



MacArthur Transit Village: Parcel B

Final Development Plan

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

Project Directory

OWNER

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415.772.0550

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206.292.1200

MEP ENGINEER

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LANDSCAPE ARCHITECT

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APPENDIX A - Massing Update















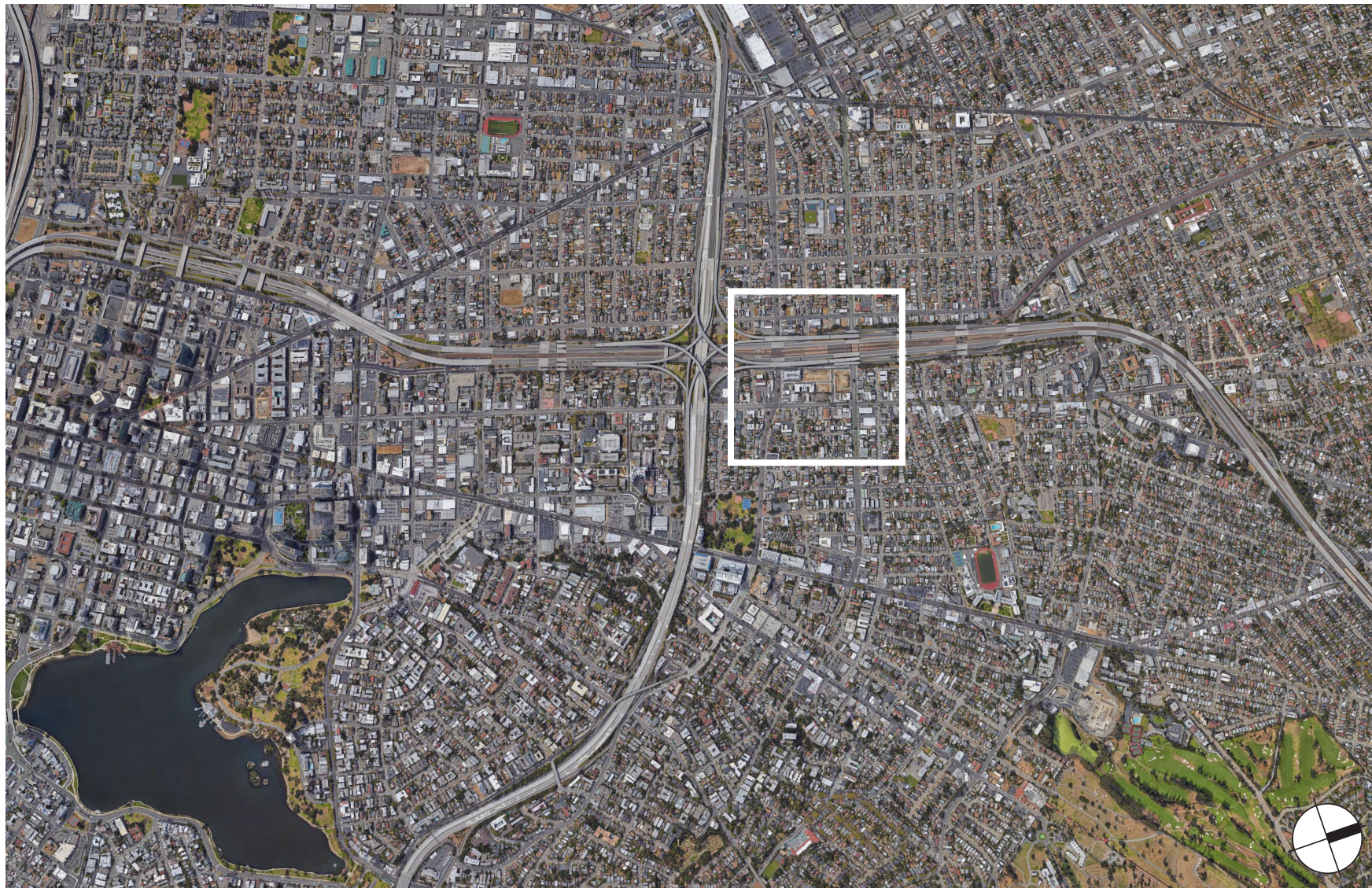




MacArthur Transit Village - PARCEL B

ZONING SUMMARY

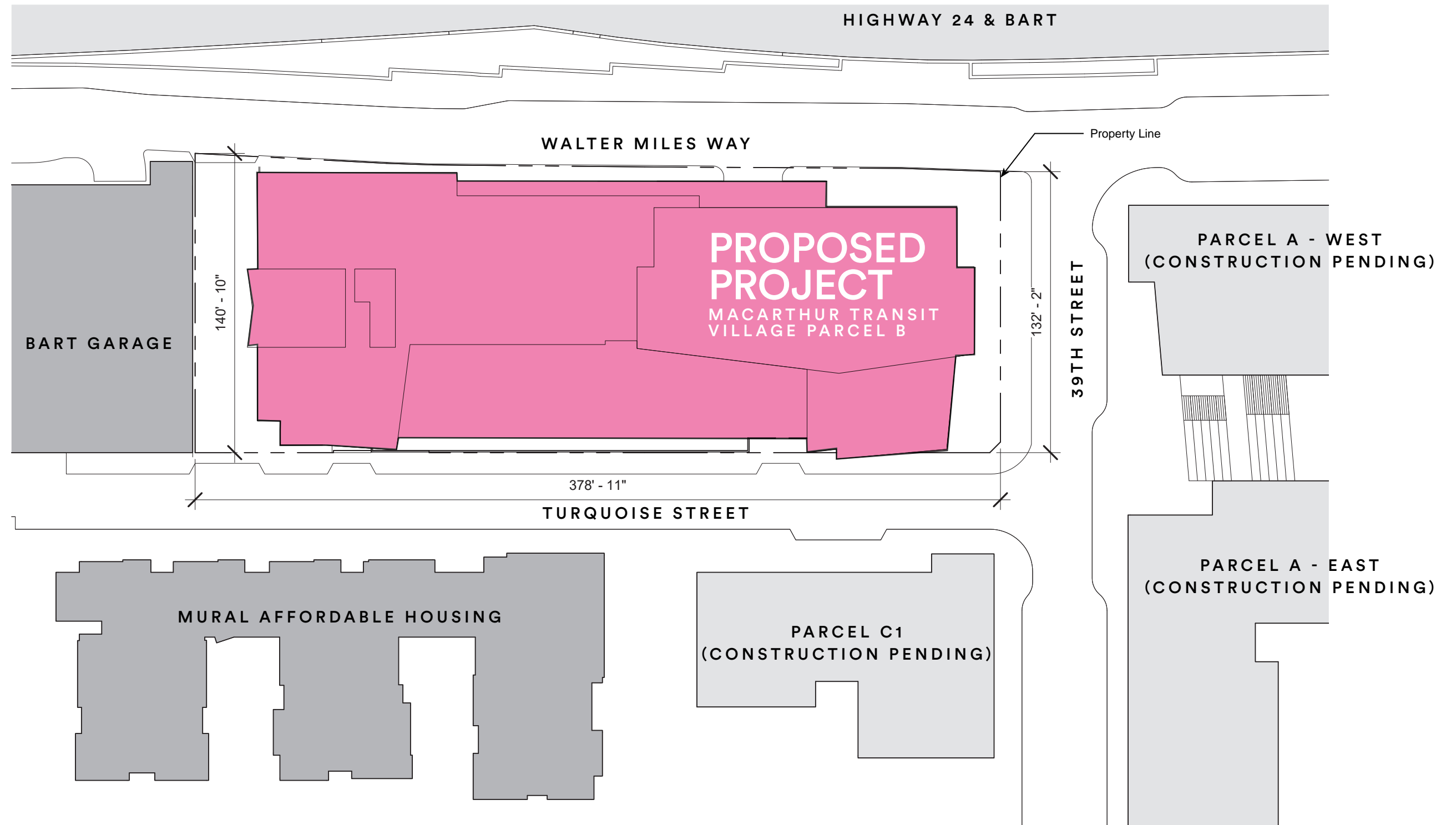
GENERAL ZONING INFORMATION	REFERENCE	NOTES
ASSESSORS BLOCK	Survey	TRACT 8047, Block 321 Maps pages 42-46 (new Tentative Parcel Map being submitted separately)
ZONING USE DISTRICT	OAK-GIS	S-15
PERMITTED AND/OR CONDITIONAL USES	17.97.040	Residential, Community Assembly, General Retail, Full + Limited Service Restaurant, Consumer Service, Parking, permitted in S-15 zones
HEIGHT & BULK DISTRICT	17.97	90’ for S-15 zone (Height limit modification to allow 260’ tall building pursuant to P.U.D. approval. Code Section 17.142.100.G)
GENERAL PLAN / ESTUARY POLICY PLAN	OAK-GIS	Neighborhood Center Mixed use
HISTORIC OR LANDMARK STATUS	OAK-GIS	None
LIQUEFACTION HAZARD ZONE	OAK-GIS	Severity 3
CONDO CONVERSTION IMPACT AREA	OAK-GIS	None
HEIGHT AND BULK CONTROLS		
SITE AREA	Survey	51,218 sqft
FLOOR AREA RATIO (FAR)	17.97.130	Residential FAR unlimited; Non-Residential FAR 4.5:1 maximum
HEIGHT LIMIT	17.97	90’ for S-15 zone (Height limit modification to allow 260’ tall building pursuant to P.U.D. approval. Code Section 17.142.100.G)
REQUIRED SETBACKS	17.97.01	10' setback along 39th street frontage at height of buildings on Parcel A (currently vacant with 75' building expected)
REAR YARDS / COURTS		None required - project not adjacent to residential lot
ADJACENCIES		BART parking garage adjacent to southern boundary
UNIT SEPARATION / EXPOSURE REQUIREMENTS	17.108.080	8' minimum at living room windows +2' for each floor above - maximum 10% of lot width
DETAILED CONTROLS & REQUIREMENTS		
RESIDENTIAL DENSITY LIMITS	17.97.130	225 sqft of lot area per unit for overall MasterPlan- (125 sqft of lot area proposed at Parcel B; overall MasterPlan density within limits)
OPEN SPACE REQUIREMENTS	17.97.130	75 sqft per unit per unit per City Council Ordinance Nos 12883 C.M.S. and 814222 C.M.S.
SCREENING & SETBACK OF PARKING & LOADING	17.116.290	Unscreened parking not permitted within 20' of pedestrian walkways and plazas
OFF-STREET PARKING - RESIDENTIAL	17.116.060	0.5 parking space per dwelling unit required per S-15 zone with up to 1 parking space allowed per dwelling unit allowed per 2008 CU
OFF-STREET PARKING - RETAIL	17.116.080	None required for S-15 zone
OFF-STREET PARKING - COMMERCIAL	17.116.080	None required for S-15 zone
OFF-STREET PARKING DIMENSIONS	17.116.200	50-50 compact/standard, or 75% intermediate + 12.5% compact
OFF-STREET DRIVE AISLE DIMENSIONS	17.116.210	11' parallel parking one-way; 21' 90 degrees two-way
OFF-STREET LOADING - RESIDENTIAL	17.116.120	3 berths required; (2 berths required <300k sqft, plus 1 berth for each additional 300k)
OFF-STREET LOADING - RETAIL	17.116.150	1 berth required; (0-10,000 sf: 0 berths required; 10,001 - 25,000 sf: 1 berth required)
LOADING BERTH DIMENSIONS	17.116.220	12'x33', 14' high
BICYCLE REQUIREMENTS - RESIDENTIAL	17.117.090	LT: 0.25 spaces per dwelling unit (101); ST: 0.05 per dwelling units (20)
BICYCLE REQUIREMENTS - RETAIL	17.117.110	LT: 1 per 12k (2 min); ST: 1 per 2k (2 min)



