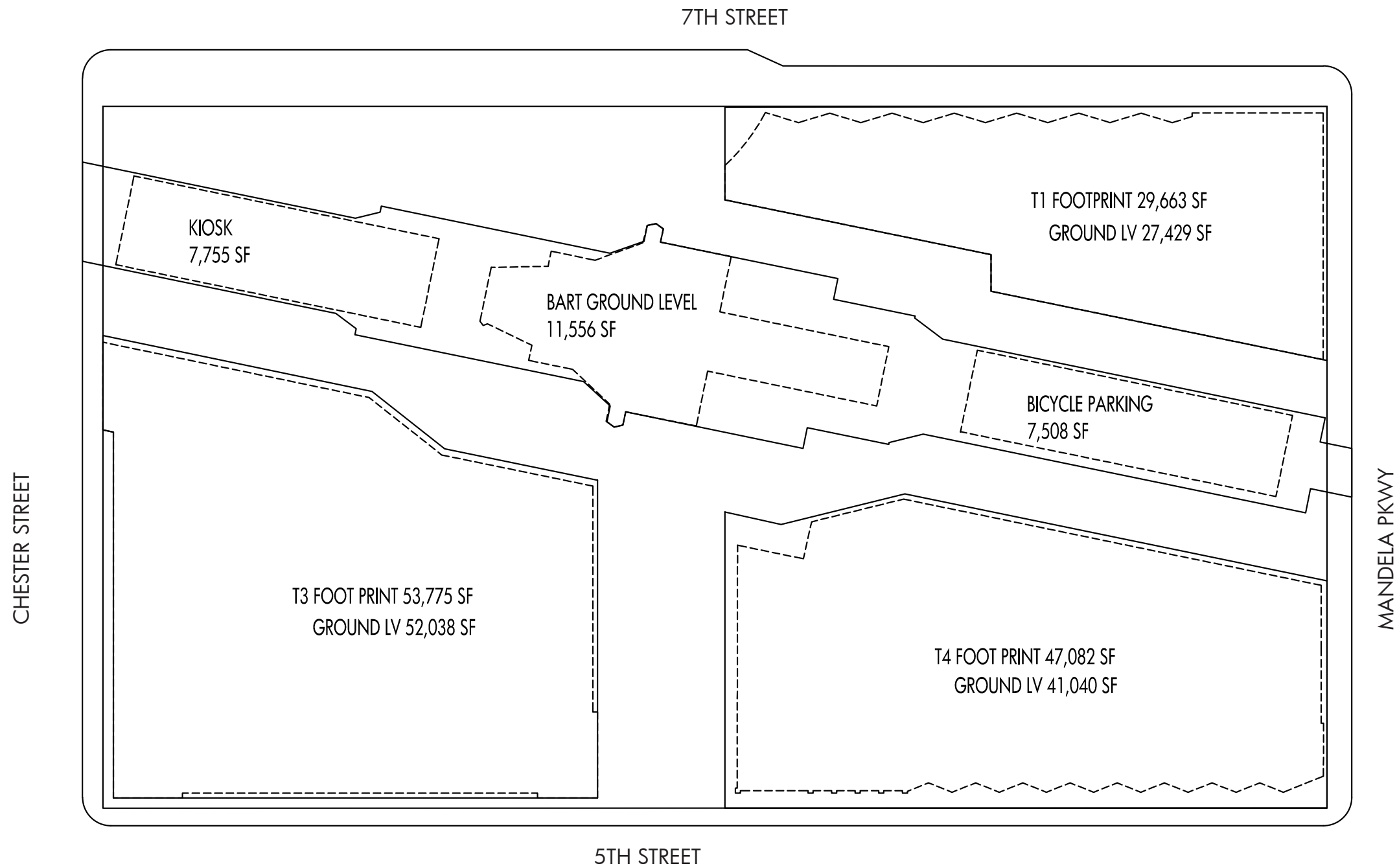
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**MATERIAL
BOARD**

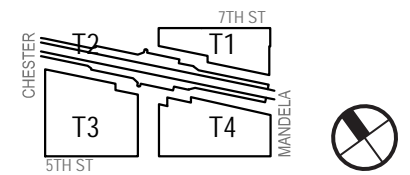
SHEET:
A-10.04




SITE AREA 273,756 SF	BART GROUND LEVEL 11,556 SF	TOTAL BUILDING FOOTPRINT 146,955 SF
PROPERTY 243,132 SF	BART FOOTPRINT 42,865 SF	OPEN SPACE 85,793 SF

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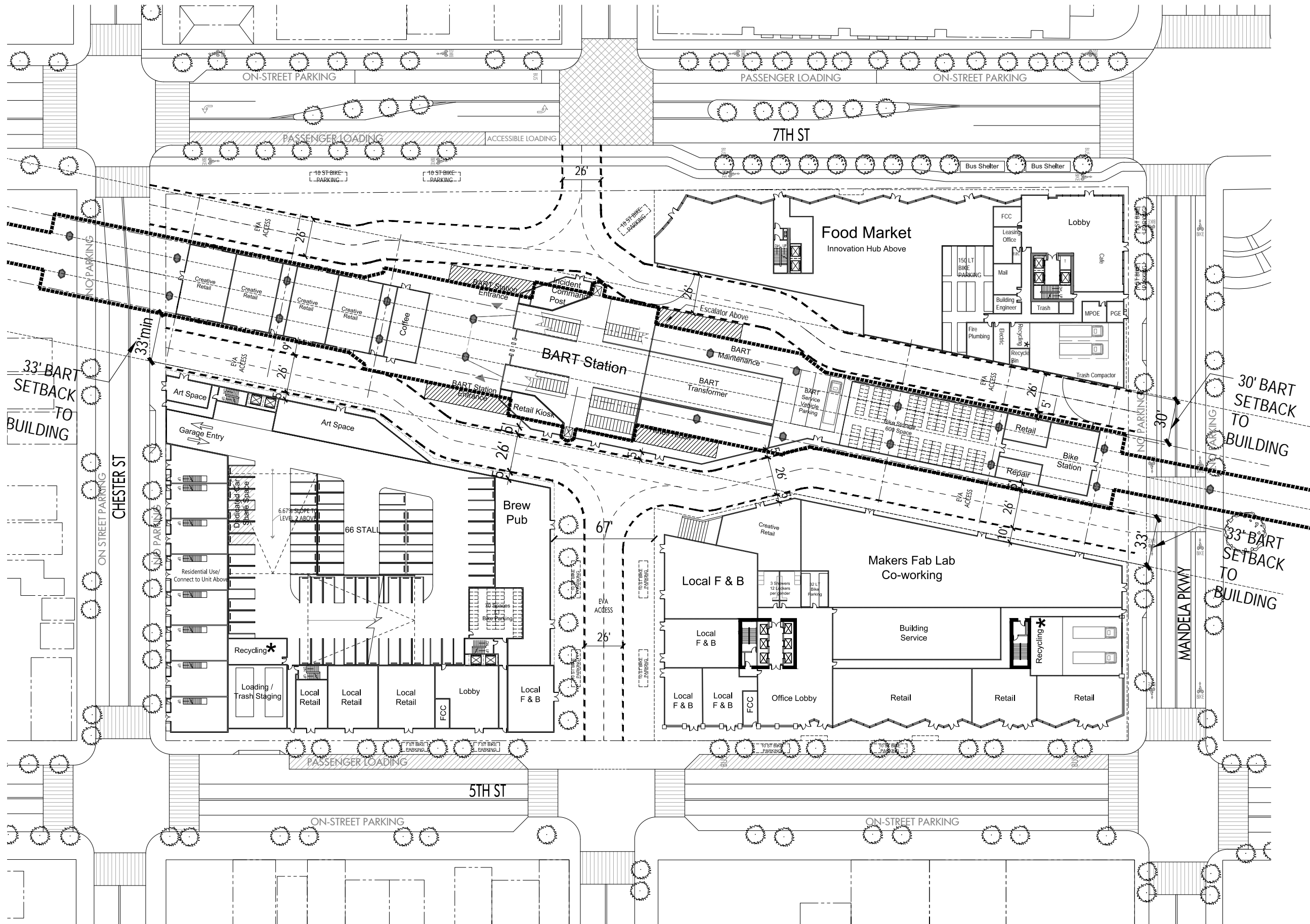


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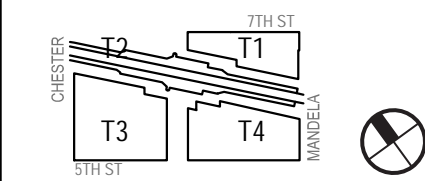
FOOTPRINT AREA

SHEET:	A-10.05
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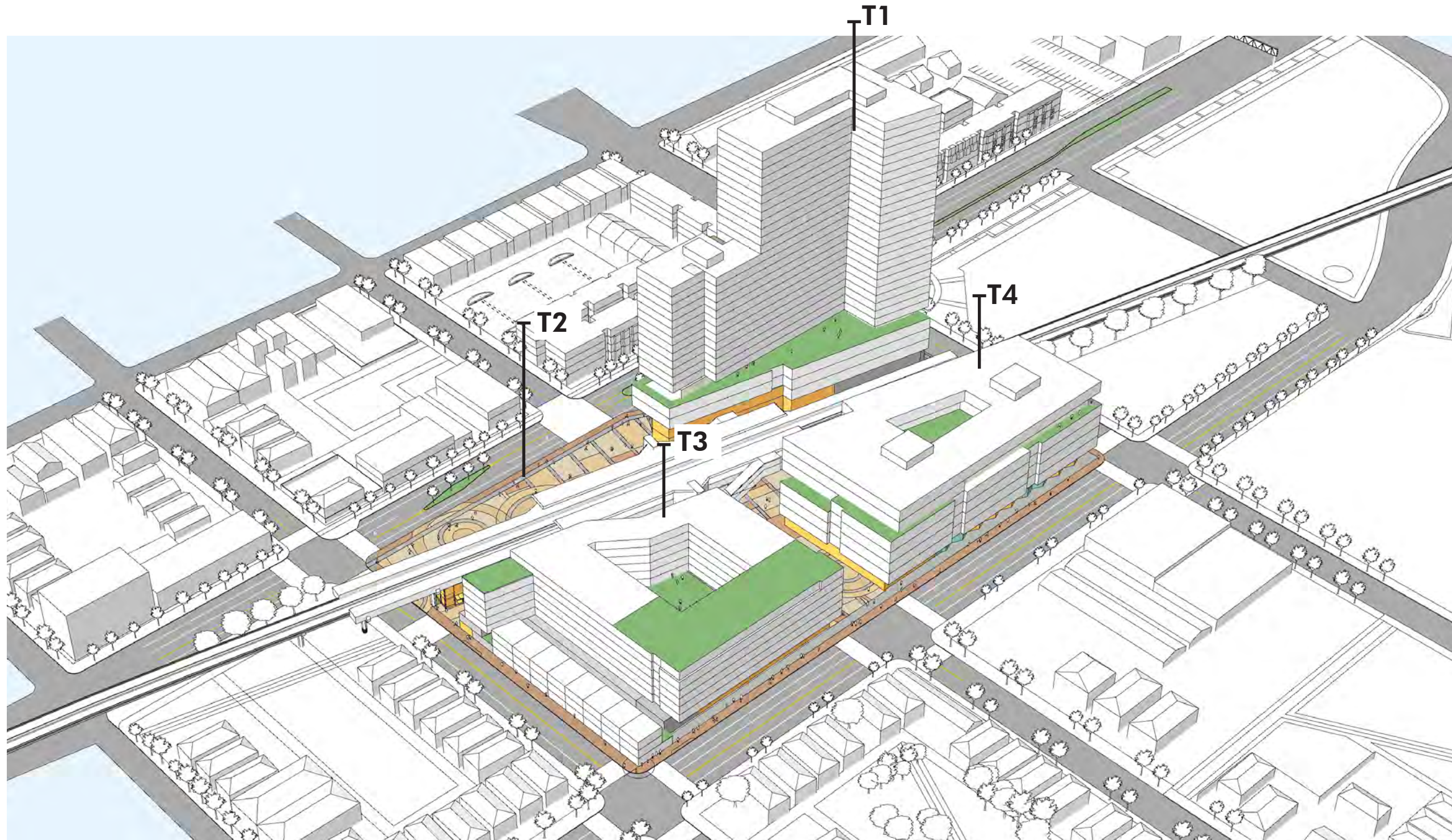
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EMERGENCY VEHICAL ACCESS