LOCATION OF PROJECT SITE WITHIN CITY OF OAKLAND



PROJECT SITE & SURROUNDING NEIGHBORHOOD

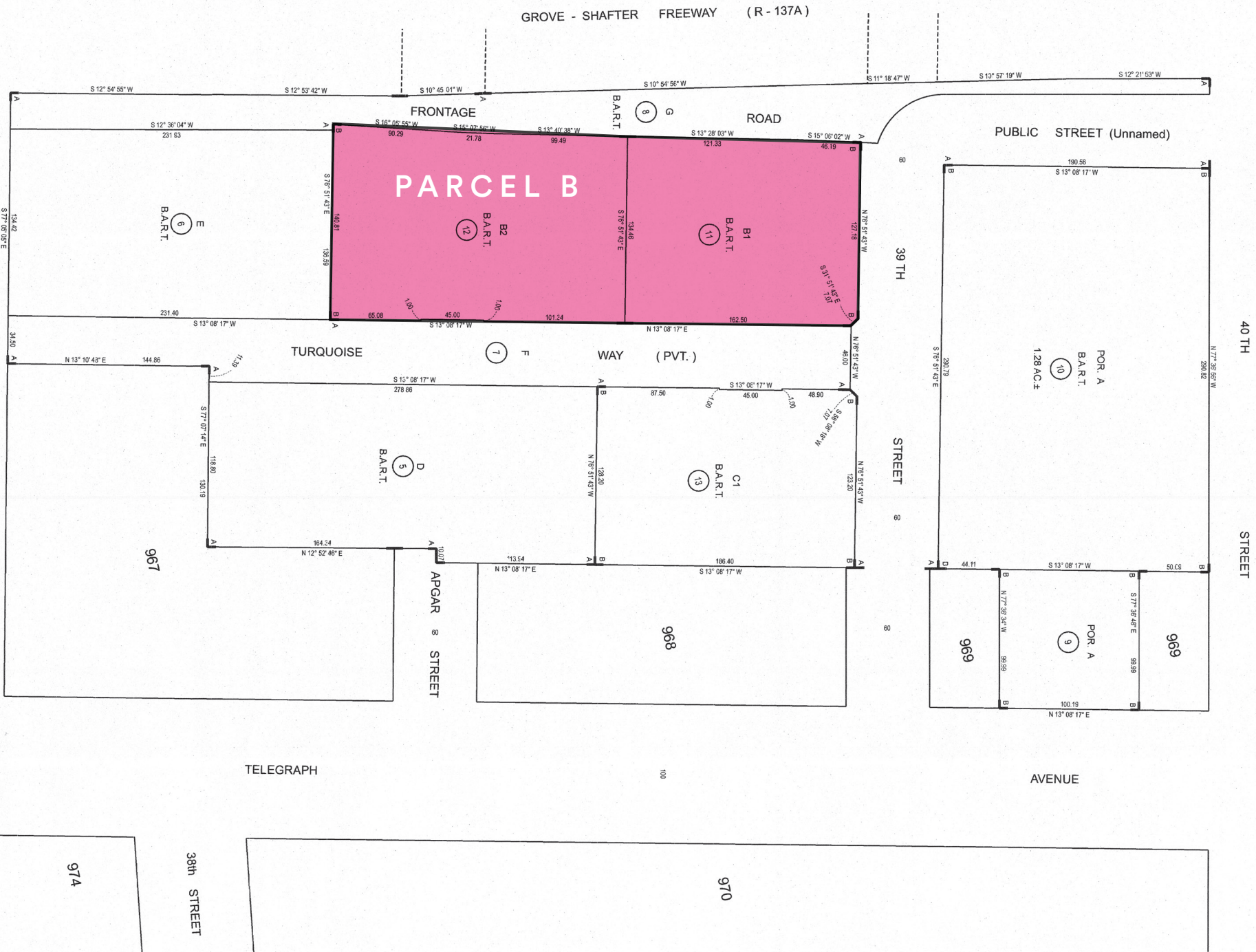


0 25 50

ASSESSOR'S MAP 12

1025
SCALE: 1" = 60'

Code Area Nos. 17-042
(A) TR 8047 321/42-46
(B) TR 8232 333/30-32



FORMERLY: POR.BLK.967 pg.1, 968, 969

DRAWN: 09-06-12 LL

REVISED: 02-24-14 CC
06-24-15 CC
09-24-15 CC

TRA: 4C

REF:

WEST MACARTHUR BOULEVARD

HPN: 13

IND PG: 1



LEED 2009 for New Construction and Major Renovations

Project Checklist

MacArthur Transit Village Parcel B - ANTICIPATED

6.30.2016

20 4 2 Sustainable Sites Possible Points: 26

Y	?	N			
Y			Prereq 1	Construction Activity Pollution Prevention	
1			Credit 1	Site Selection	1
5			Credit 2	Development Density and Community Connectivity	5
		1	Credit 3	Brownfield Redevelopment	1
6			Credit 4.1	Alternative Transportation—Public Transportation Access	6
1			Credit 4.2	Alternative Transportation—Bicycle Storage and Changing Rooms	1
3			Credit 4.3	Alternative Transportation—Low-Emitting and Fuel-Efficient Vehicles	3
	2		Credit 4.4	Alternative Transportation—Parking Capacity	2
	1		Credit 5.1	Site Development—Protect or Restore Habitat	1
	1		Credit 5.2	Site Development—Maximize Open Space	1
1			Credit 6.1	Stormwater Design—Quantity Control	1
1			Credit 6.2	Stormwater Design—Quality Control	1
1			Credit 7.1	Heat Island Effect—Non-roof	1
1			Credit 7.2	Heat Island Effect—Roof	1
		1	Credit 8	Light Pollution Reduction	1

10 Water Efficiency Possible Points: 10

Y			Prereq 1	Water Use Reduction—20% Reduction	
4			Credit 1	Water Efficient Landscaping	2 to 4
2			Credit 2	Innovative Wastewater Technologies	2
4			Credit 3	Water Use Reduction	2 to 4

14 8 13 Energy and Atmosphere Possible Points: 35

Y			Prereq 1	Fundamental Commissioning of Building Energy Systems	
Y			Prereq 2	Minimum Energy Performance	
Y			Prereq 3	Fundamental Refrigerant Management	
7	3	9	Credit 1	Optimize Energy Performance	1 to 19
3		4	Credit 2	On-Site Renewable Energy	1 to 7
2			Credit 3	Enhanced Commissioning	2
	2		Credit 4	Enhanced Refrigerant Management	2
	3		Credit 5	Measurement and Verification	3
2			Credit 6	Green Power	2

4 4 6 Materials and Resources Possible Points: 14

Y			Prereq 1	Storage and Collection of Recyclables	
		3	Credit 1.1	Building Reuse—Maintain Existing Walls, Floors, and Roof	1 to 3
		1	Credit 1.2	Building Reuse—Maintain 50% of Interior Non-Structural Elements	1
2			Credit 2	Construction Waste Management	1 to 2
		2	Credit 3	Materials Reuse	1 to 2

Materials and Resources, Continued

Y	?	N			
1	1		Credit 4	Recycled Content	1 to 2
1	1		Credit 5	Regional Materials	1 to 2
	1		Credit 6	Rapidly Renewable Materials	1
	1		Credit 7	Certified Wood	1

8 1 6 Indoor Environmental Quality Possible Points: 15

Y			Prereq 1	Minimum Indoor Air Quality Performance	
Y			Prereq 2	Environmental Tobacco Smoke (ETS) Control	
	1		Credit 1	Outdoor Air Delivery Monitoring	1
		1	Credit 2	Increased Ventilation	1
1			Credit 3.1	Construction IAQ Management Plan—During Construction	1
		1	Credit 3.2	Construction IAQ Management Plan—Before Occupancy	1
1			Credit 4.1	Low-Emitting Materials—Adhesives and Sealants	1
1			Credit 4.2	Low-Emitting Materials—Paints and Coatings	1
1			Credit 4.3	Low-Emitting Materials—Flooring Systems	1
1			Credit 4.4	Low-Emitting Materials—Composite Wood and Agrifiber Products	1
		1	Credit 5	Indoor Chemical and Pollutant Source Control	1
		1	Credit 6.1	Controllability of Systems—Lighting	1
		1	Credit 6.2	Controllability of Systems—Thermal Comfort	1
1			Credit 7.1	Thermal Comfort—Design	1
		1	Credit 7.2	Thermal Comfort—Verification	1
1			Credit 8.1	Daylight and Views—Daylight	1
1			Credit 8.2	Daylight and Views—Views	1

1 5 Innovation and Design Process Possible Points: 6

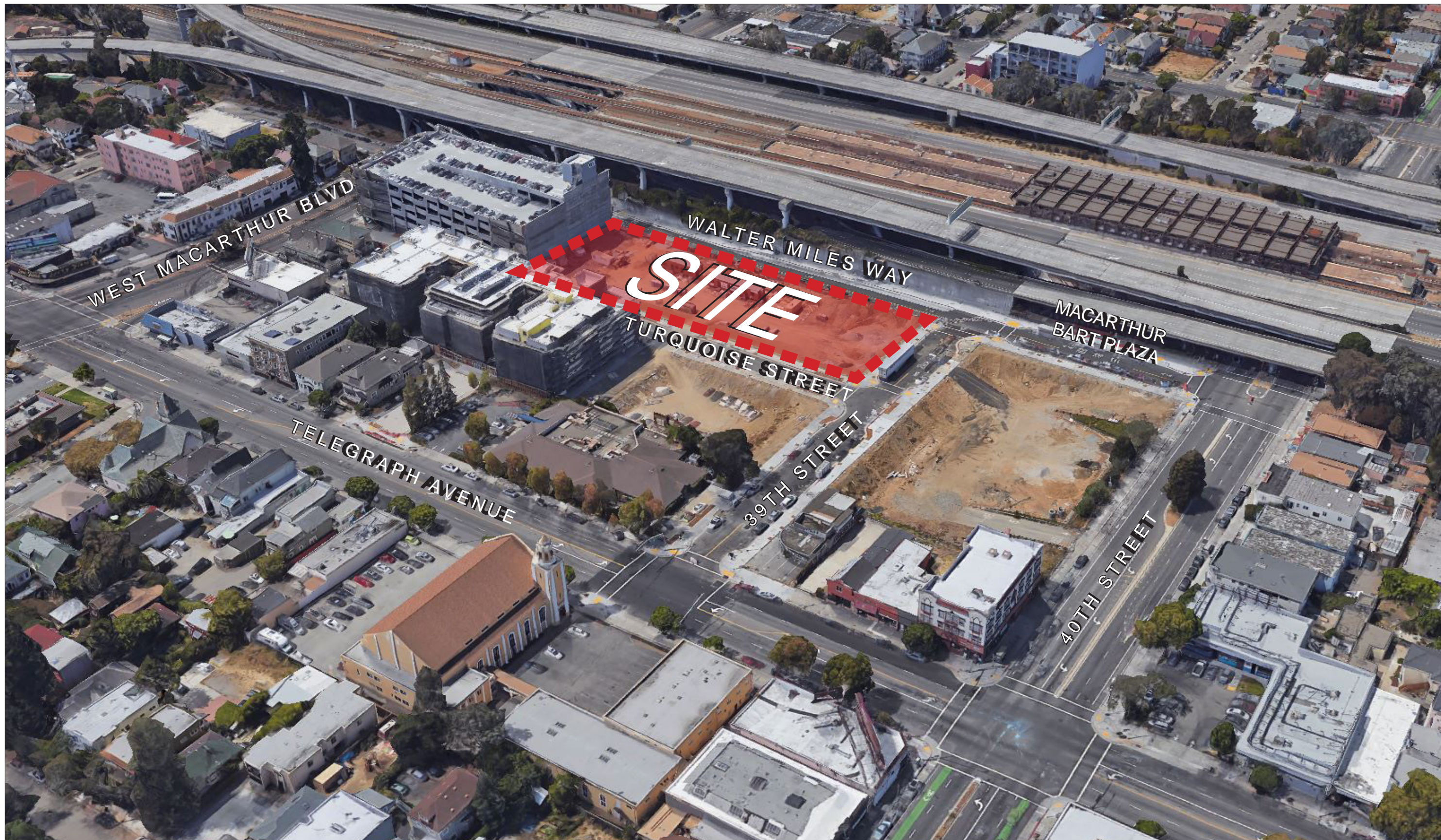
	1		Credit 1.1	Innovation in Design: Specific Title	1
	1		Credit 1.2	Innovation in Design: Specific Title	1
	1		Credit 1.3	Innovation in Design: Specific Title	1
	1		Credit 1.4	Innovation in Design: Specific Title	1
	1		Credit 1.5	Innovation in Design: Specific Title	1
1			Credit 2	LEED Accredited Professional	1

3 1 Regional Priority Credits Possible Points: 4

1			Credit 1.1	Regional Priority: Eq c8.1	1
1			Credit 1.2	Regional Priority: EA c2	1
1			Credit 1.3	Regional Priority: WE c2	1
	1		Credit 1.4	Regional Priority: WE c3	1

60 23 27 Total Possible Points: 110

Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 to 110





1: VIEW OF PARCEL B FROM MACARTHUR STATION



2: VIEW OF PARCEL B FROM WALTER MILES WAY



3: VIEW FROM PARCEL B LOOKING NORTH



4: VIEW FROM PARCEL B LOOKING SOUTH



1: VIEW OF PARCEL B FROM SE CORNER (TURQUOISE ST.)



2: VIEW OF PARCEL B FROM NE CORNER (TURQUOISE ST. & 39TH ST.)



3: VIEW OF MACARTHUR STATION PLAZA



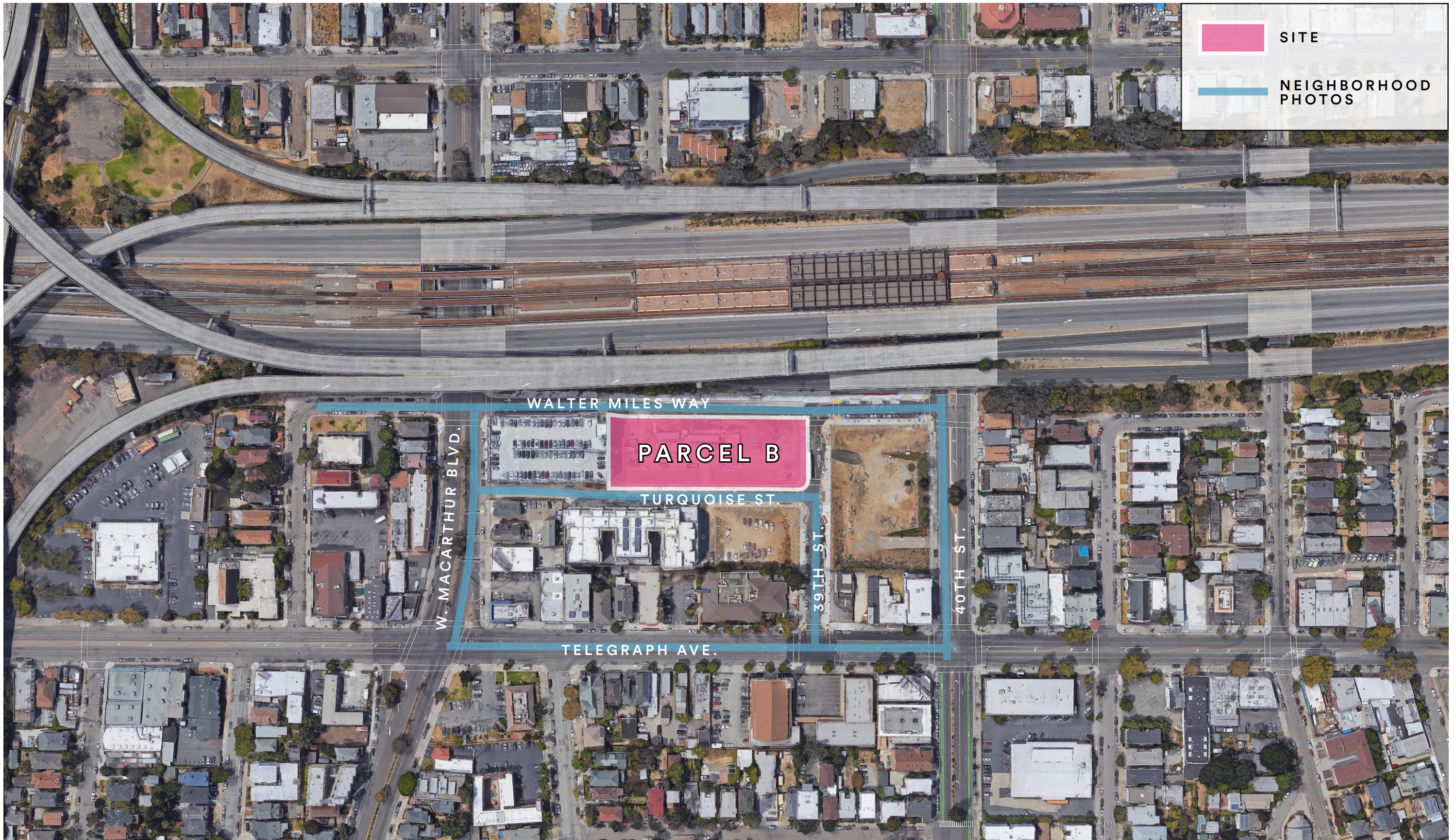
4: VIEW OF MURAL AFFORDABLE HOUSING



5: VIEW OF SHUTTLE STOPS



6: VIEW OF SITE FROM BART GARAGE



Neighboring Property Views - Key Map

Final Development Package

MacArthur Transit Village: Parcel B

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11 ~ 23 ~ 2016

2016010



Walter Miles Way (Facing West)



W. MACARTHUR BLVD.



SHUTTLE STOPS



40TH ST.

Walter Miles Way (Facing East)



40TH ST.

PARCEL A

39TH ST.



Project Site

PARCEL B



Project Site

PARCEL B



BART GARAGE

W. MACARTHUR BLVD.



W. MACARTHUR BLVD.

545 (W. MACARTHUR)

554 (37TH)

40th St. (Facing North)



40th St. (Facing South)



3916, 3928, 3932, 3936 (TELEGRAPH) TELEGRAPH AVE. 505, 509, 515, 517 (40TH) PARCEL A WALTER MILES WAY

Telegraph Ave. (Facing West)



W. MACARTHUR BLVD. 3801, 3807, 3815, 3817 (TELEGRAPH) 3833 3841 3845 3847 APGAR ST. 3875 (TELEGRAPH)



3875 (TELEGRAPH) 39TH ST. 3901 (TELEGRAPH) 3911, 3915, 3917, 3919, 3921 3927, 3929, 3931, 3933 (TELEGRAPH) 40TH ST.

Telegraph Ave. (Facing East)



40TH ST. 3916, 3928, 3932, 3936 (TELEGRAPH) 3900 3844



3844 3838 3824, 3822, 3820 3816 3808, 3810 496 (38TH.) 38TH ST. 3770 (TELEGRAPH)



38TH ST. 3770 (TELEGRAPH) W. MACARTHUR BLVD.

W. MacArthur Blvd. (Facing North)



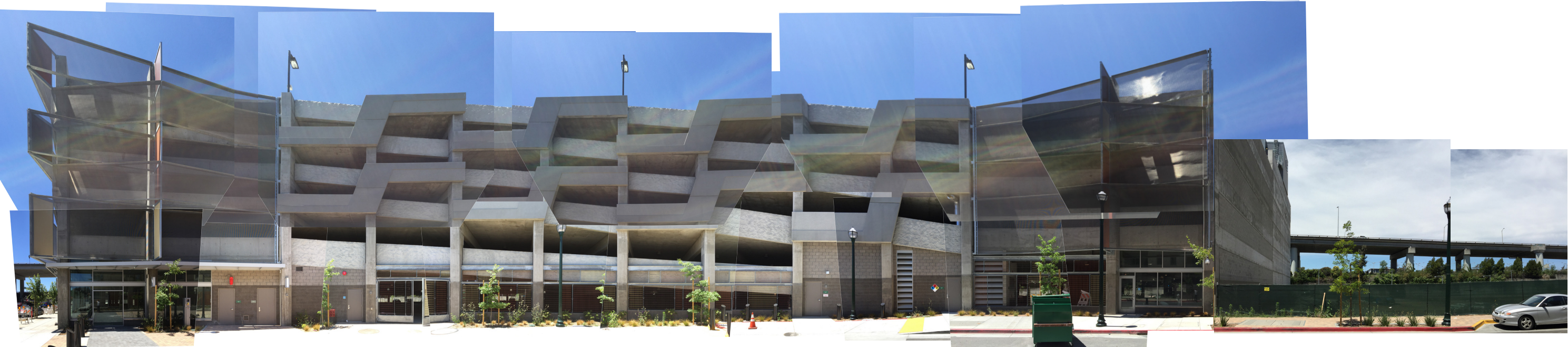
WALTER MILES WAY BART GARAGE TURQUOISE ST. 518 514 510 (W. MACARTHUR) 3801, 3807, 3815, 3817 (TELEGRAPH) TELEGRAPH AVE

W. MacArthur Blvd. (Facing South)



TELEGRAPH AVE. 501 (W. MACARTHUR) 521 537 539 545 (W. MACARTHUR) WALTER MILES WAY

Turquoise St. (Facing West)



BART GARAGE

Project Site



PARCEL B

Turquoise St. (Facing East)



PARCEL C1



MURAL AFFORDABLE HOUSING PROJECT - 3838 (TURQUOISE)



518 (W. MACARTHUR)

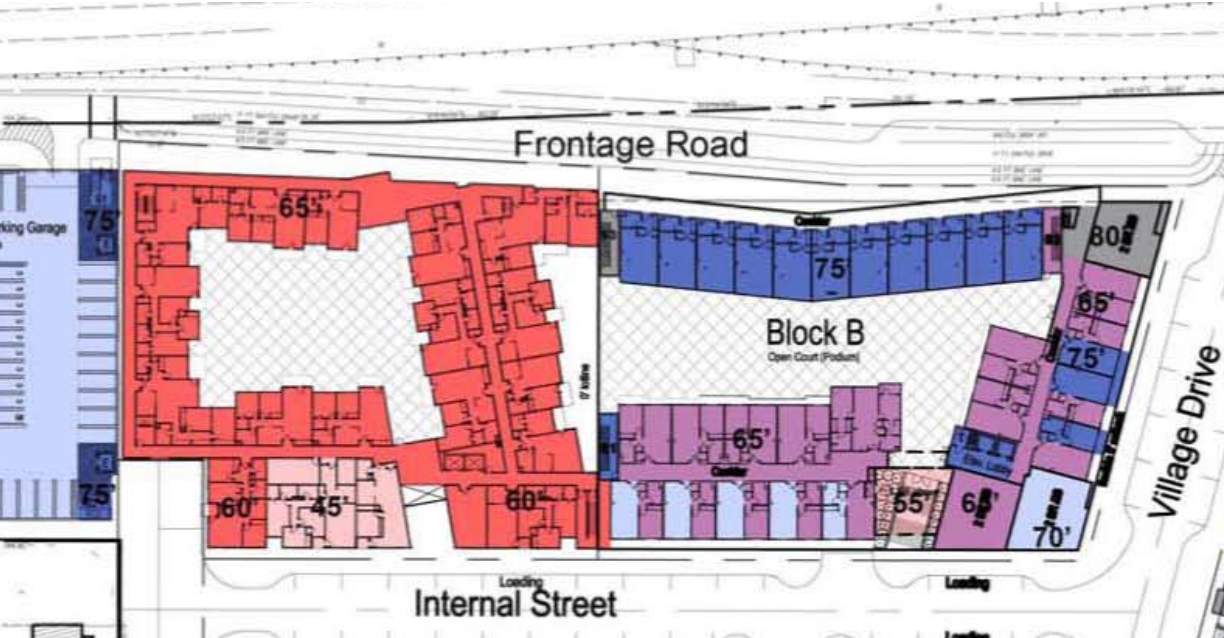
W. MACARTHUR BLVD.

39th St. (Facing North)



39th St. (Facing South)

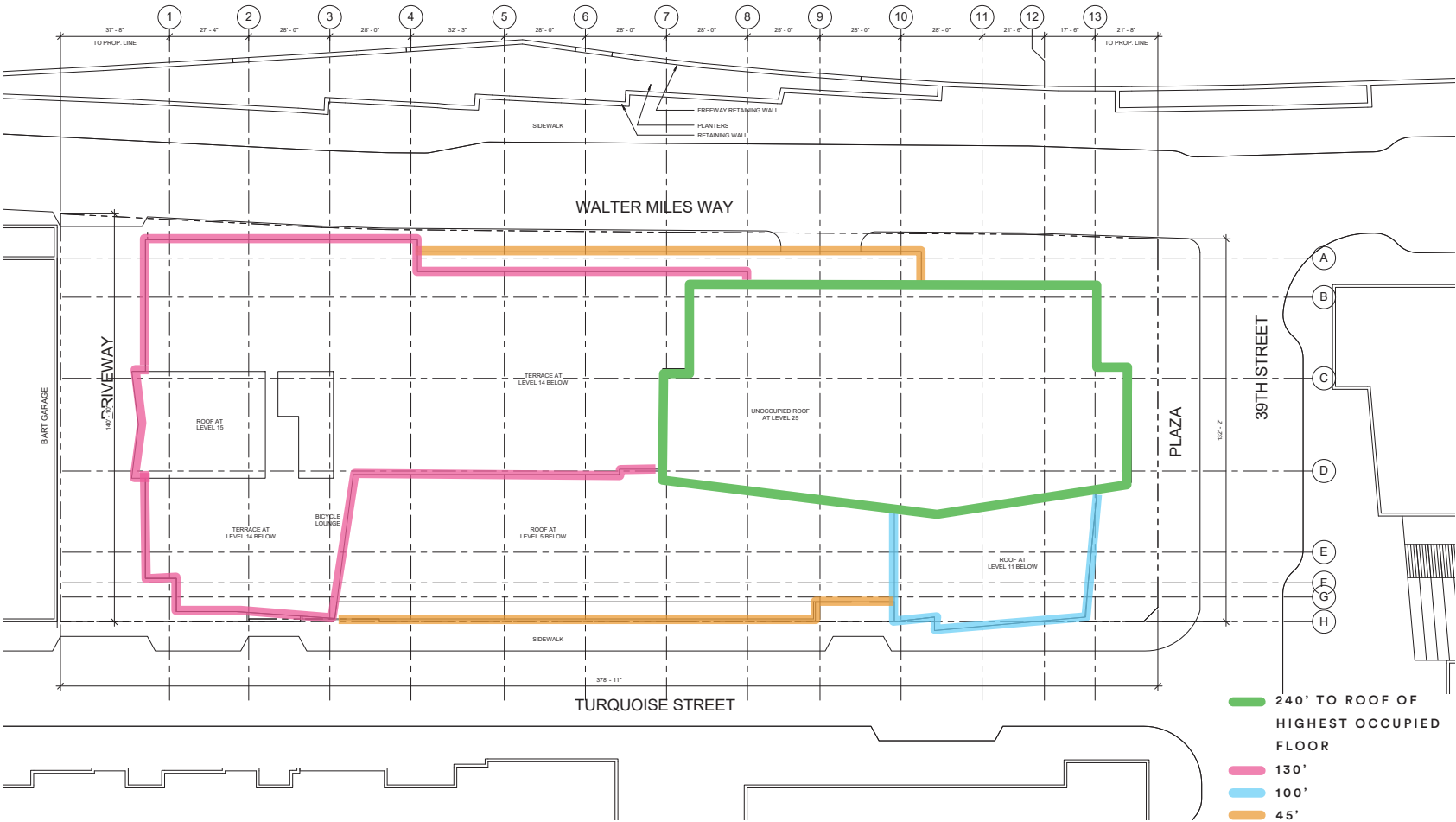




(NOTE: Plan shown is from June 2008 PDP Submittal by McLarand Vasquez Emsiek & Partners, Inc and is For Information Only)