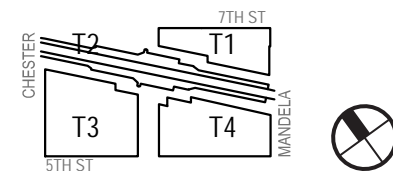
SHEET: A-10.06



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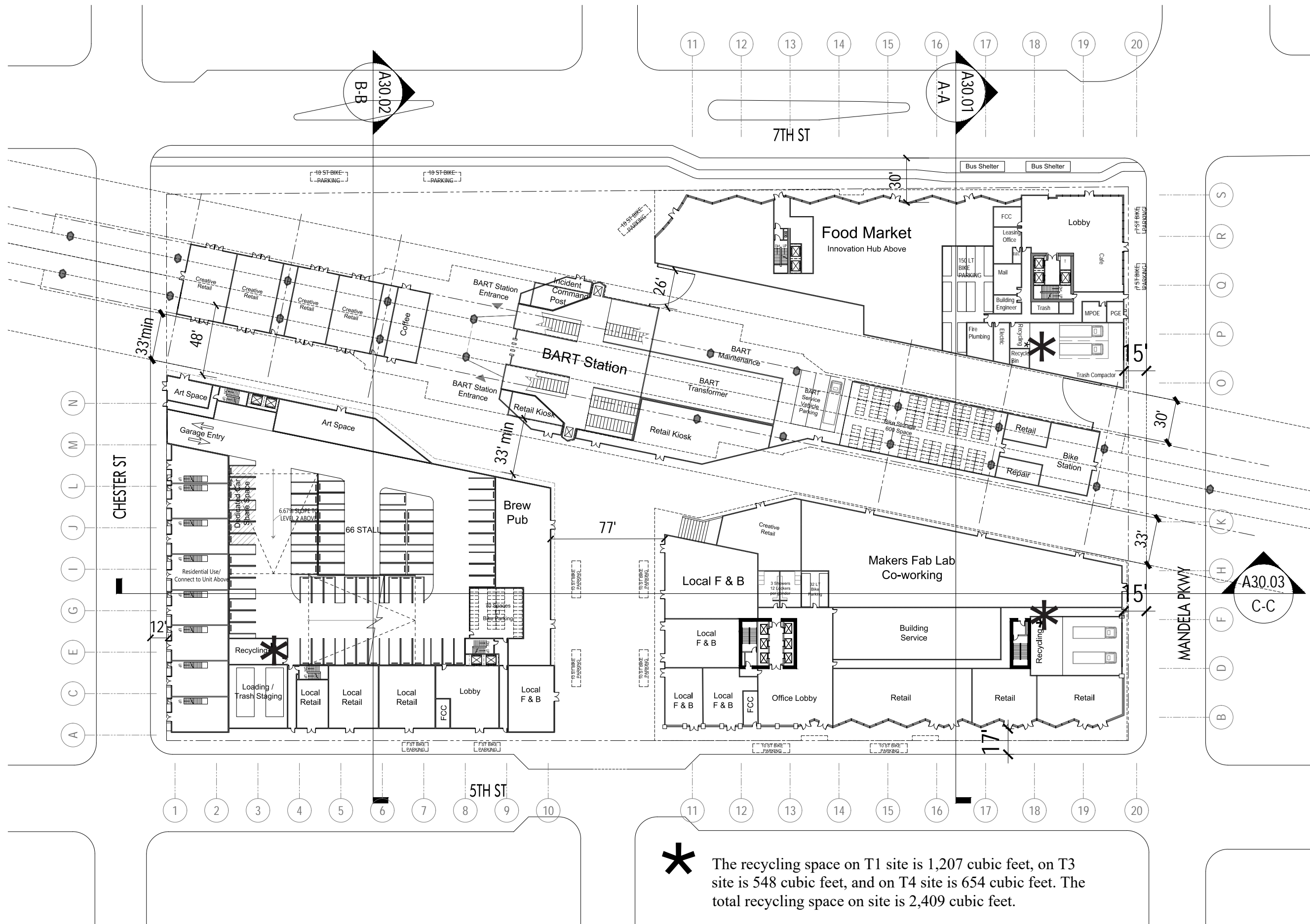


PROJ. # 168-153 WO BART
DATE: January 18, 2019

MASSING DIAGRAM

SHEET: A-10.07



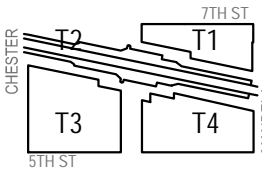


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GROUND FLOOR PLAN

SHEET:

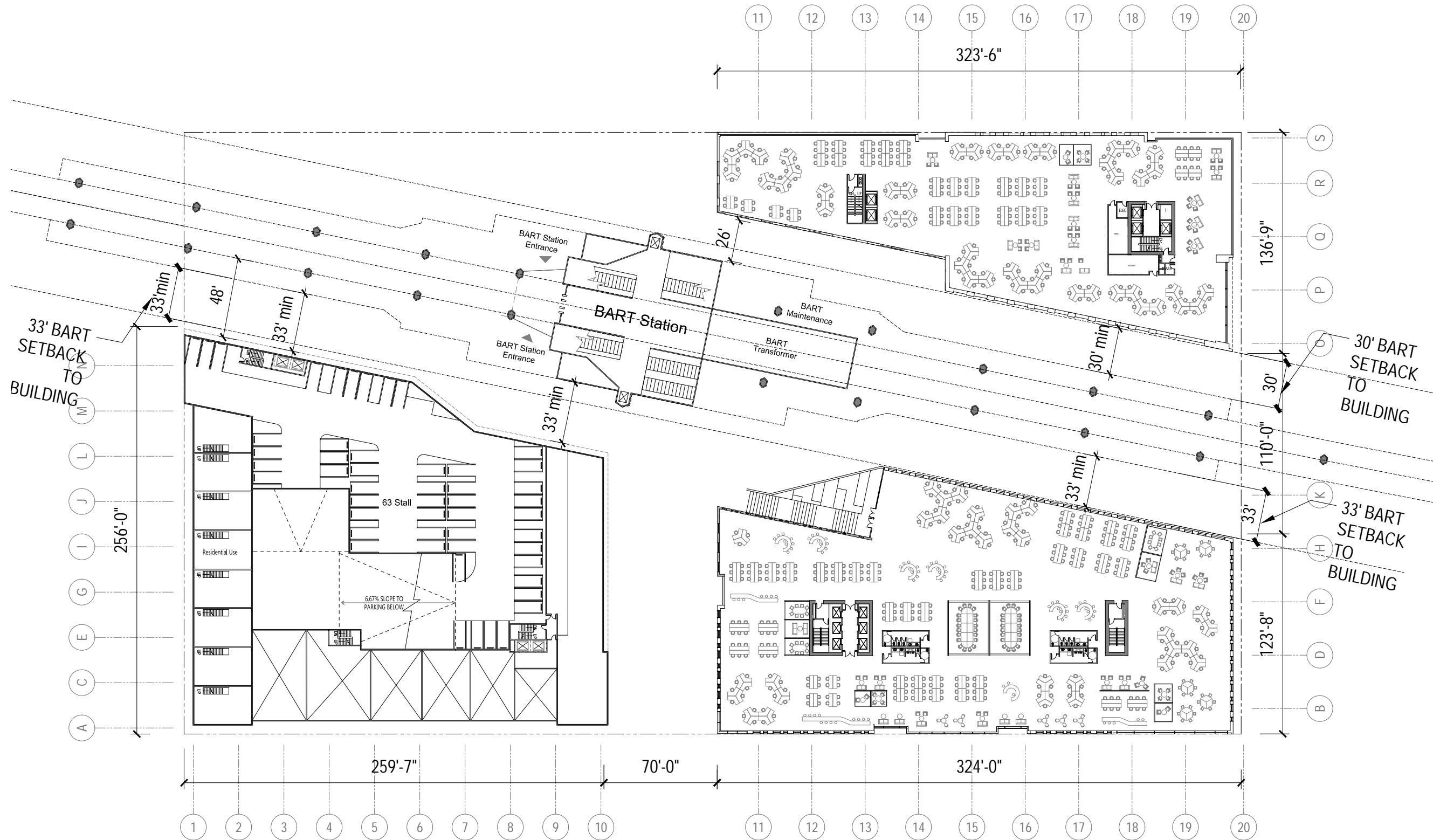
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1

GROUND FLOOR PLAN

1/32" = 1' - 0"

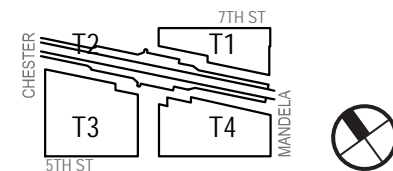


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2ND FLOOR PLAN

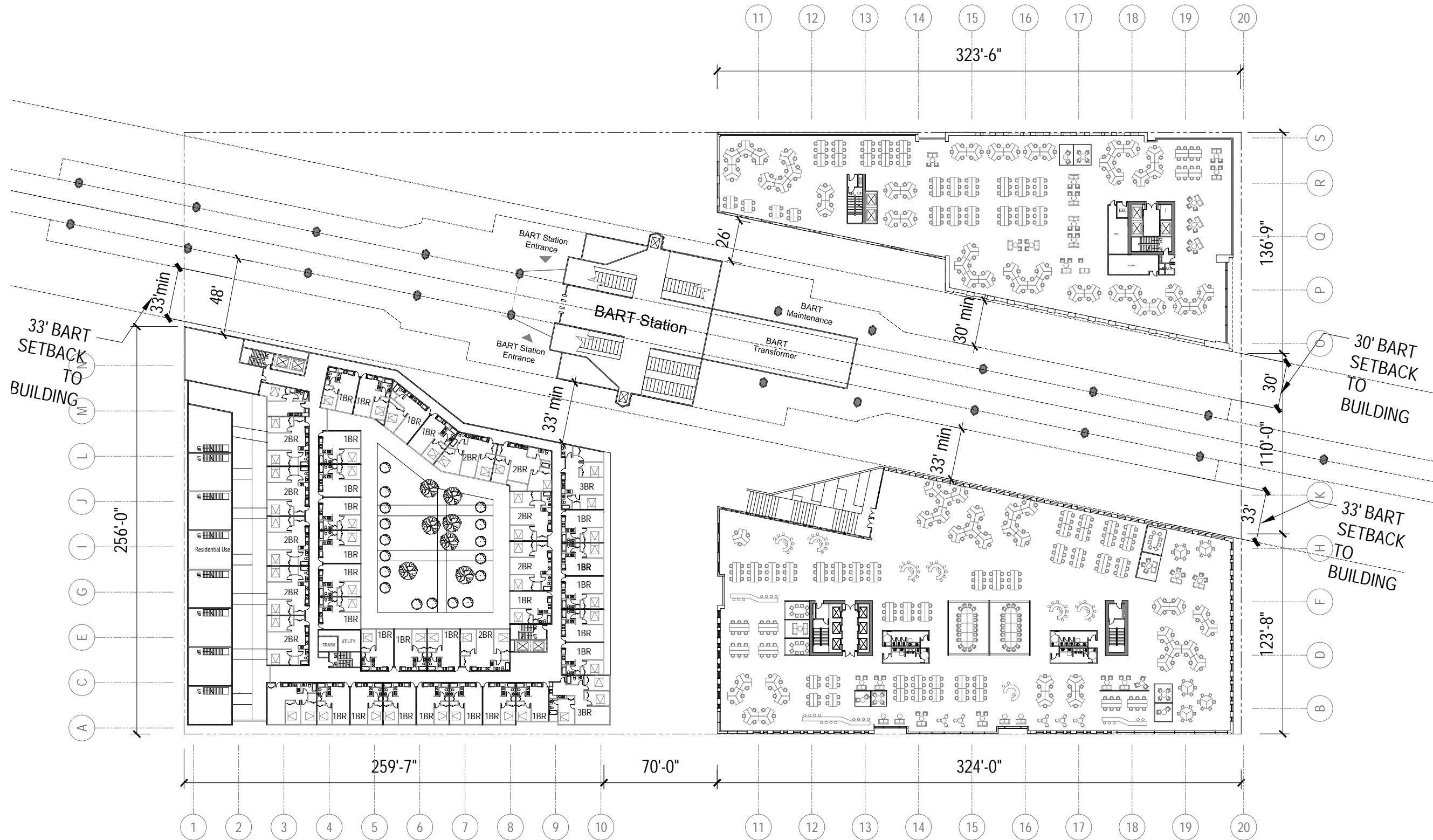
SHEET:

A-11.02



2ND FLOOR PLAN

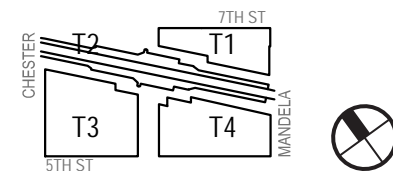
1/32" = 1' - 0"