Approved PDP Site Plan

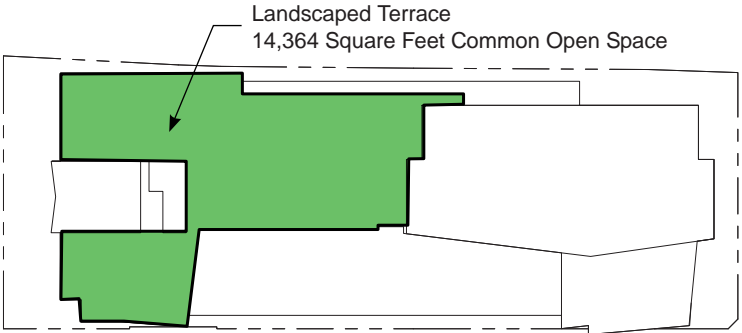
Previous height limit:	85'
Previous market rate unit count:	185
Previous onsite BMR unit count:	12
Previous retail area:	3,000 square feet
Previous parking quantity:	197



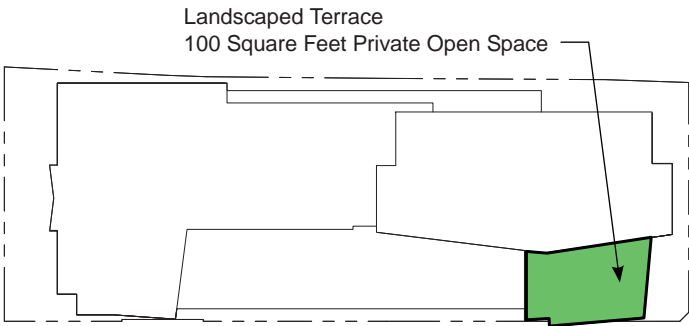
Proposed Revised Site Plan

Proposed height:	236'-4"
Proposed market rate unit count:	357
Proposed BMR unit count:	45
Proposed retail area:	12,660 square feet
Proposed parking quantity:	262

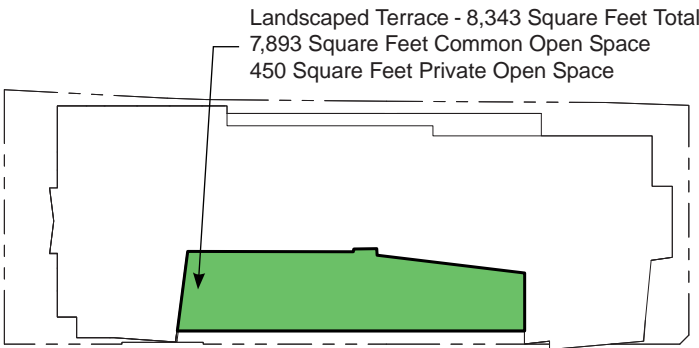
Z



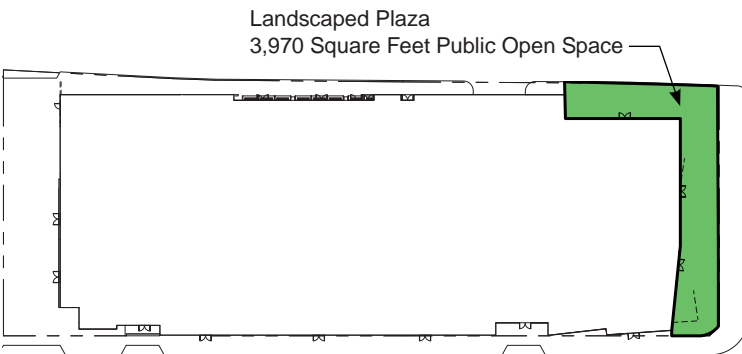
LEVEL 14 OPEN SPACE - AMENITY



LEVEL 11 OPEN SPACE - GREEN ROOF



LEVEL 5 OPEN SPACE - AMENITY



LEVEL 1 OPEN SPACE - PLAZA & DRIVEWAY

Level 14 - Common Use Roof Terrace:14,364 Square Feet

Level 11 - Private Terraces:100 Square Feet (2 Units, - 25 Square Feet Minimum Per Unit)

Level 5 - Common Use Terrace: 7,893 Square Feet

Level 5 - Private Terraces: 450 Square Feet (9 Units, - 25 Square Feet Minimum Per Unit)

Level 1 - Public Open Space:3,970 Square Feet

Total Open Space: 29,580 Square Feet

Total Open Space per Dwelling Unit: 75 Square Feet, 15 Square Feet for Units With Private Spaces

Units w/ Private Open Space: 30

Units Relying on Common Space: 372

	Required Per S-15 Zoning
Units w/ Private Open Space	15 SF/Unit
Units Relying on Common Space	75 SF/Unit

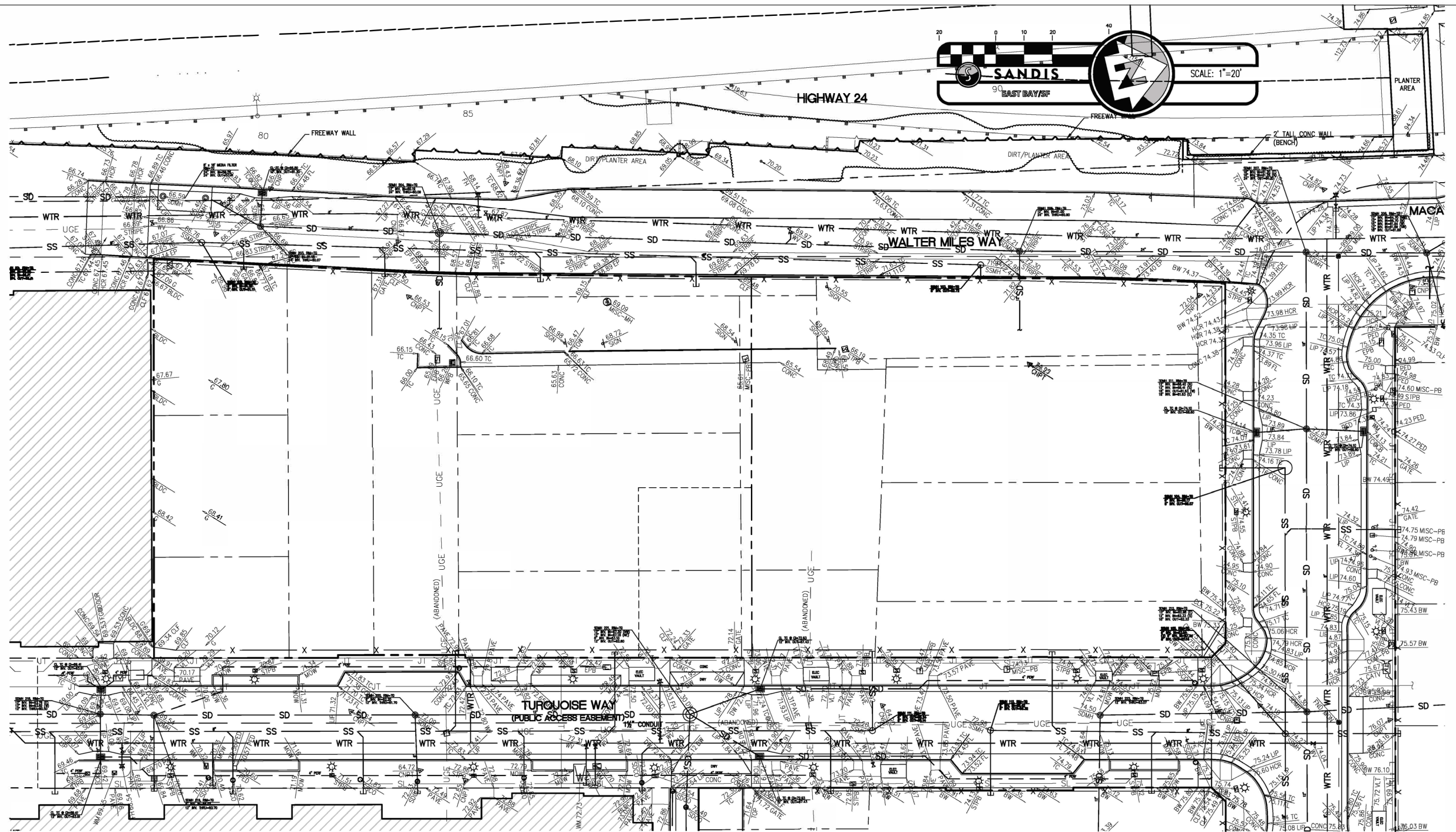
NOTE: Requirements for Open Space per current S-15 zoning varies by height limit. Open space requirements for

height limit of 90 feet is 100 square feet of Group Usable Open Space per regular unit, or 20 square feet

when Private Open Space substituted. Open space requirements for height limits above 90 feet are reduced to 75

square feet of Group Usable Open Space and 15 Square Feet for Group Usable Open Space When Private Open

Space is Substituted per current S-15 zoning. Project is 256'-4" in height.



BASIS OF BEARINGS

THE BEARING OF SOUTH 13°08'07" WEST, BETWEEN MONUMENTS FOUND AT THE INTERSECTION OF TELEGRAPH AVENUE AND 38TH STREET, AS SHOWN APRIL 2015, ON TRACT MAP NO. 8232, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

TOPOGRAPHIC SURVEY

TOPOGRAPHIC SURVEY BY SANDIS DATED MAY 2016.

BENCHMARK

CITY OF OAKLAND MONUMENTS 9 NW 24 AND 9 NW 25, AT THE INTERSECTION OF TELEGRAPH AVENUE AND 38TH STREET, CITY OF OAKLAND DATUM, WAS USED AS THE BENCHMARKS TO ESTABLISH THE ELEVATIONS SHOWN ON THIS SURVEY.

TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY)

Final Development Package

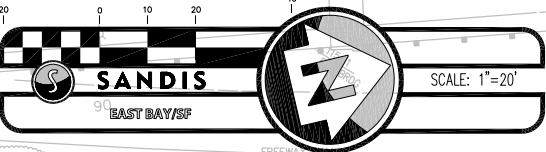
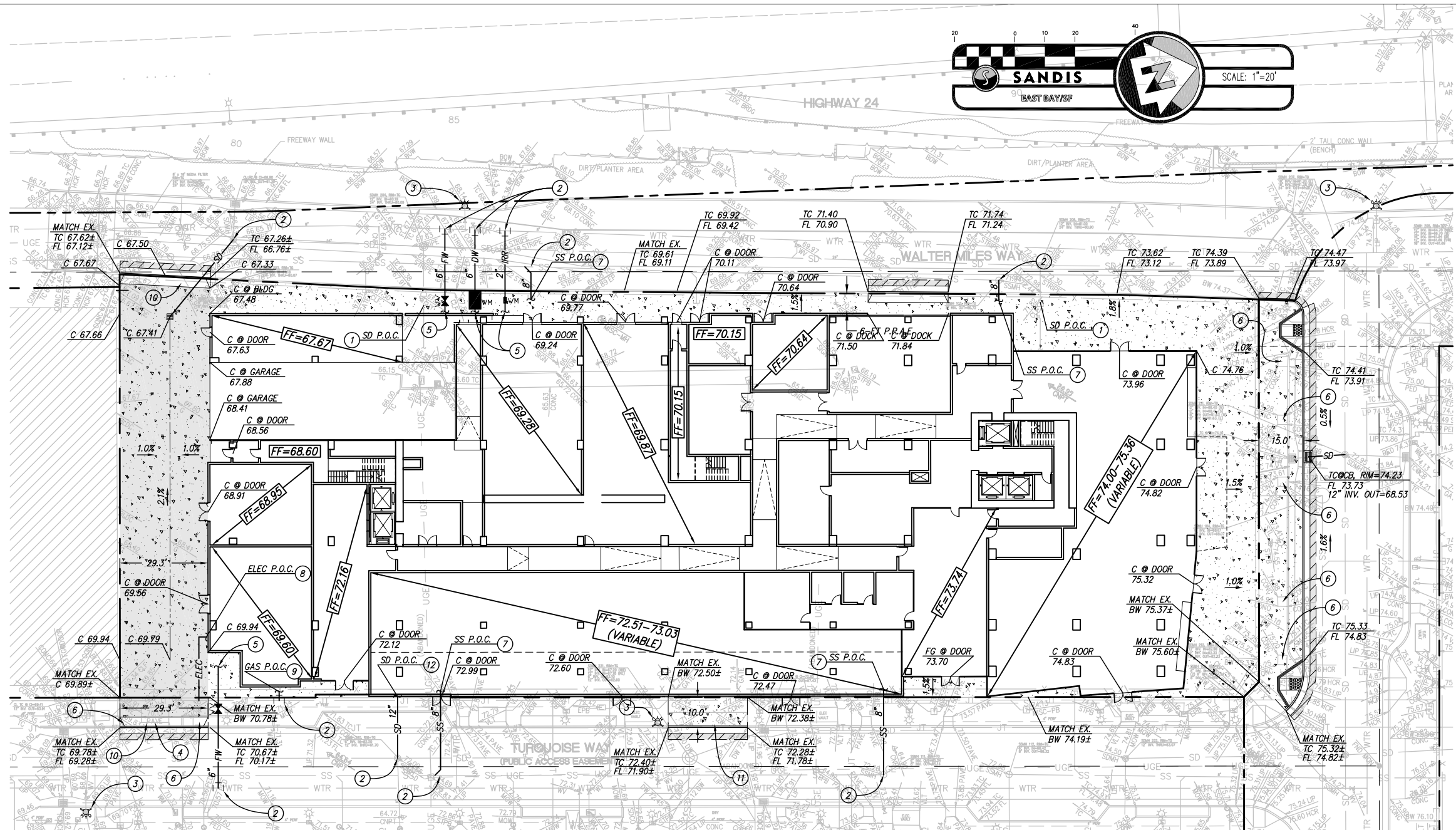
MacArthur Transit Village: Parcel B

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07 - 06 - 2016

2016010

C1-00



LEGEND

	PROPERTY LINE		CONCRETE SIDEWALK (PER CITY STANDARD DETAIL)
	SAWCUT LINE		PLANTING (S.L.D.)
	VEHICULAR CONCRETE		PERMEABLE PAVERS (MATCH EXISTING IN-KIND PAVERS)
	AC DEEPLIFT		

GENERAL NOTES

1. CONFORM TO EX. SIDEWALK / CURB ON WALTER MILES WAY AND TURQUOISE WAY.
2. EX. UTILITY STRUCTURES, VAULTS, VALVES, ETC TO REMAIN, UNLESS OTHERWISE NOTED.
3. SEE LANDSCAPE DRAWINGS FOR PROPOSED TREE LAYOUT AND PLANTING PLANS.

SHEET NOTES

1. CONNECT TO EX. UTILITY STUB. SEE PLUMBING DRAWINGS FOR CONTINUATION.
2. CONNECT TO EXISTING MAIN.
3. EXISTING FIRE HYDRANT TO REMAIN.
4. EXISTING UCD VAULT TO BE RELOCATED OR REMOVED. SEE ELECTRICAL DRAWINGS FOR DETAILS.
5. WATER SERVICE (FIRE, DOMESTIC, IRRIGATION). BACKFLOW DEVICES LOCATED WITHIN BUILDING. SEE PLUMBING DRAWINGS.
6. EXISTING TREE TO BE REMOVED.
7. REPLACE EX. 6" SS LATERAL WITH 8" LATERAL. SEE PLUMBING DRAWINGS FOR CONTINUATION.
8. CONNECT TO EX. JOINT TRENCH. SEE ELECTRICAL DRAWINGS FOR CONTINUATION.
9. GAS SERVICE. SEE PLUMBING DRAWINGS FOR CONTINUATION.
10. 30' DRIVEWAY APPROACH PER CITY OF OAKLAND STANDARD DETAIL.
11. EX. DRIVEWAY APPROACH TO BE REMOVED. REPAIR WITH IN-KIND PAVERS.
12. 12" SD LATERAL. SEE PLUMBING DRAWINGS FOR CONTINUATION.



SANDIS
CIVIL ENGINEERS
SURVEYORS
PLANNERS
636 Ninth Street | Oakland, CA 94607 | P. 510.873.8866 | www.sandis.net

EAST BAY/SF

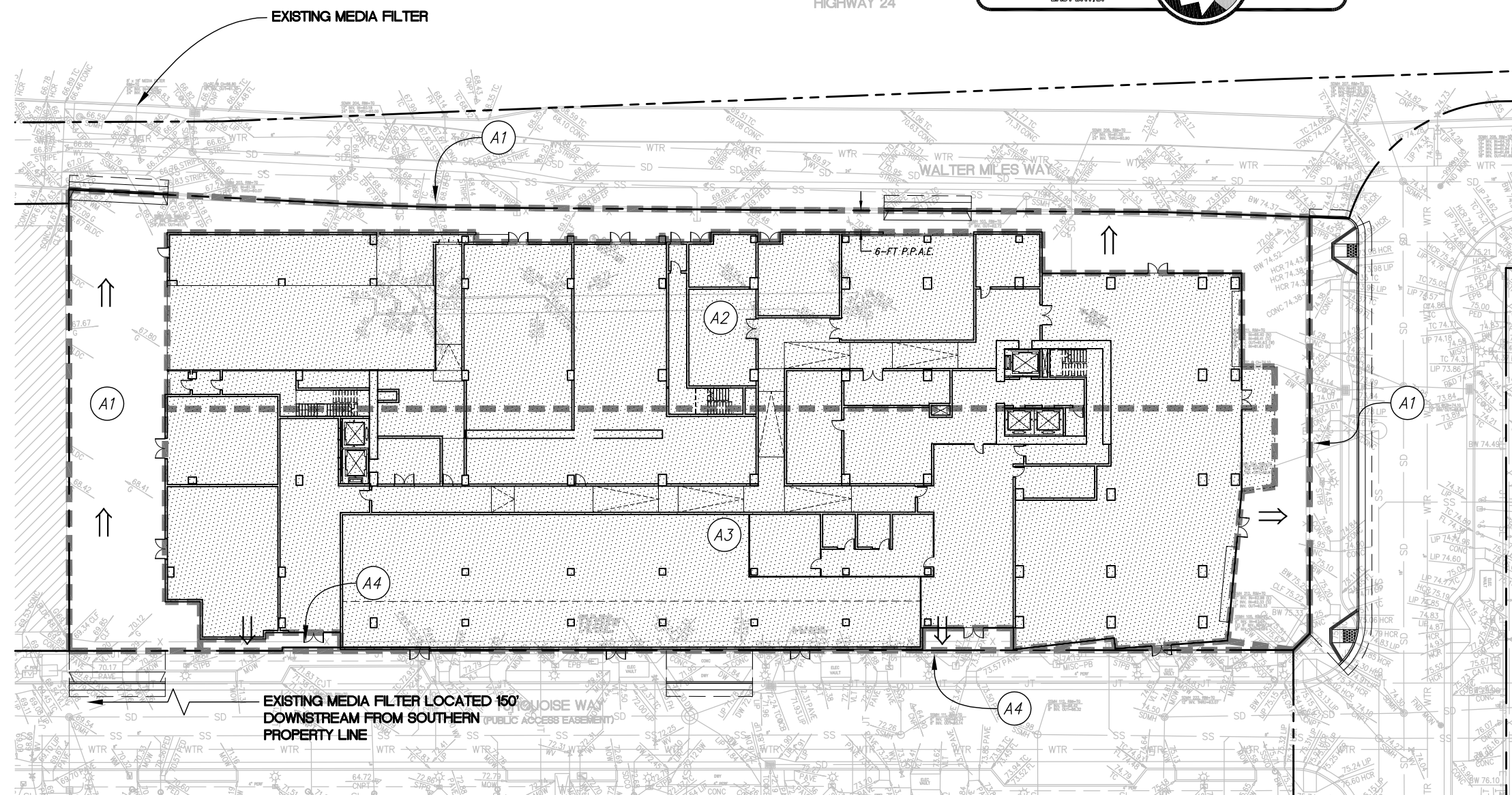
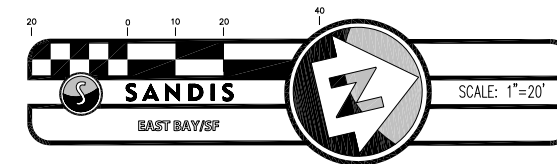


SITE, GRADING, AND UTILITY PLAN
Final Development Package
 MacArthur Transit Village: Parcel B
 Solomon Cordwell Buenz / Boston Properties / Oakland, CA

07 - 06 - 2016

2016010

C2-00



LEGEND

- ← DIRECTION OF FLOW
- DRAINAGE AREA
- A1 DRAINAGE LABEL
- Roof Area

SPECIAL PROJECT NOTE

THIS PROJECT QUALIFIES AS A CATEGORY "B" SPECIAL PROJECT. BASED ON THE ALAMEDA COUNTY SPECIAL PROJECTS WORKSHEET, THIS PROJECT COULD BE ALLOWED TO USE NON-LID TREATMENT METHODS FOR UP TO 100% OF THE PROJECT'S REQUIRED STORMWATER TREATMENT.

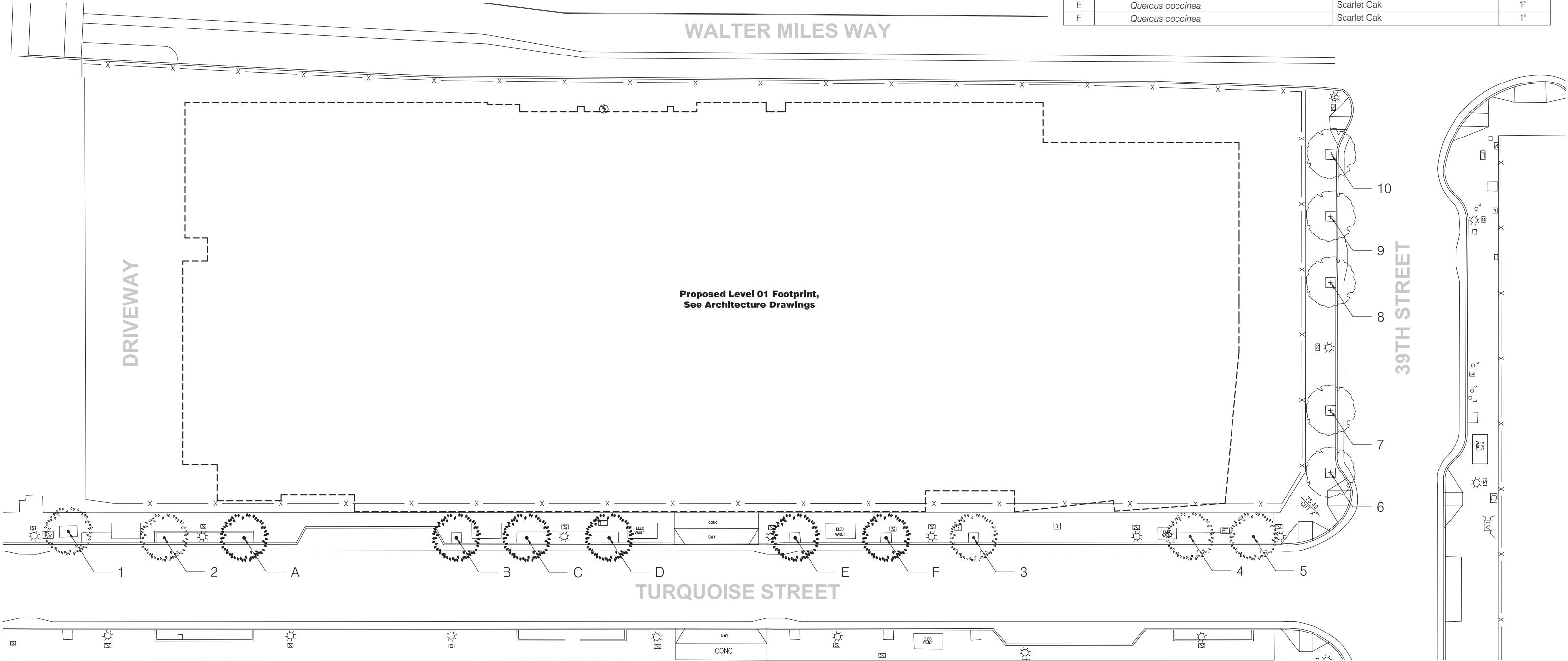
TOTAL PROJECT AREA: 51,218 S.F.
AREA ALLOWED TO BE TREATED BY NON-LID METHODS: 51,218 SF
AREA PROPOSED TO BE TREATED BY NON-LID METHODS: 51,218 SF
TRANSIT ORIENTED DEVELOPMENT: 100%

RUNOFF FROM THIS PROJECT WILL BE TREATED BY EXISTING MEDIA FILTERS IN BOTH TURQUOISE WAY AND WALTER MILES WAY. THESE MEDIA FILTERS WERE DESIGNED TO ACCOMMODATE THE DRAINAGE AREAS SHOWN.