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3-4TH FLOOR PLAN

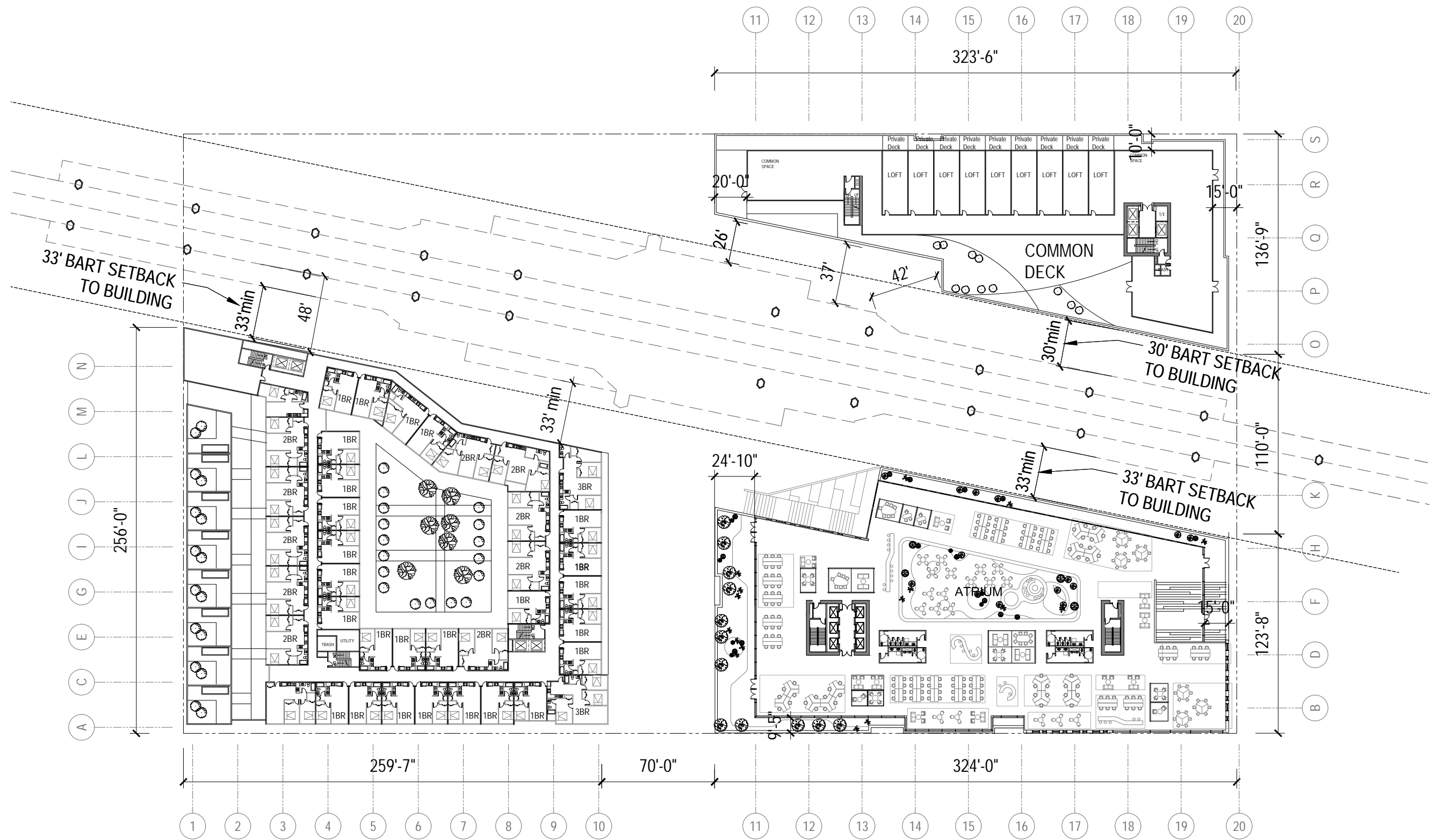
SHEET:

A-11.03

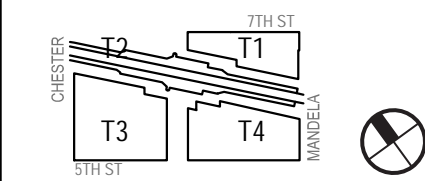



3-4TH FLOOR PLAN

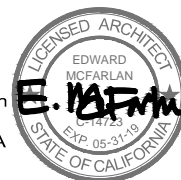
1/32" = 1' - 0"



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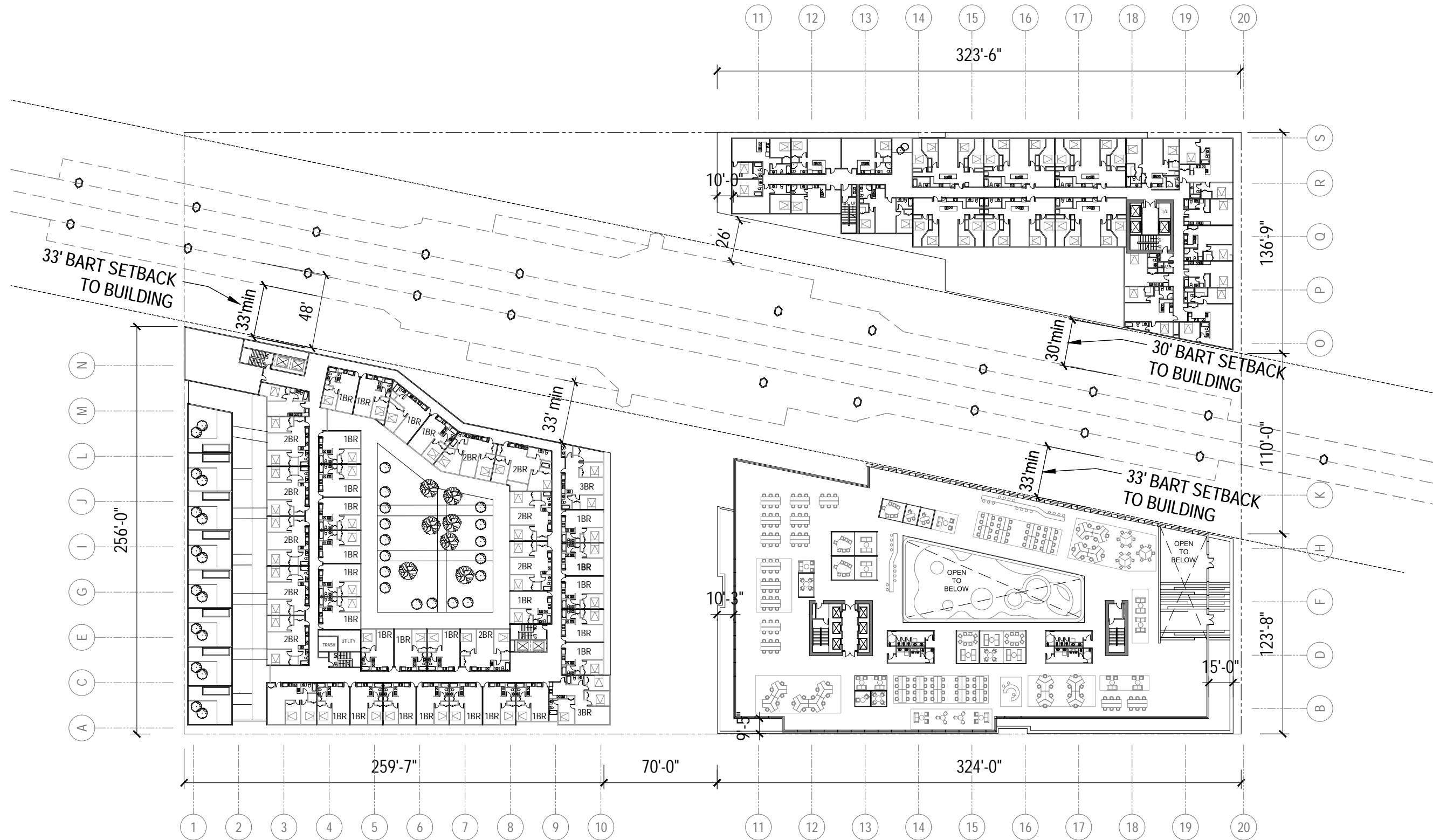

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5TH FLOOR
PLAN

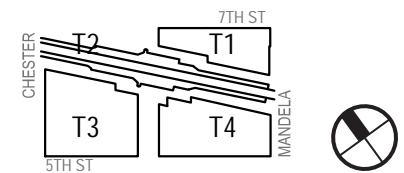
SHEET:
A-11.04



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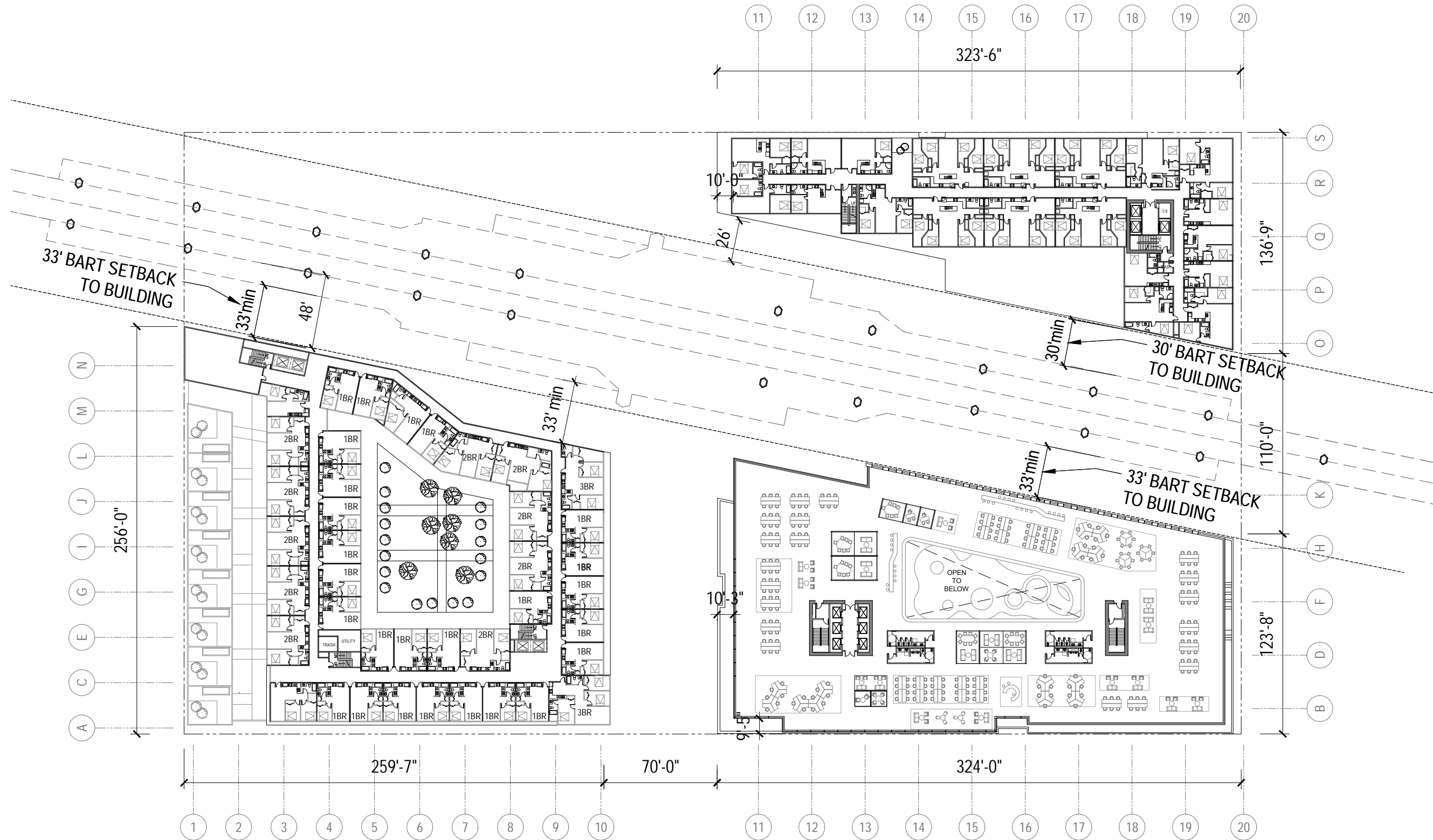
6TH FLOOR PLAN

SHEET:

A-11.05



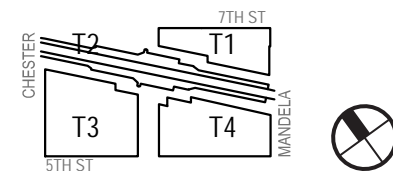
1 6TH FLOOR PLAN
1/32" = 1' - 0"



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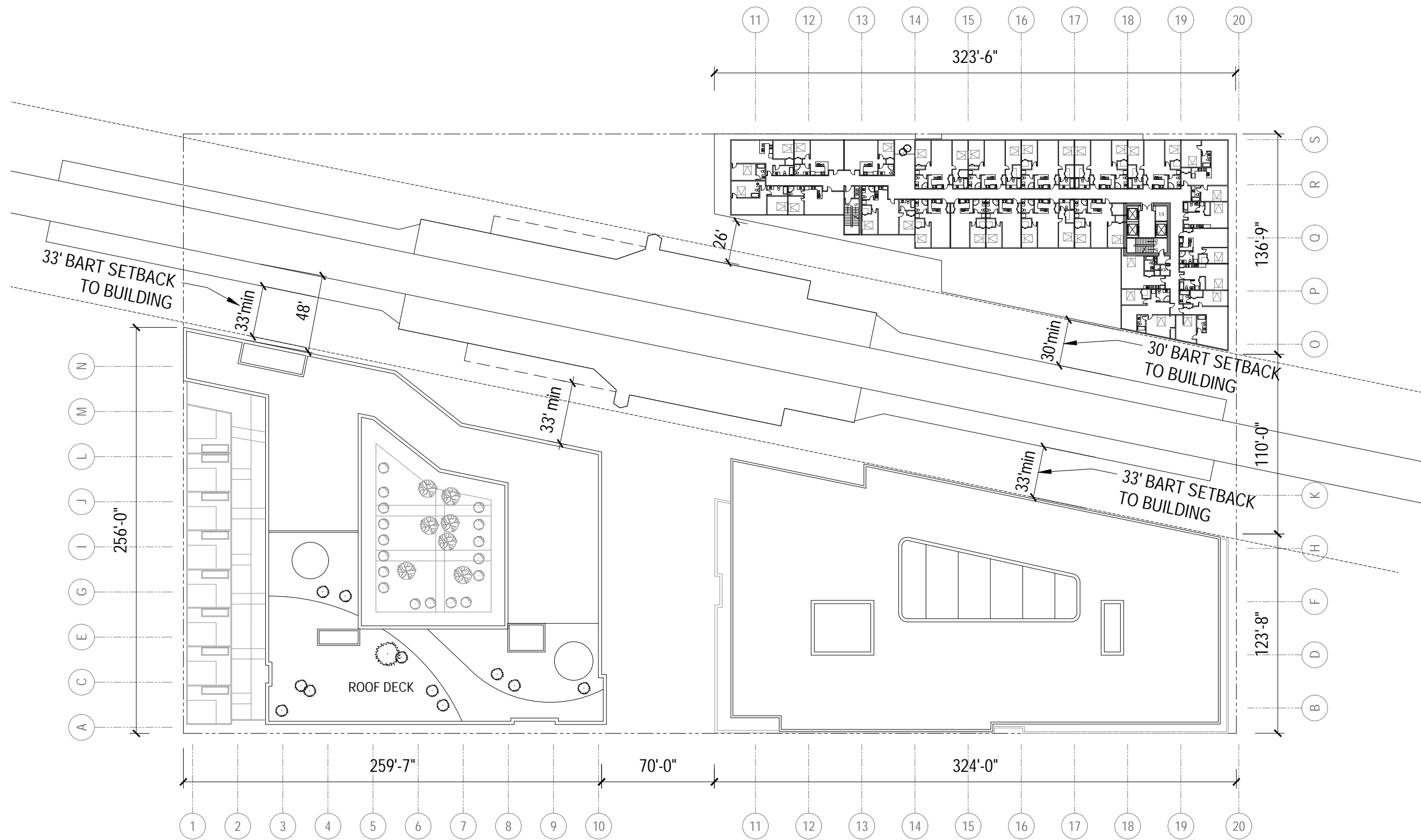
7TH FLOOR PLAN

SHEET:

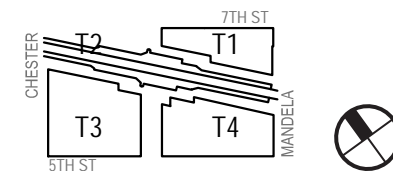
A-11.06



1 7TH FLOOR PLAN
1/32" = 1' - 0"



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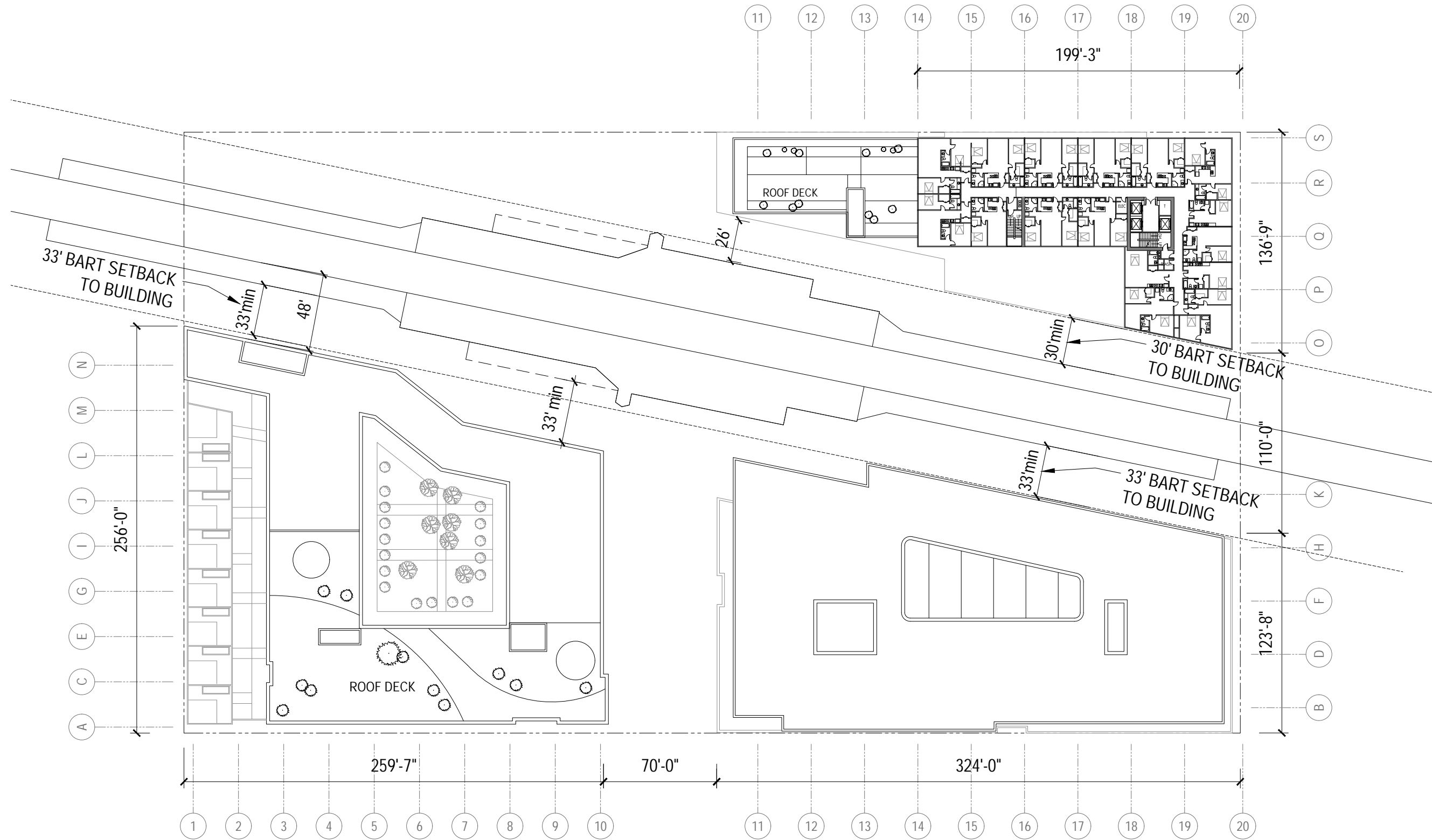
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8-18TH FLOOR
PLAN

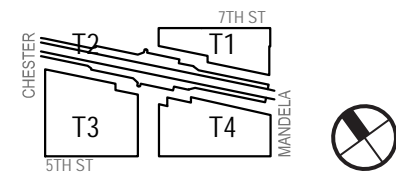
SHEET: **A-11.07**



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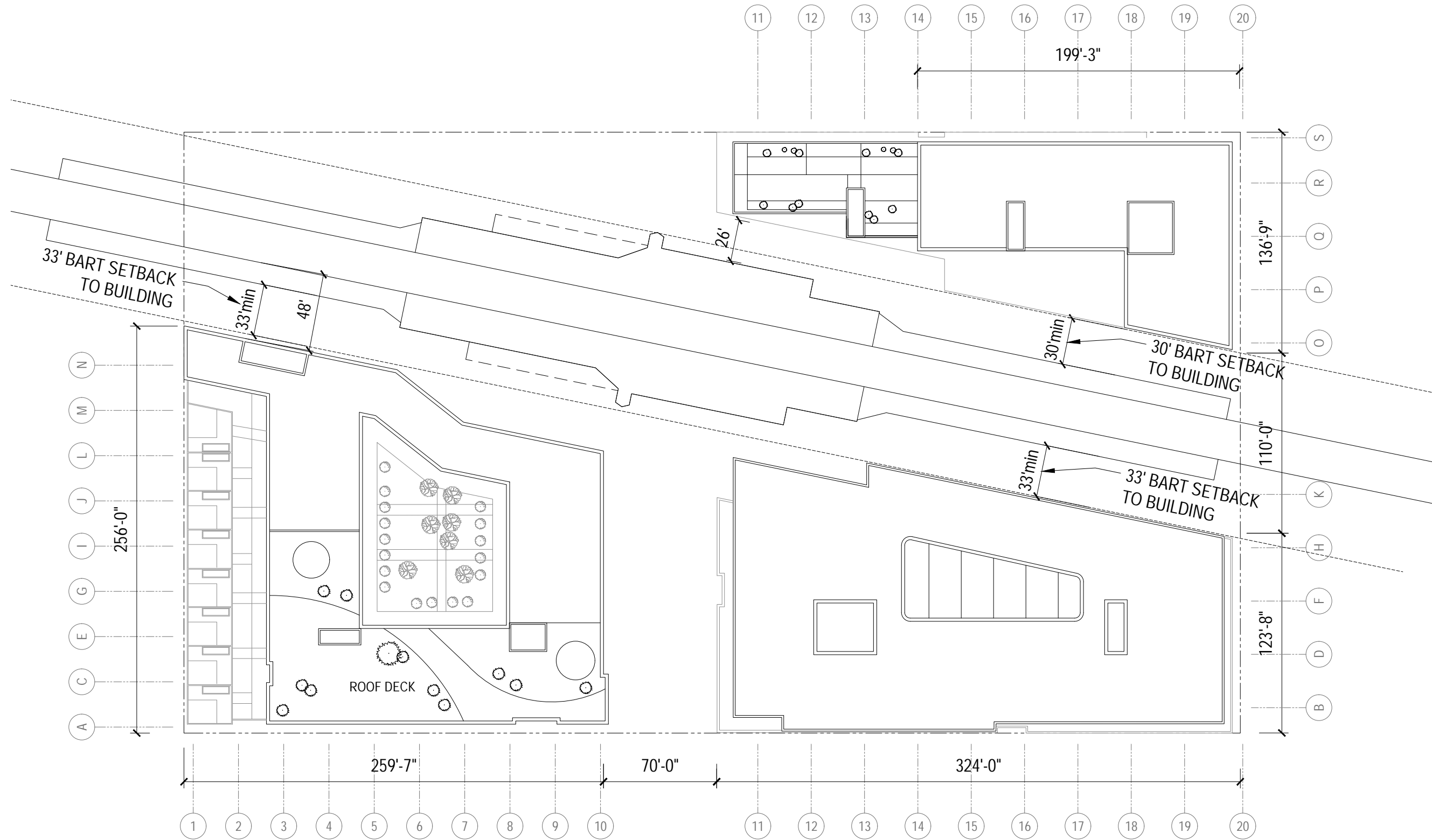
19-30TH FLOOR PLAN

SHEET:



1 19-30TH FLOOR PLAN
1/32" = 1' - 0"

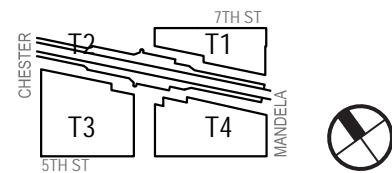
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ROOF PLAN