AS THE PROJECT DESIGN IS FURTHER REFINED, THIS PROJECT WILL SEEK TO INCORPORATE THE USE OF LID TREATMENT METHODS WHERE FEASIBLE.

STORMWATER MITIGATION MEASURES

AREA ID	ROOF AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TOTAL (SF)
A1	0	10,248	0	10,248
A2	16,728	0	0	16,728
A3	23,765	0	0	23,765
A4	0	522	0	522
TOTALS	40,493	10,770	0	51,263



Existing Tree Survey			
Key		Scientific Name	Common Name
Trees Proposed for Removal			
1		<i>Quercus coccinea</i>	Scarlet Oak
2		<i>Quercus coccinea</i>	Scarlet Oak
3		<i>Quercus coccinea</i>	Scarlet Oak
4		<i>Quercus coccinea</i>	Scarlet Oak
5		<i>Quercus coccinea</i>	Scarlet Oak
6		<i>Platanus x acerifolia</i>	London Plane Tree
7		<i>Platanus x acerifolia</i>	London Plane Tree
8		<i>Platanus x acerifolia</i>	London Plane Tree
9		<i>Platanus x acerifolia</i>	London Plane Tree
10		<i>Platanus x acerifolia</i>	London Plane Tree
Trees Located Within 10 Feet of Construction Activity			
A		<i>Quercus coccinea</i>	Scarlet Oak
B		<i>Quercus coccinea</i>	Scarlet Oak
C		<i>Quercus coccinea</i>	Scarlet Oak
D		<i>Quercus coccinea</i>	Scarlet Oak
E		<i>Quercus coccinea</i>	Scarlet Oak
F		<i>Quercus coccinea</i>	Scarlet Oak

General Notes

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- 5. Temporary irrigation shall be provided for plant establishment and maintenance period.
- 6. 1 year landscape maintenance and warranty period.
- 7. See L-2.00 Planting Schedule for all plant sizing and species.

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Landscape Architecture Materials and Planting Legend

PP

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Type A : 24"x24" Black Basalt, Honed Finish
Type B : 24"x24" Black Basalt, Flamed Finish

WD

Wood Decking,
Reclaimed Teak, Smooth Finish, Sealed
Alternate: Synthetic Wood Deck, Einwood or equivalent

DR

Synthetic Lawn,
Forever Lawn "K9Grass," or equivalent

BC

Bocce Court
1"-2" Crushed Oyster Shell
Bocce Surface

SP

Sidewalk Paving,
PIP Terazzo at 39th Street Plaza Color TBD
Match Existing Brick at Turquoise

G

Decorative Gravel,
1-2", Color TBD

Acer rubrum
Red Maple

Quercus coccinea
Scarlet Oak

Aesculus californica
California Buckeye

Arbutus "Marina"
Strawberry Tree

SS

Streetscape
Planting Mix

PM

Planted
Mounds

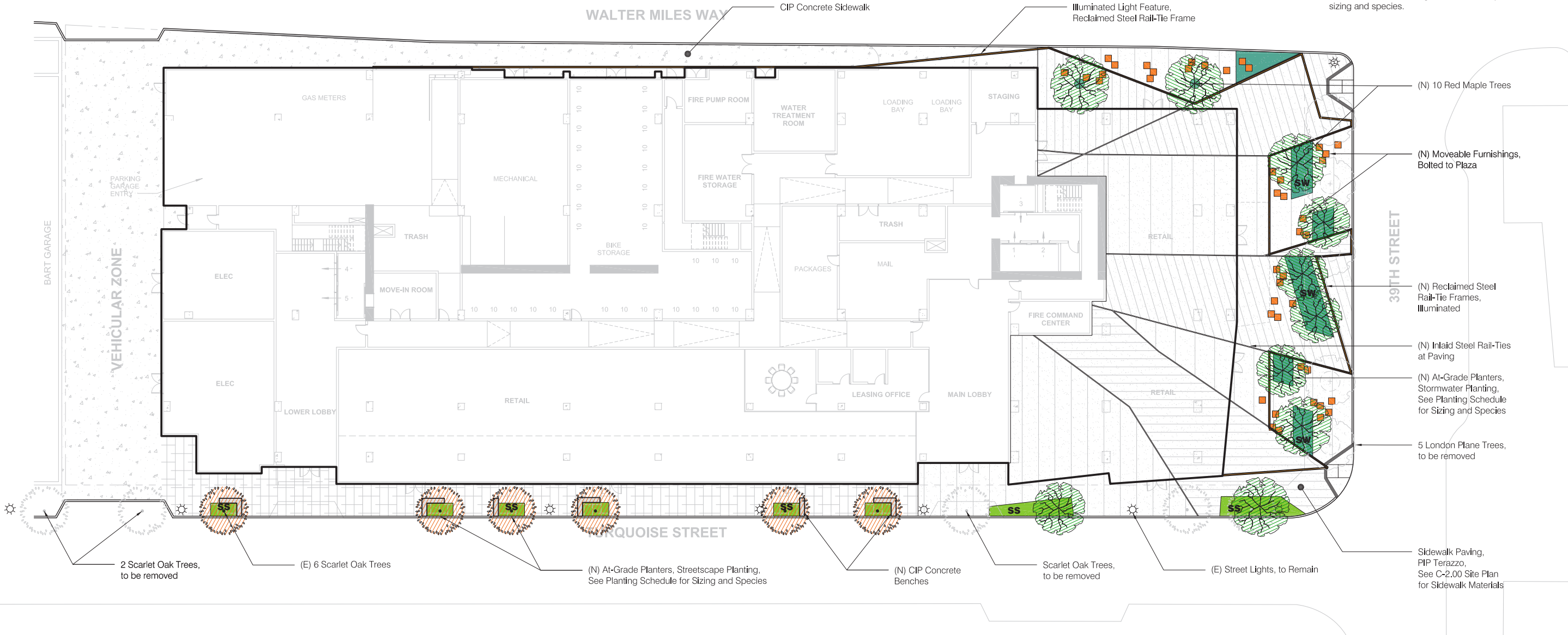
SW

Stormwater
Planting Mix

GR

Intensive
Green Roof

Note: See L-2.00 Planting Schedule for all plant sizing and species.



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1"-2" Crushed Oyster Shell
Bocce Surface


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Sidewalk Paving,
PIP Terazzo at 39th Street Plaza Color TBD
Match Existing Brick at Turquoise


G

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*Acer rubrum*
Red Maple

*Quercus coccinea*
Scarlet Oak

*Aesculus californica*
California Buckeye

*Arbutus "Marina"*
Strawberry Tree

SS

Streetscape
Planting Mix

PM

Planted
Mounds

SW

Stormwater
Planting Mix

GR

Intensive
Green Roof

Note: See L-2.00 Planting Schedule for all plant sizing and species.



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1"-2" Crushed Oyster Shell
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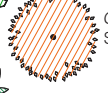
SP


Sidewalk Paving,
PIP Terazzo at 39th Street Plaza Color TBD
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Streetscape
Planting Mix

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Stormwater
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*Acer rubrum*
Red Maple

*Quercus coccinea*
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*Aesculus californica*
California Buckeye

*Arbutus "Marina"*
Strawberry Tree

SS

Streetscape
Planting Mix

PM

Planted
Mounds

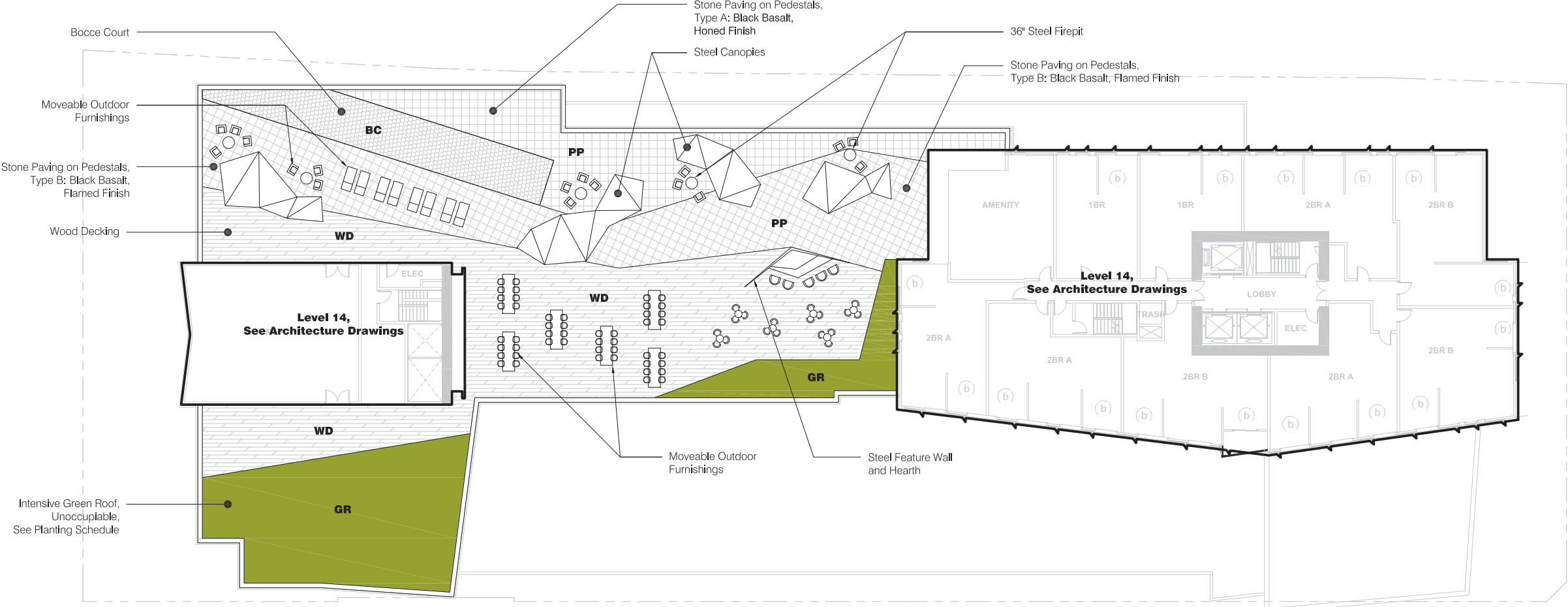
SW

Stormwater
Planting Mix

GR

Intensive
Green Roof

Note: See L-2.00 Planting Schedule for all plant sizing and species.

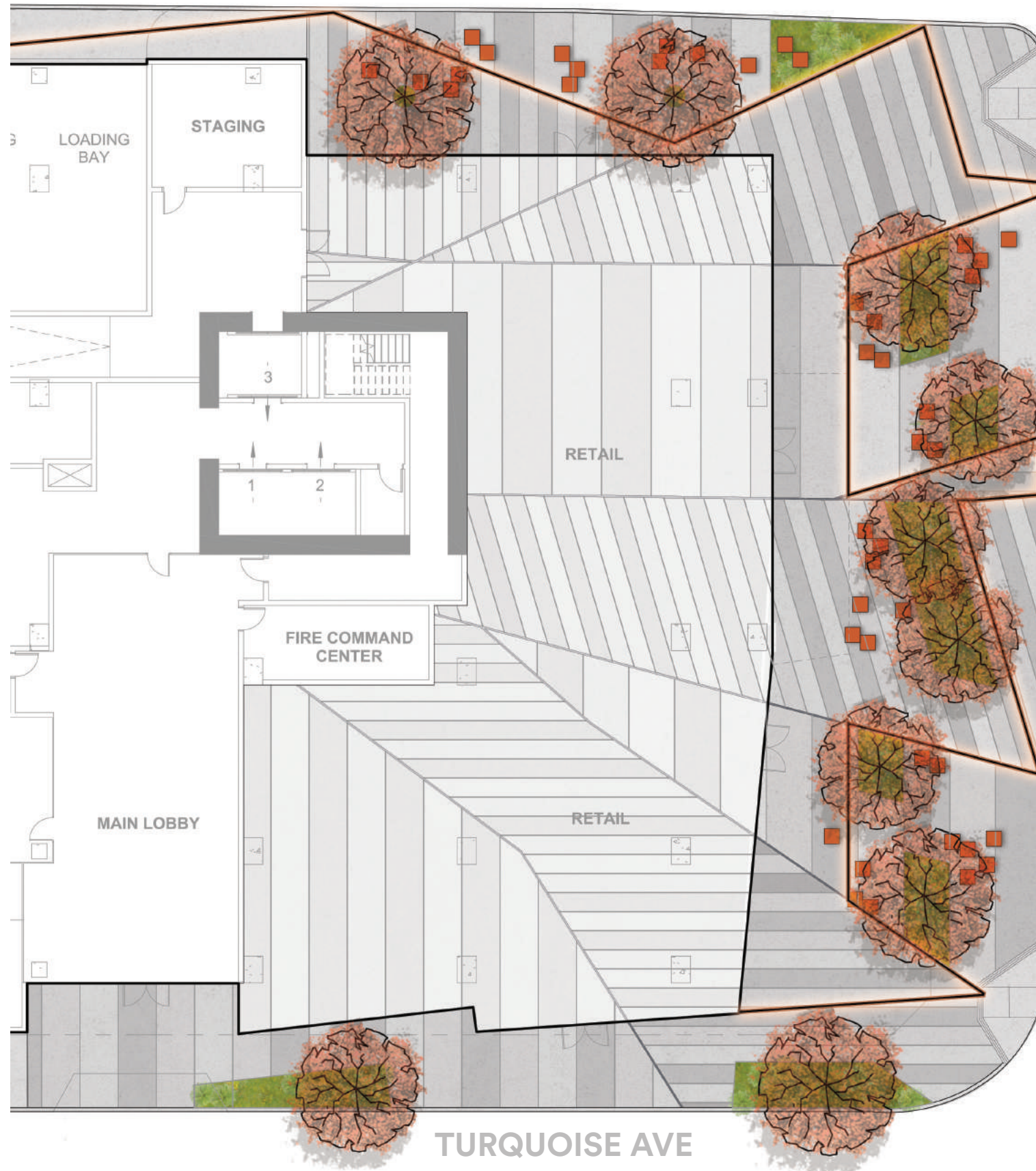


Planting Schedule

Key	Qty	Scientific Name	Common Name	Size	Root	Spacing	Irrigation
Trees							
PA	5	<i>Acer rubrum</i>	Red Maple	48"	Box		In-Line Drip
QC	9	<i>Quercus coccinea</i>	Scarlet Oak	(E)			In-Line Drip
AC	6	<i>Aesculus californica</i>	California buckeye	36"	Box		In-Line Drip
AM	5	<i>Arbutus "Marina"</i>	Strawberry Tree	36"	Box		In-Line Drip