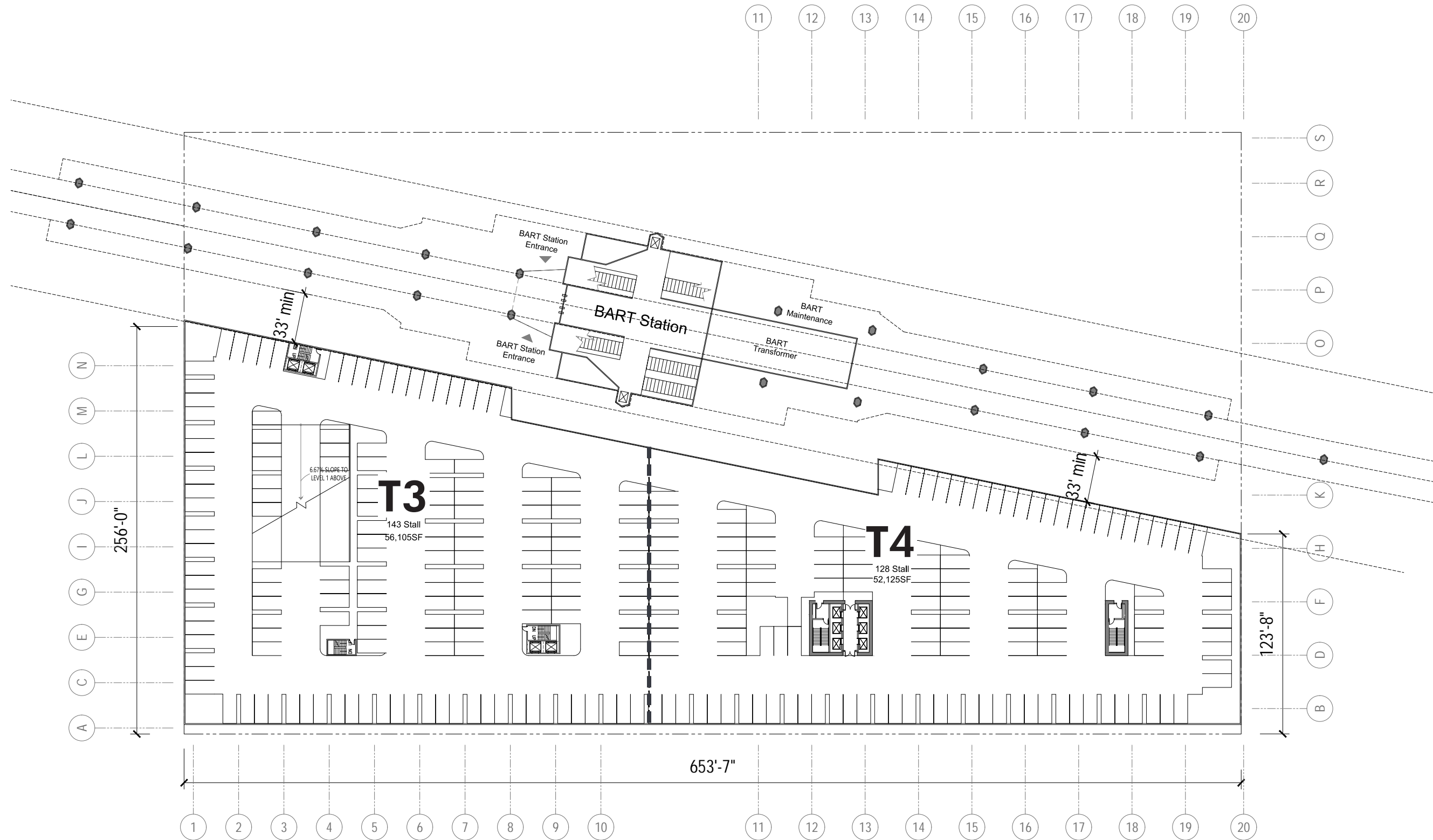
SHEET:

A-11.09



1 ROOF PLAN

1/32" = 1' - 0"

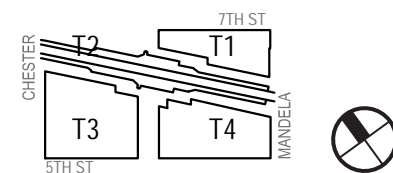


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DATE: January 18, 2019

BASEMENT FLOOR PLAN

SHEET:

A-11.10



1

BASEMENT PLAN

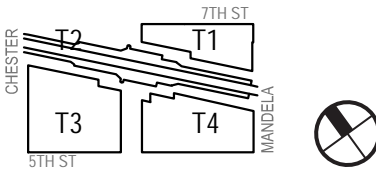
1/32" = 1' - 0"



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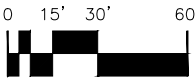
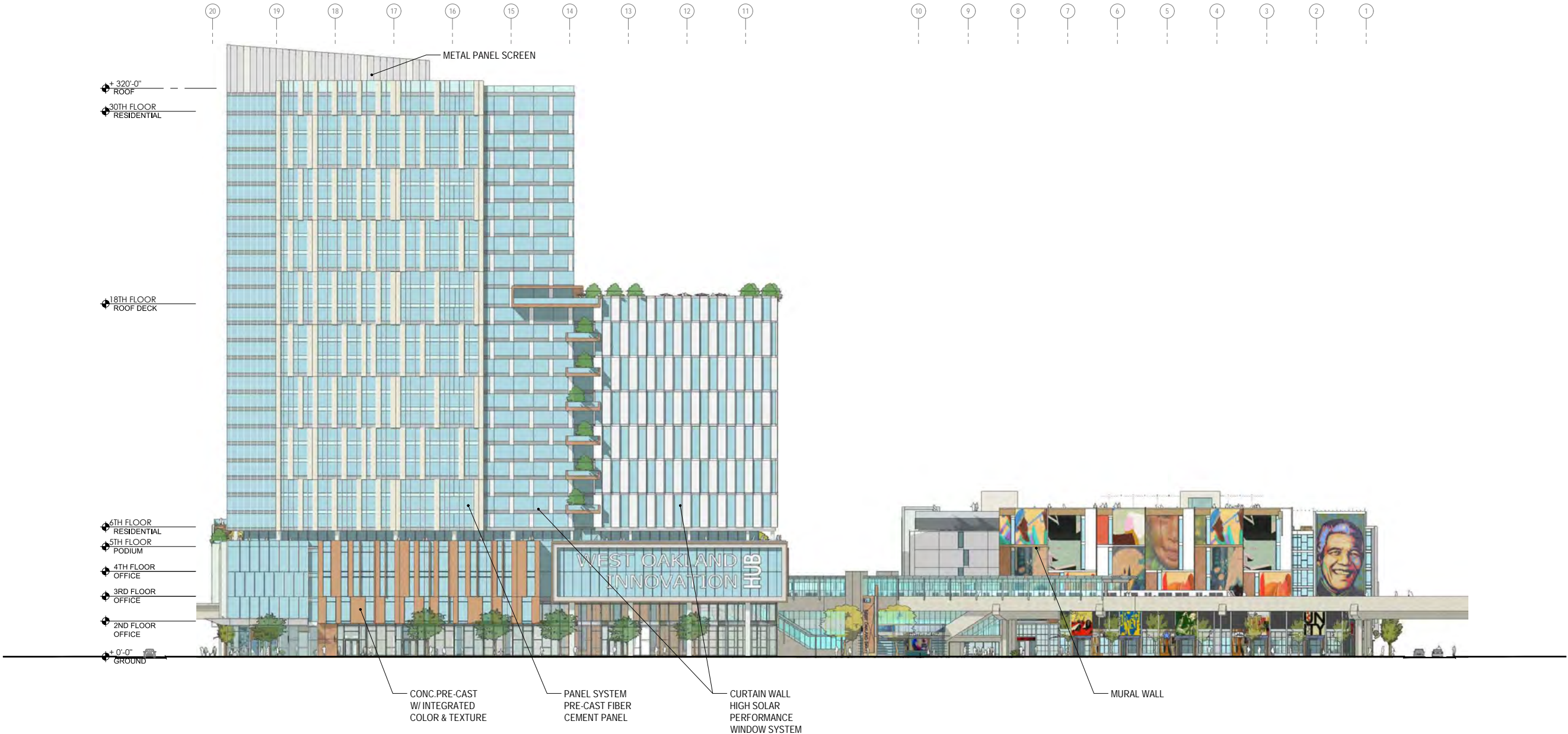
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7TH STREET ELEVATION

SHEET: A-20.01



7TH STREET ELEVATION

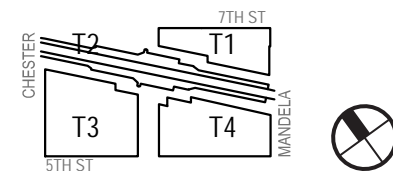
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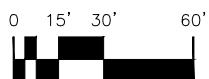
MANDELA PKWY ELEVATION

SHEET:

A-20.02

MANDELA PKWY ELEVATION

1

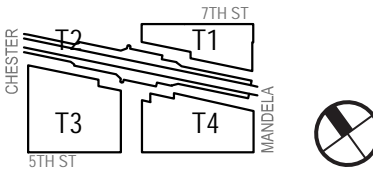




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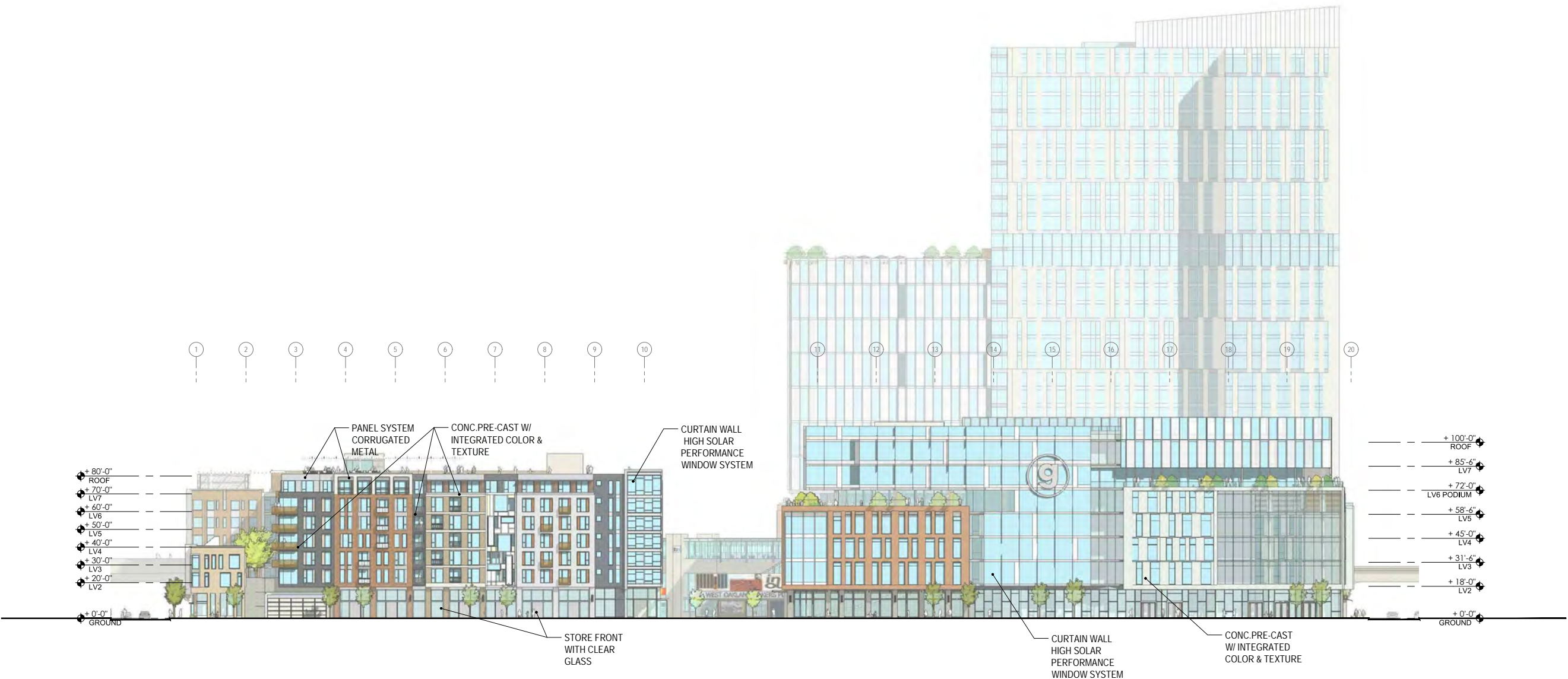
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5TH STREET ELEVATION