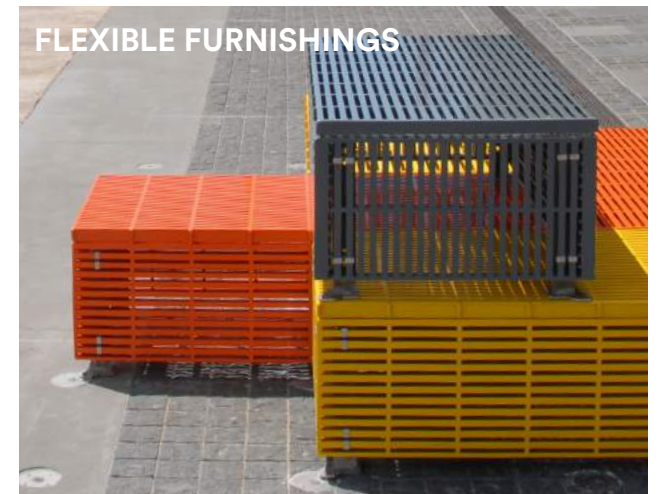
Planting Zones							
SS	1285 SF	Streetscape Planting					In-Line Drip
	30%	<i>Muhlenbergia rigens</i>	Deer Grass	1 Gal.	Cont.	24" O.C.	
	10%	<i>Sisyrinchium bellum</i>	Blue-eyed Grass	4" Pot	Cont.	12" O.C.	
	10%	<i>Carex tumulicola</i>	Berkeley Sedge	1 Gal.	Cont.	12" O.C.	
	10%	<i>Festuca rubra</i>	Red Fescue	1 Gal.	Cont.	15" O.C.	
	20%	<i>Juncus patens</i>	California Grey Rush	1 Gal.	Cont.	15" O.C.	
	20%	<i>Calamagrostis nutkaensis</i>	Pacific Reed Grass	1 Gal.	Cont.	18" O.C.	
SW	514 SF	Stormwater Planting					In-Line Drip
	20%	<i>Achillea millefolium</i>	Common Yarrow	4" Pot	Cont.	12" O.C.	
	5%	<i>Sisyrinchium bellum</i>	Blue-eyed Grass	4" Pot	Cont.	12" O.C.	
	15%	<i>Festuca rubra</i>	Red fescue	1 Gal.	Cont.	15" O.C.	
	20%	<i>Carex tumulicola</i>	Berkeley Sedge	1 Gal.	Cont.	12" O.C.	
PM	1903 SF	Planted Mounds					Conventional Drip
	25%	<i>Carex tumulicola</i>	Berkeley Sedge	1 Gal.	Cont.	12" O.C.	
	15%	<i>Sarcococca hookeriana</i> var. <i>humilis</i>	Himalayan Sweet Box	1 Gal.	Cont.	24" O.C.	
	25%	<i>Muhlenbergia rigens</i>	Deer Grass	1 Gal.	Cont.	24" O.C.	
	20%	<i>Polystichum munitum</i>	Western Sword Fern	1 Gal.	Cont.	36" O.C.	
	15%	<i>Woodwardia fimbriata</i>	Giant Chain Fern	1 Gal.	Cont.	48" O.C.	
GR	3376 SF	Intensive Green Roof Planting					In-Line Drip
	100%	<i>Sedum</i> spp.	Sedum	1 Gal.	Cont.	12" O.C.	
SC	352 SF	Hedge Screen					Conventional Drip
	100%	<i>Pittosporum tenuifolium</i> 'Silver Sheen'	Silver Sheen Kohuhu	1 Gal.	Cont.	30" O.C.	

WALTER MILES WAY



39th STREET

Located at the nexus of the Longfellow, Temescal and Mosswood neighborhoods, **39th Street Plaza** takes its shape from the converging local grid. Inspired by the project's proximity to MacArthur BART Station and the historic Telegraph Streetcar, a neon lighting feature made from reclaimed steel rail-ties weaves it's way through the plaza, creating a series of flexible outdoor rooms, while the paving pattern references the diverse urban quilt of Oakland.



SURFACEDSIGN, INC.

SCB © 2016 SOLOMON CORDWELL BUENZ

Prepared By:

Gita Khandagle

415.914.7459

Surfacedesign, Inc.

Boston Properties

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

07 - 06 - 2016

2016010

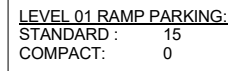
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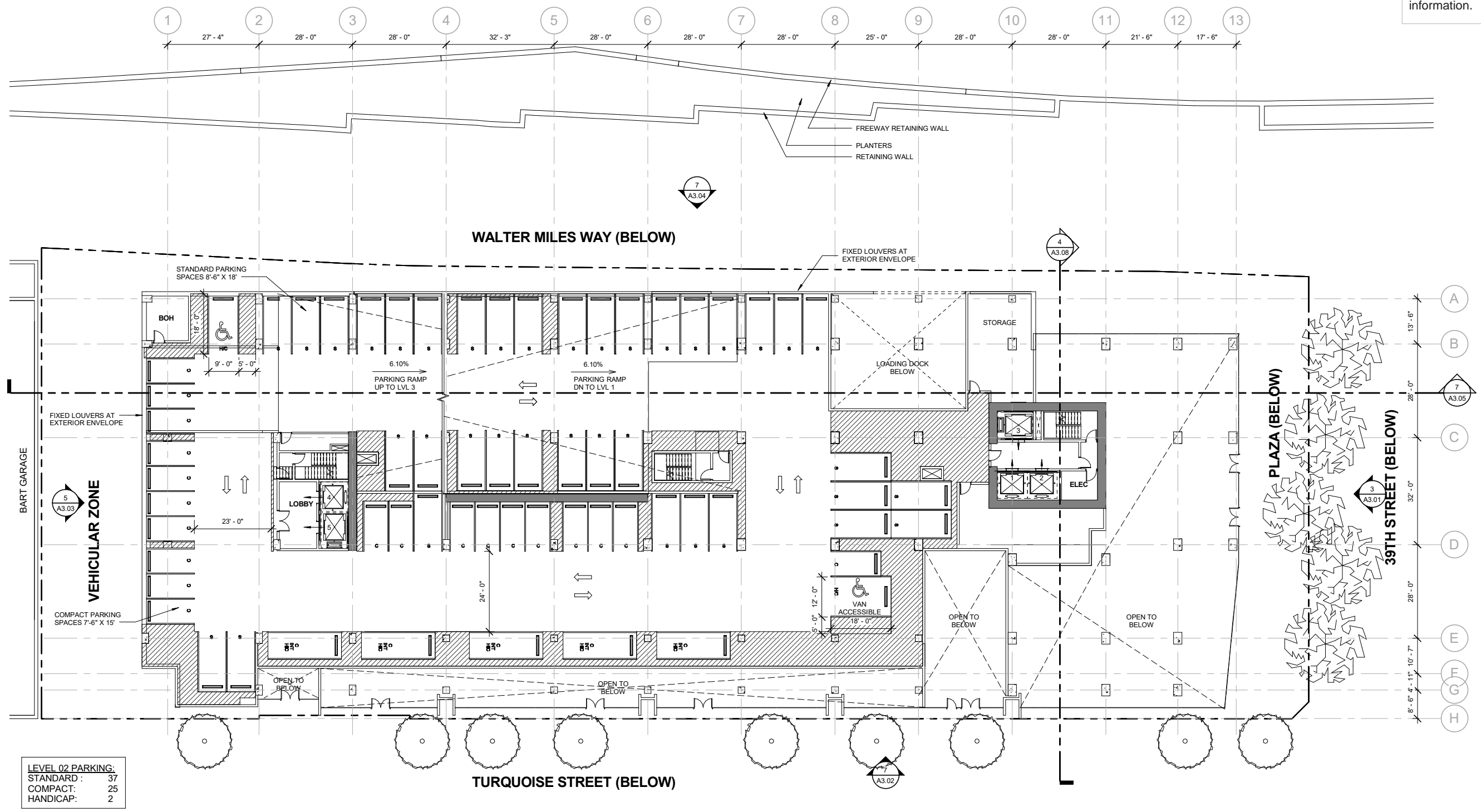


1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.



General Plan Notes

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Level 2 Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

11 - 23 - 2016

2016010

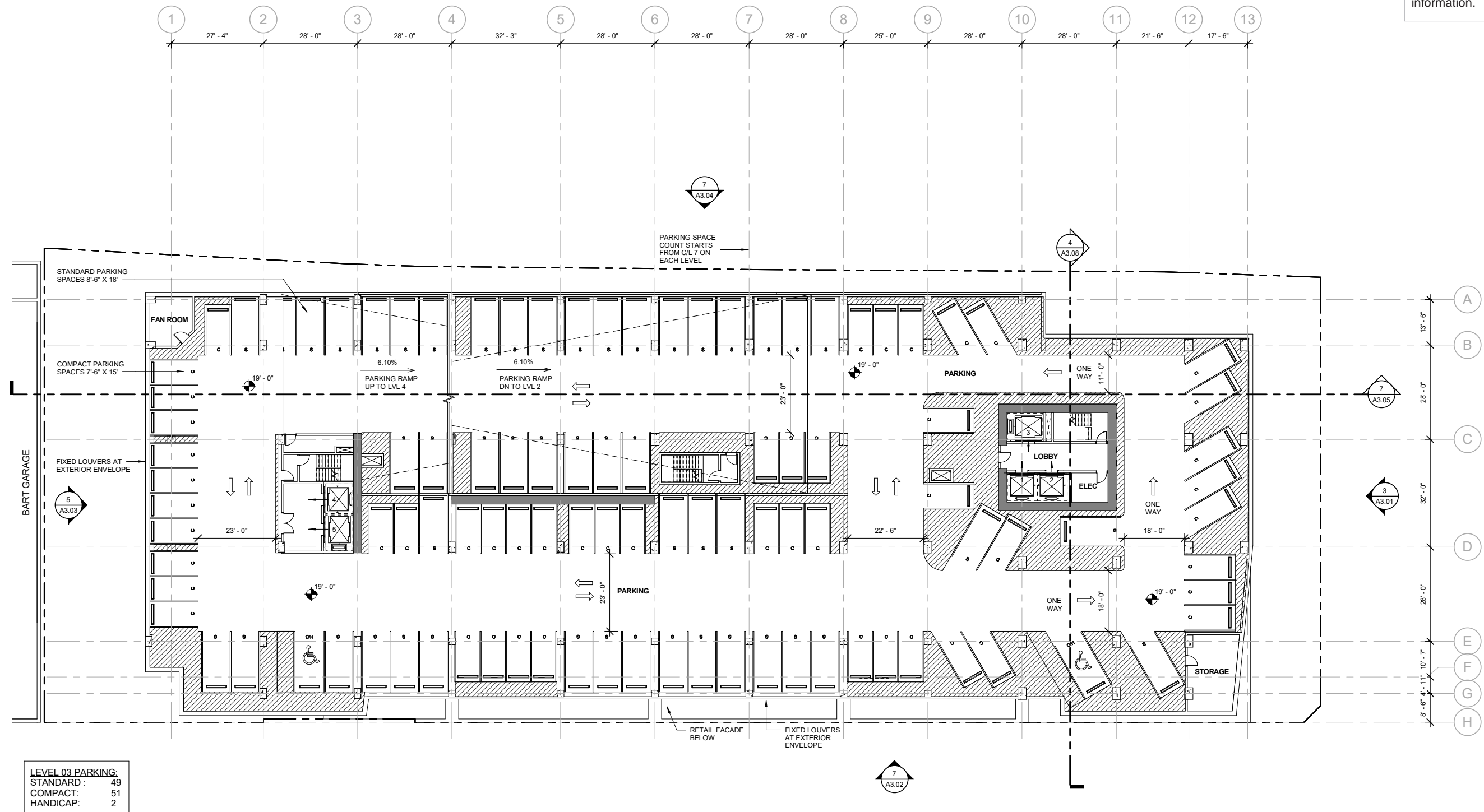
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A2-02