SHEET: A-20.03



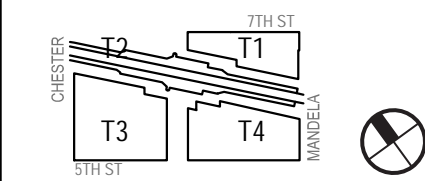
5TH STREET ELEVATION

1



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BKF100+
ENGINEERS, SURVEYORS, PLANNERS

stök
PGAdesign
LANDSCAPE ARCHITECTS

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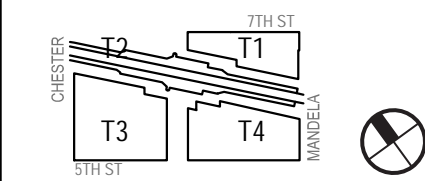
CHESTER STREET ELEVATION

SHEET: A-20.04

CHESTER STREET ELEVATION 1



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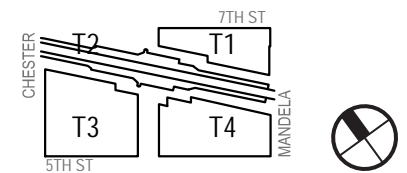
**BKF100+
YEARS**
ENGINEERS, SURVEYORS, PLANNERS

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PGAdesign
LANDSCAPE ARCHITECTS

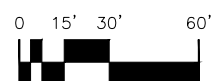
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**T1 SOUTH
ELEVATION**

SHEET: A-20.05

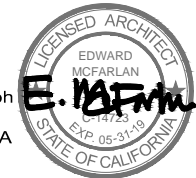
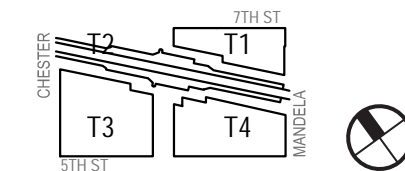
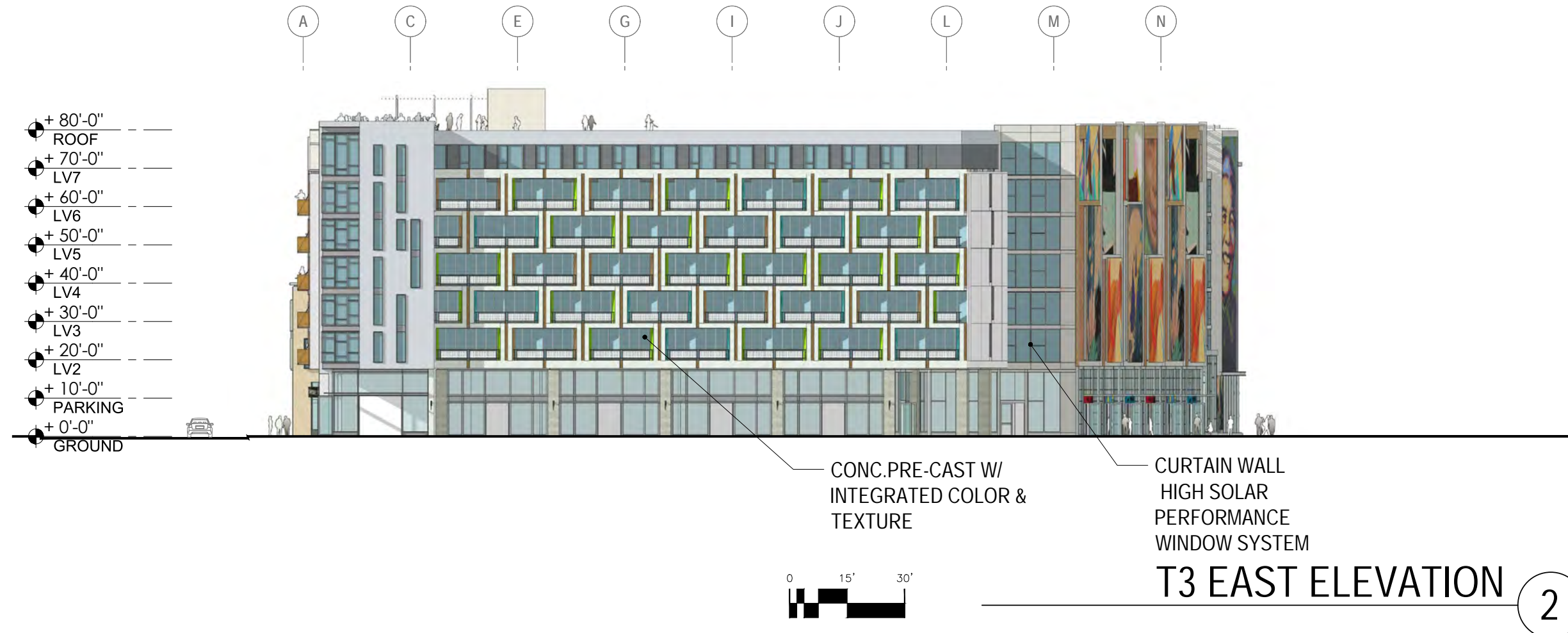
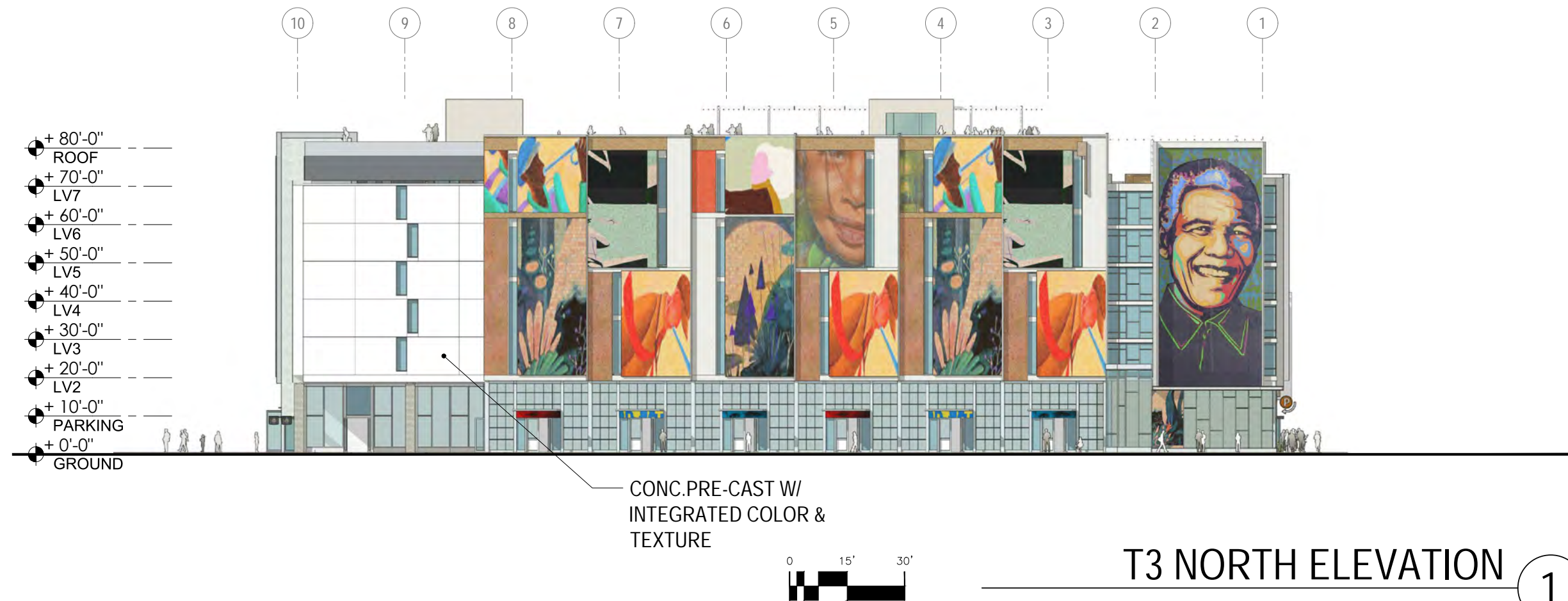


A-20.06



T1&T4 WEST ELEVATION

1





T3 SOUTH ELEVATION 1

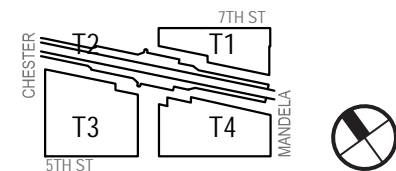


T3 WEST ELEVATION 2



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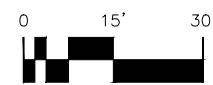


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T3 SOUTH & WEST ELEVATION

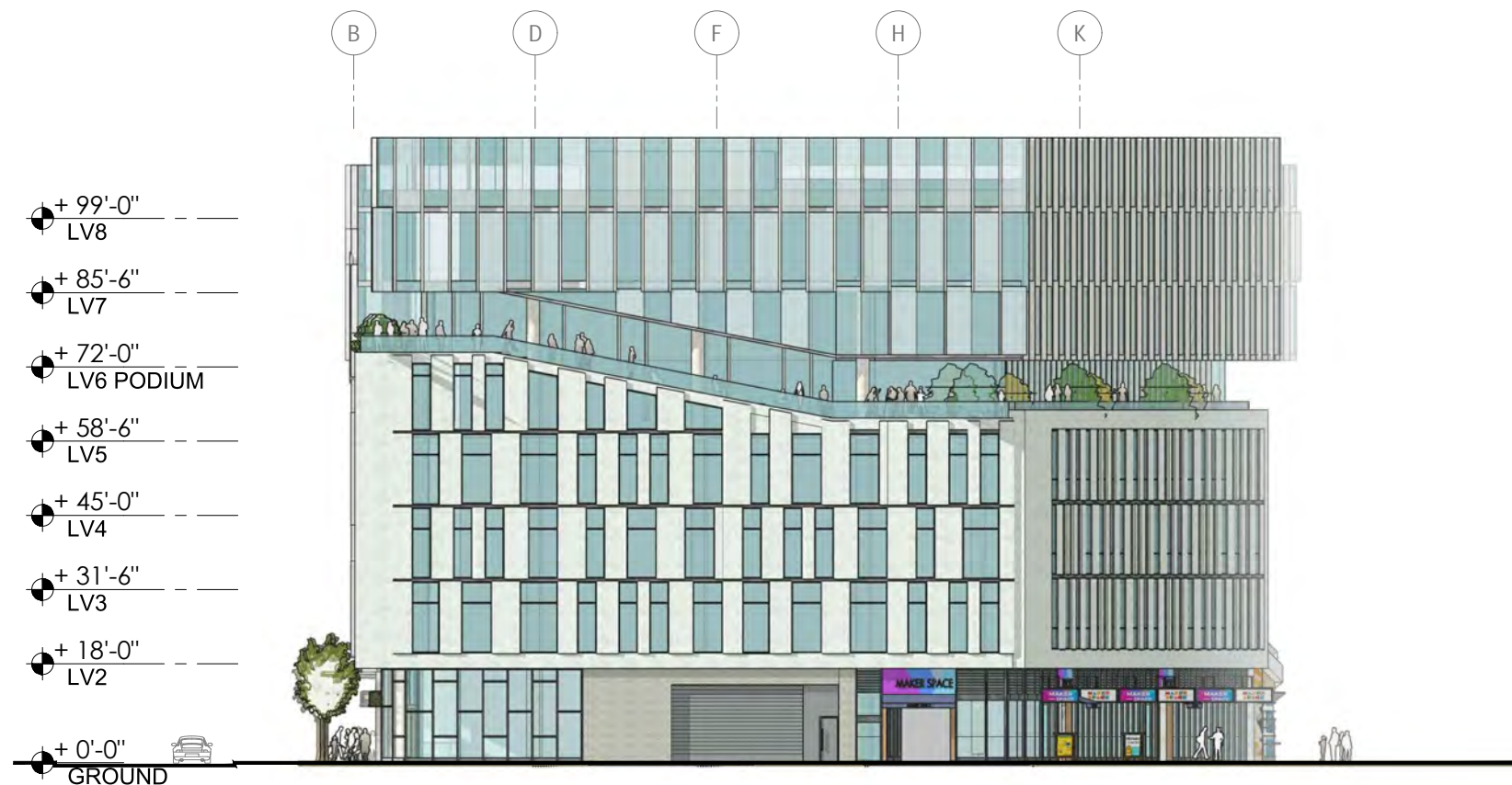
SHEET:

A-20.08



T4 NORTH ELEVATION

1



T4 EAST ELEVATION

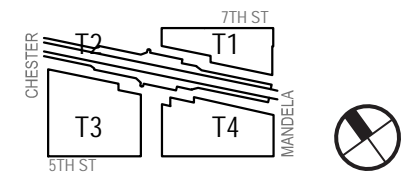
2



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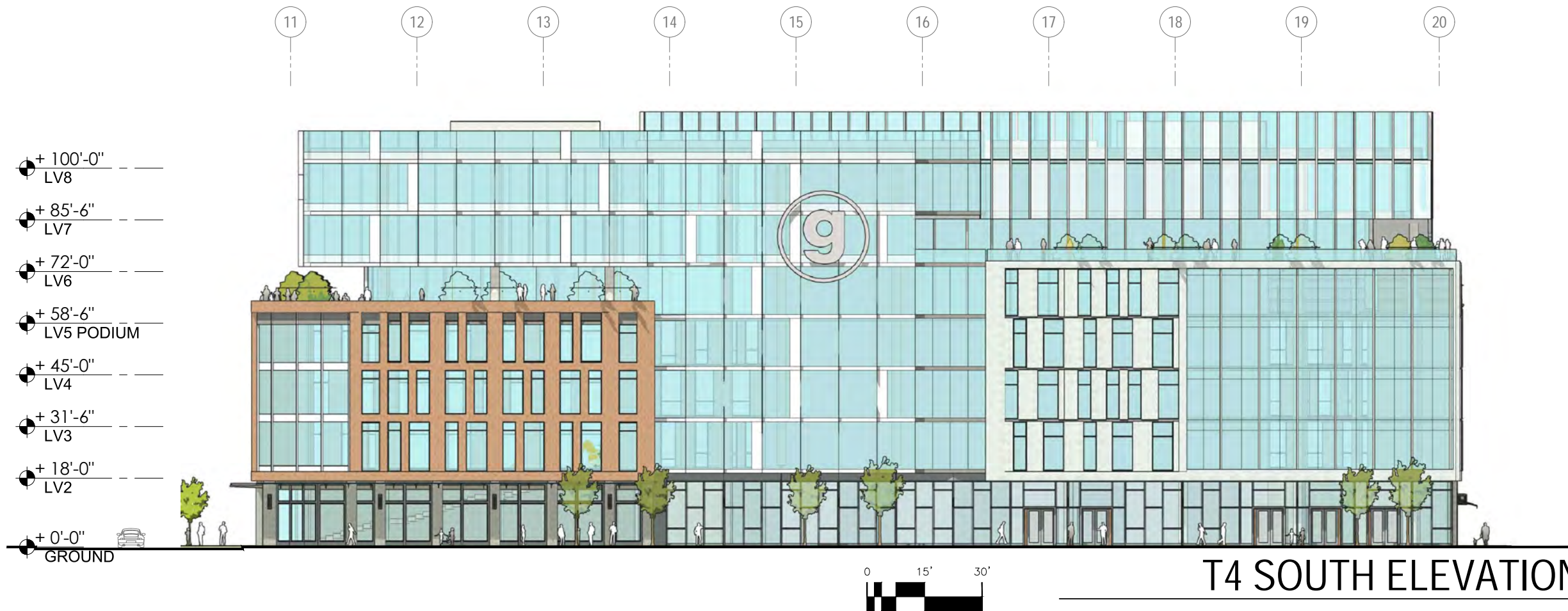


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T4 NORTH & EAST ELEVATION

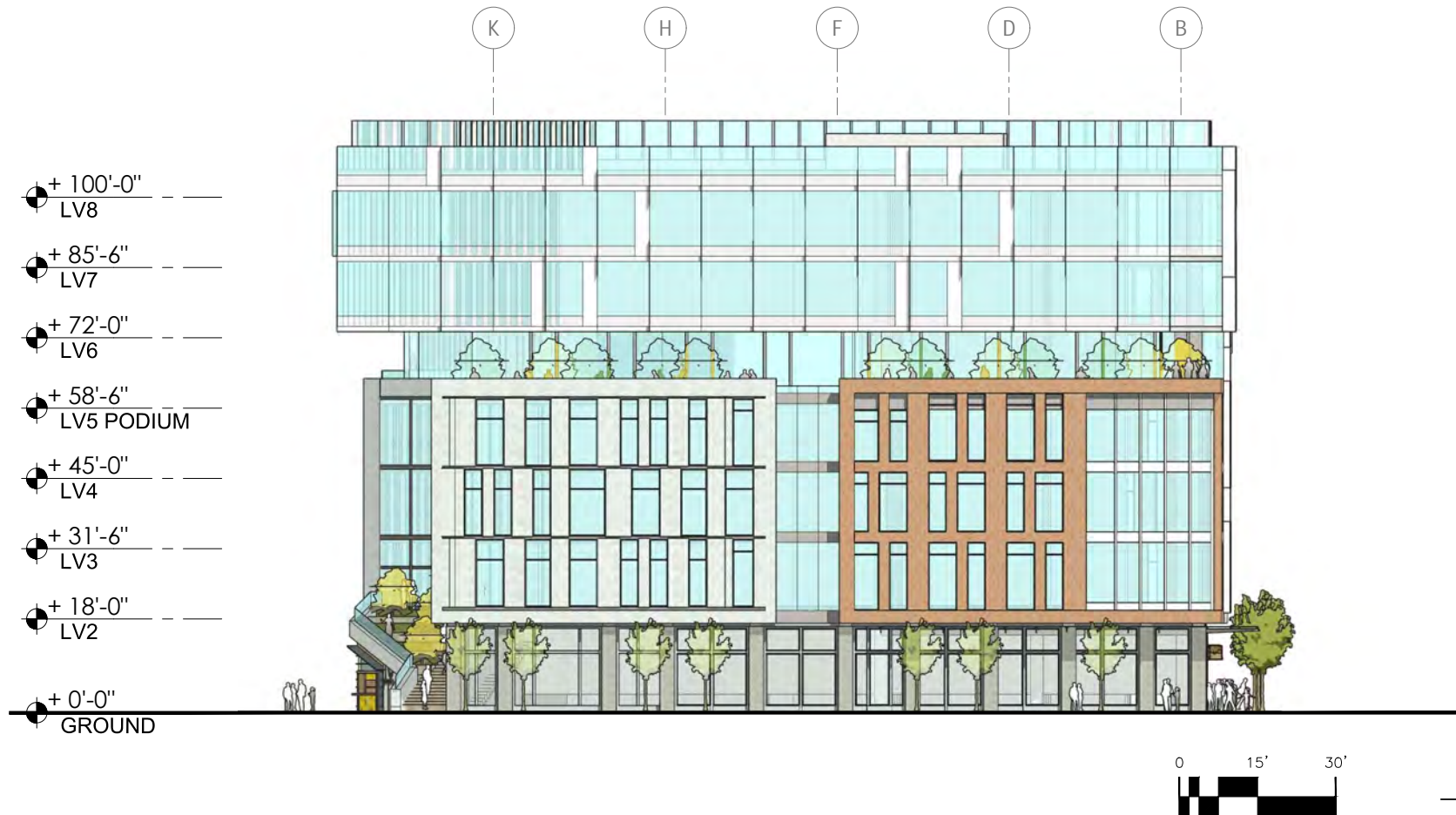
SHEET:

A-20.09



T4 SOUTH ELEVATION

1



T4 WEST ELEVATION

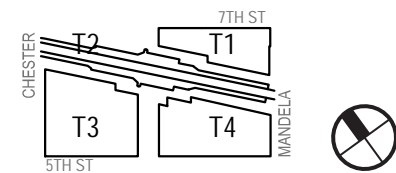
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T4 SOUTH & WEST ELEVATION

SHEET:

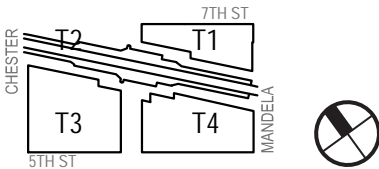
A-20.10



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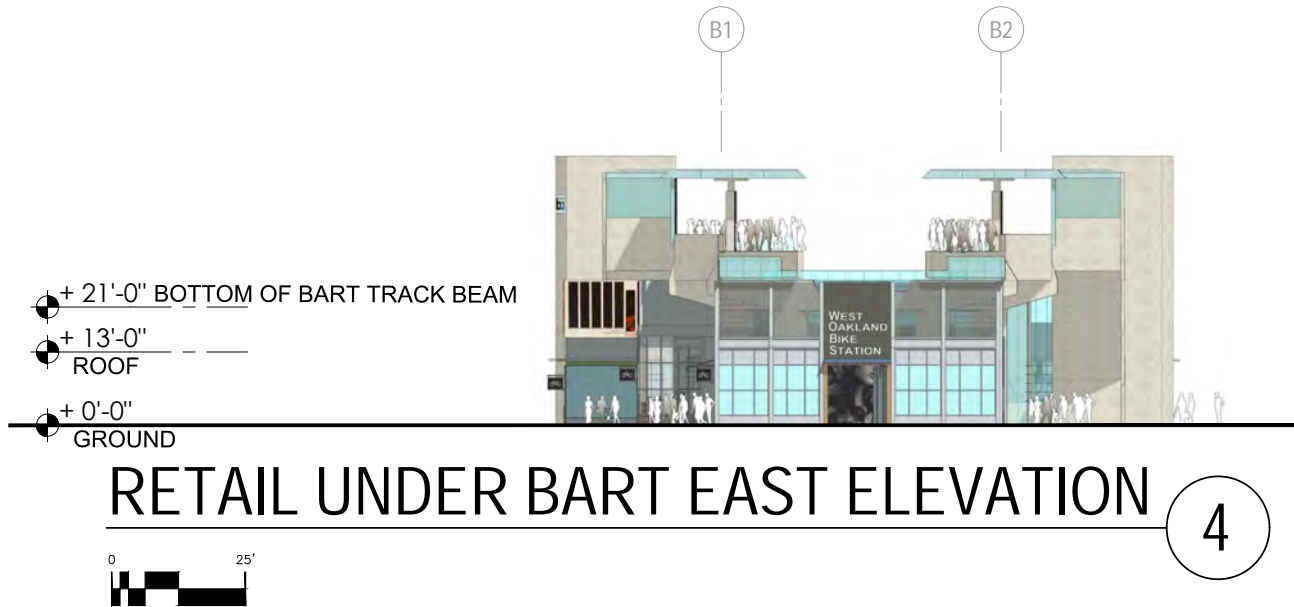
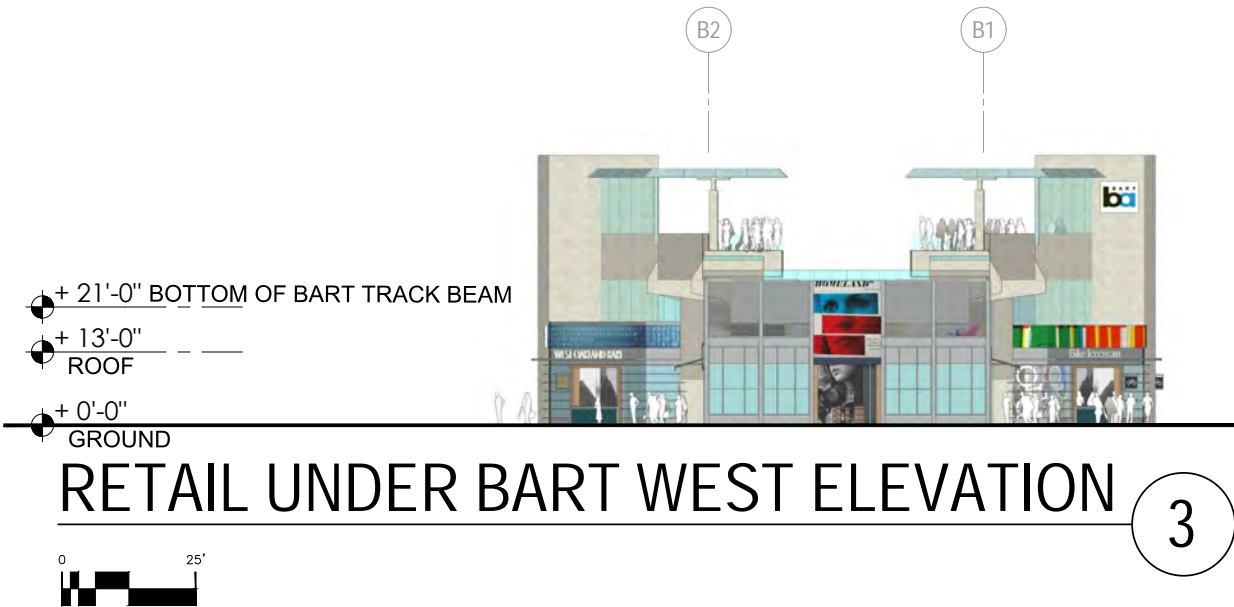
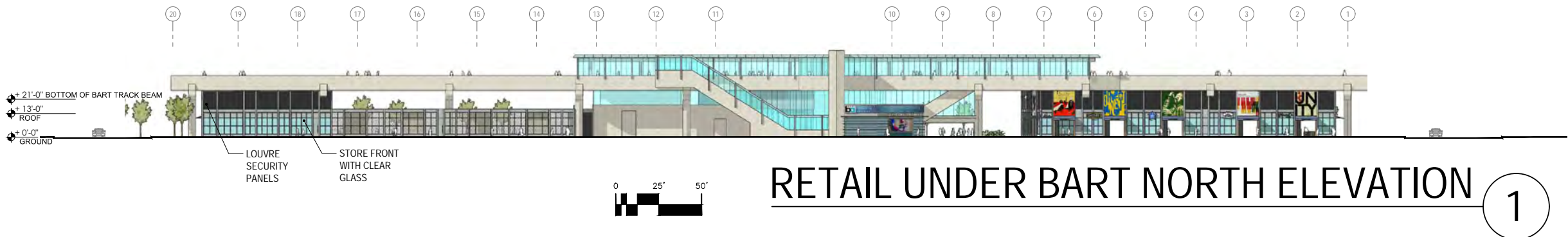
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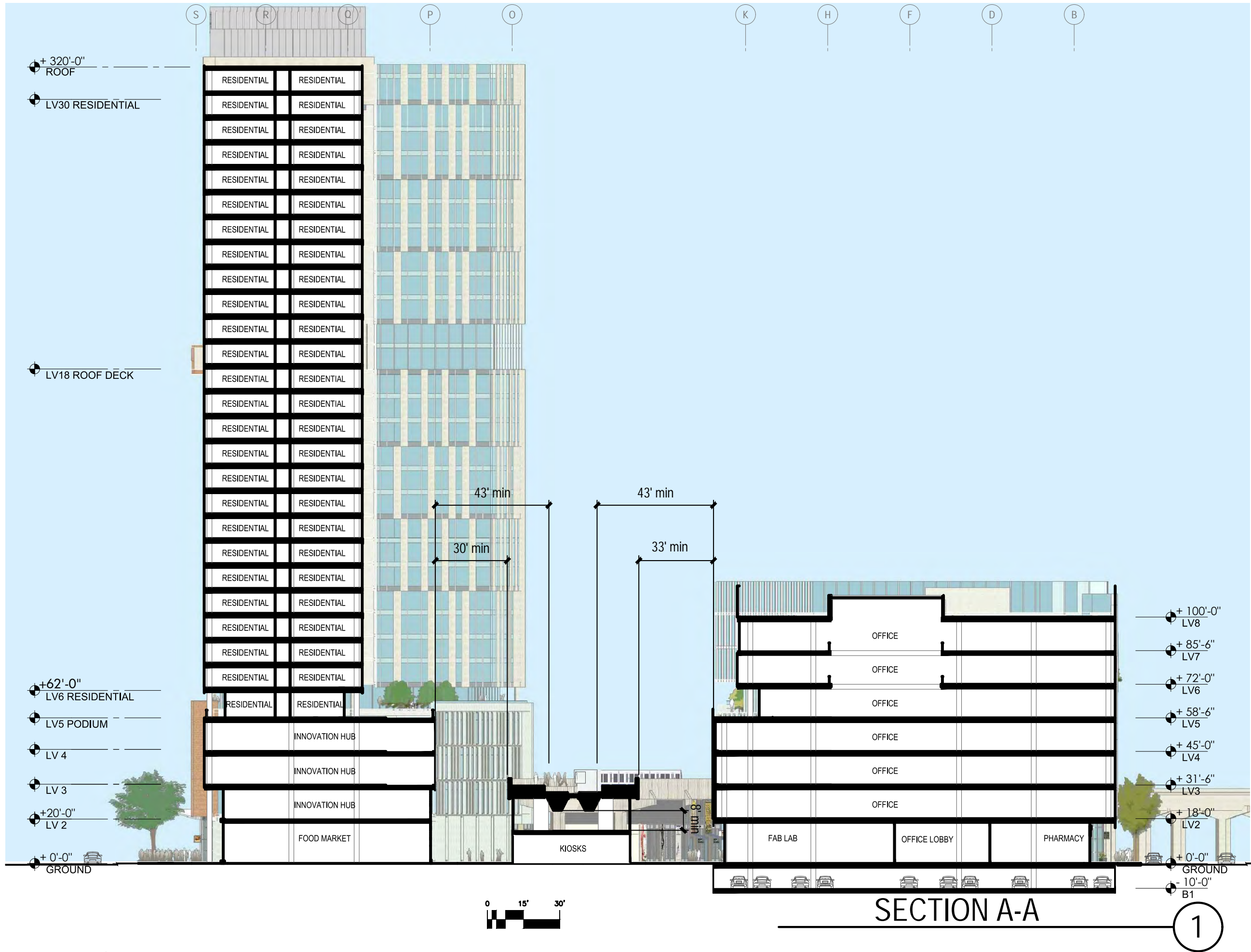


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RETAIL UNDER BART ELEVATIONS

SHEET:
A-20.11



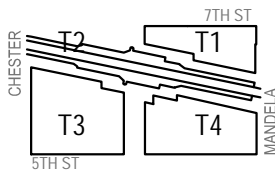


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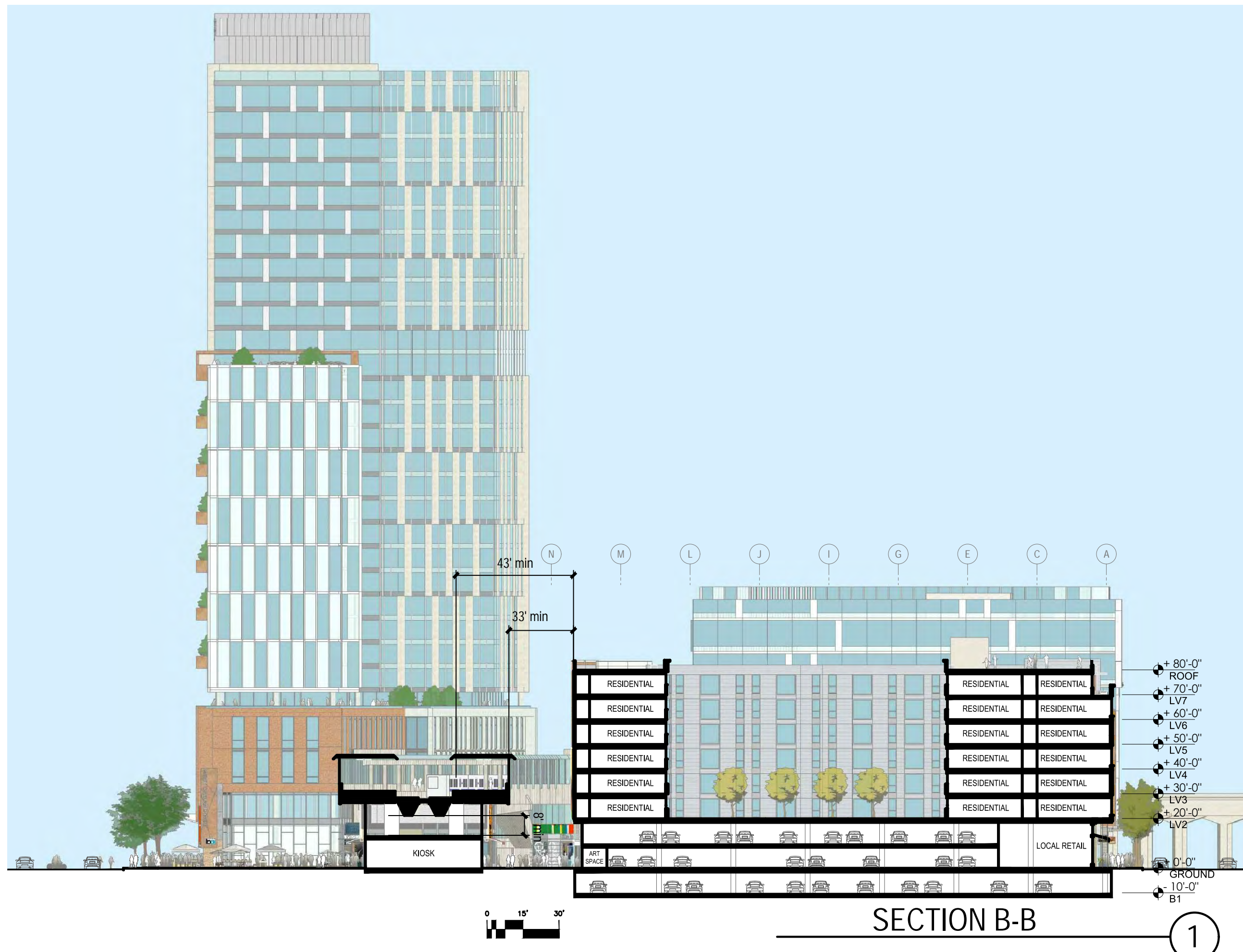
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SECTION A-A

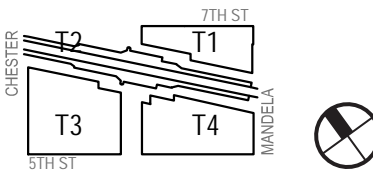
SHEET: A-30.01





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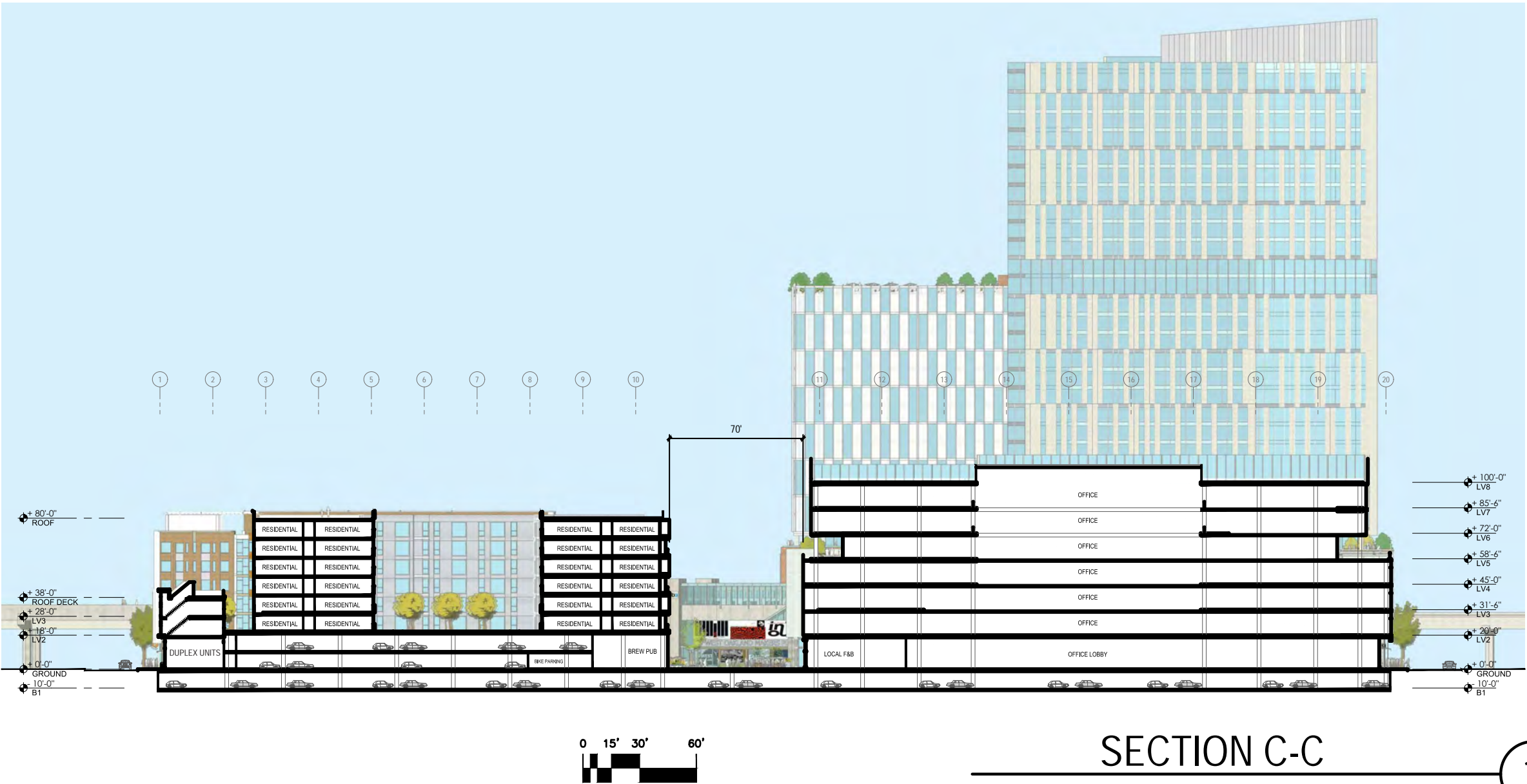
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SECTION C-C

SHEET:
A-30.03



SECTION C-C

1