General Plan Notes

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Level 3 Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

11 - 23 - 2016

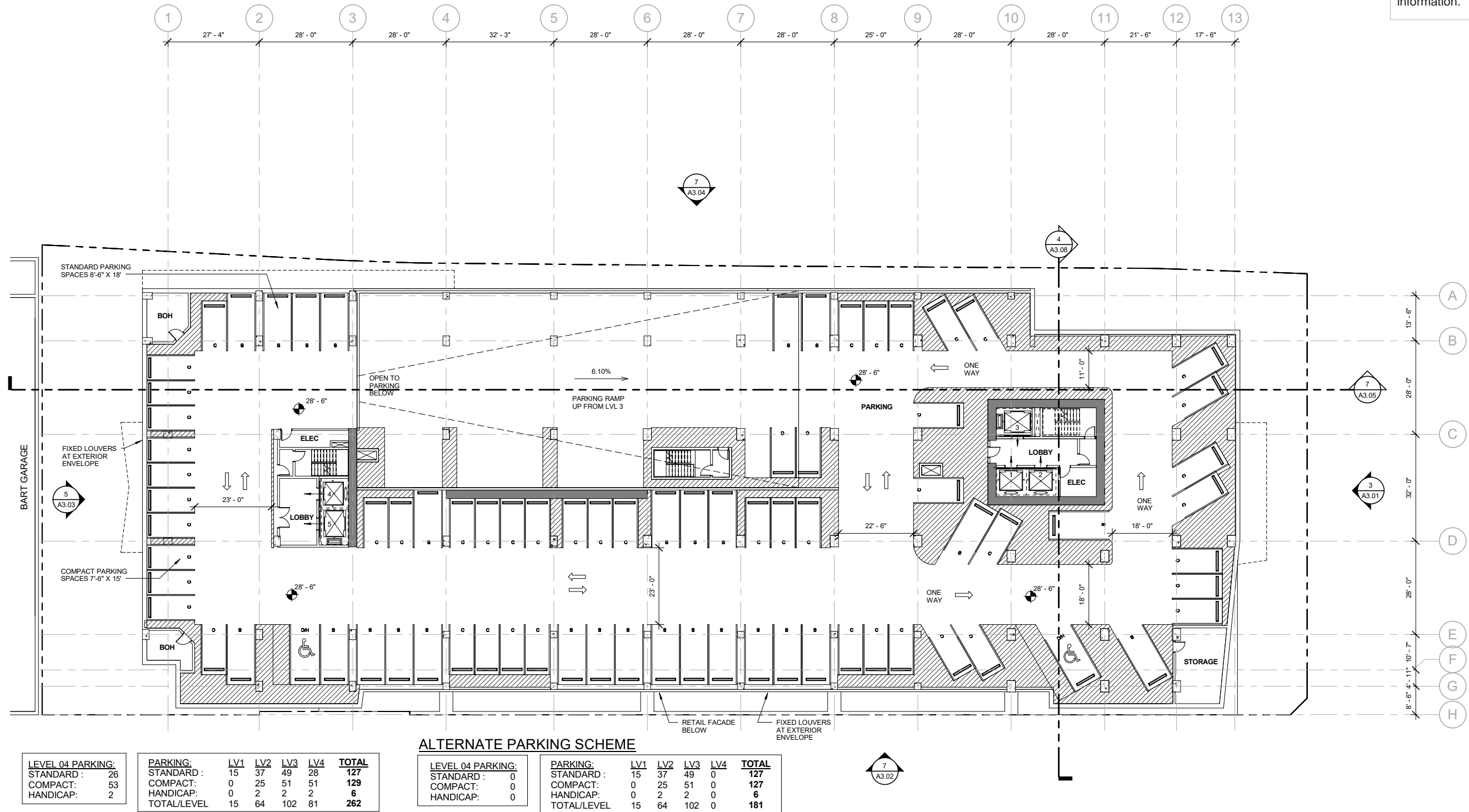
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A2-03

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Level 4 Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

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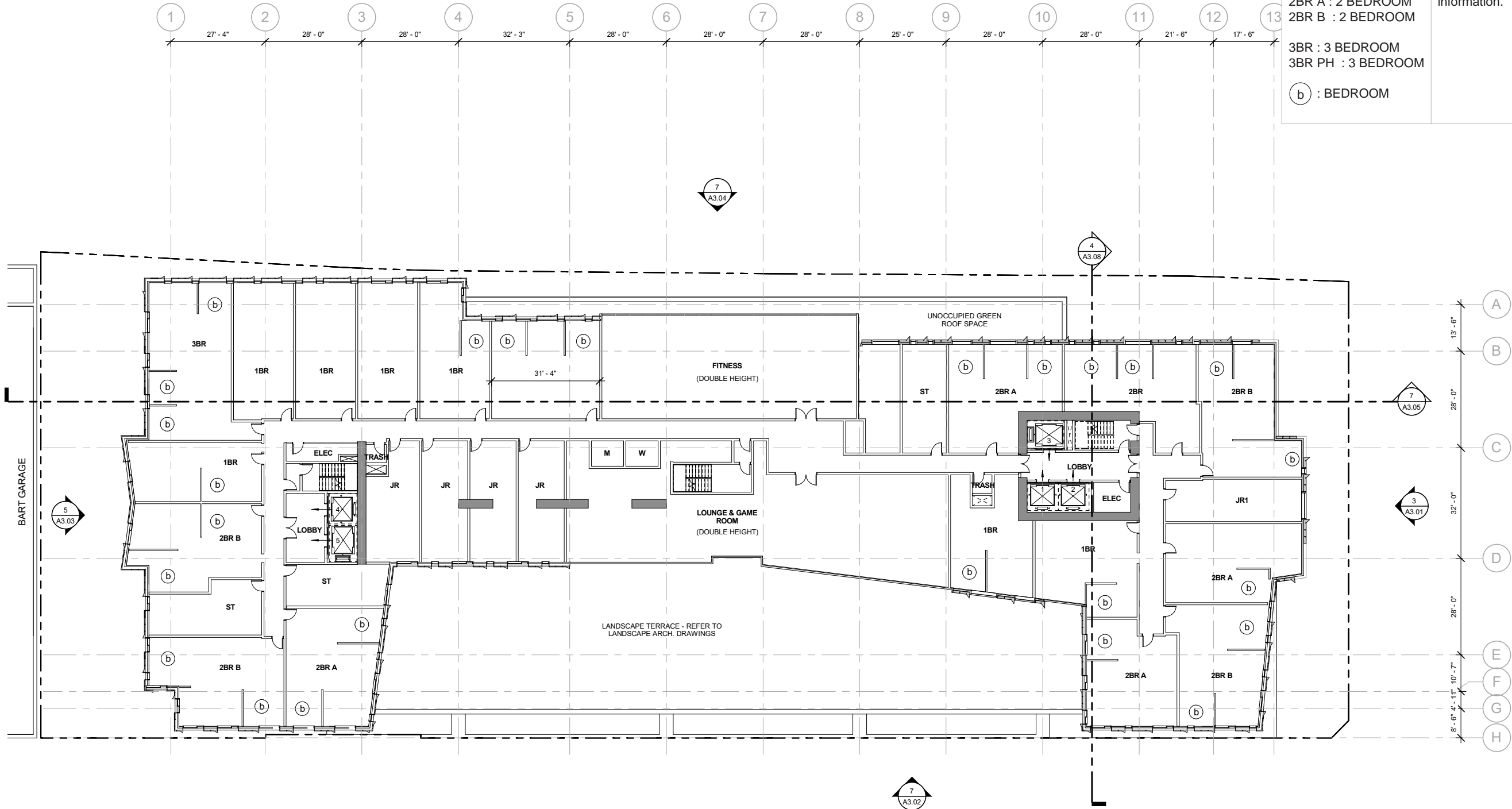
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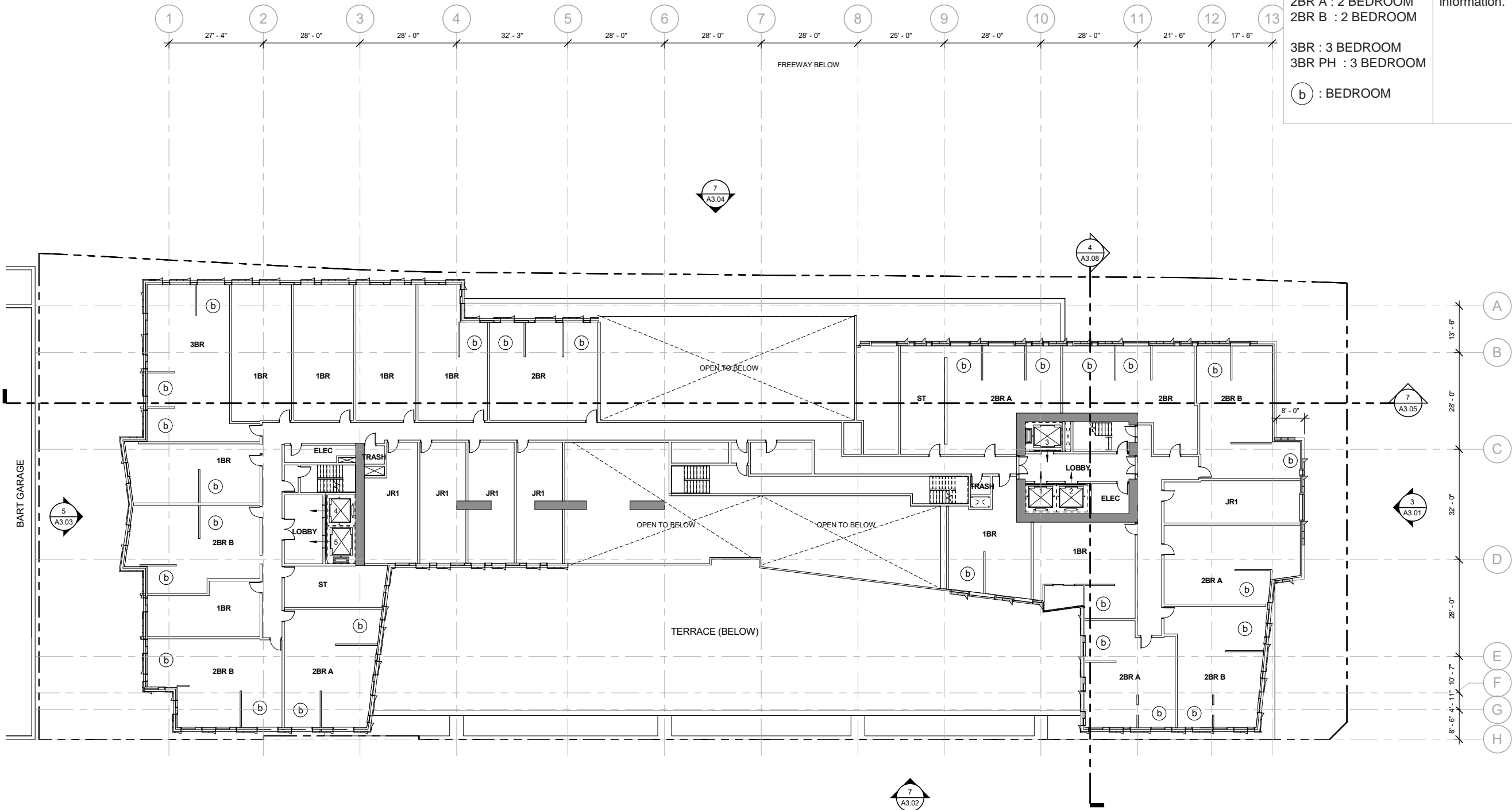
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A2-04

Unit Type Key	General Plan Notes
ST : STUDIO JR1 : JR 1 BEDROOM	1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
1BR : 1 BEDROOM	2. Refer to Landscape Architect & Civil Drawings for additional information.
2BR : 2 BEDROOM 2BR A : 2 BEDROOM 2BR B : 2 BEDROOM	
3BR : 3 BEDROOM 3BR PH : 3 BEDROOM	
(b) : BEDROOM	



Unit Type Key	General Plan Notes
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(b) : BEDROOM	



Level 6 Amenity Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

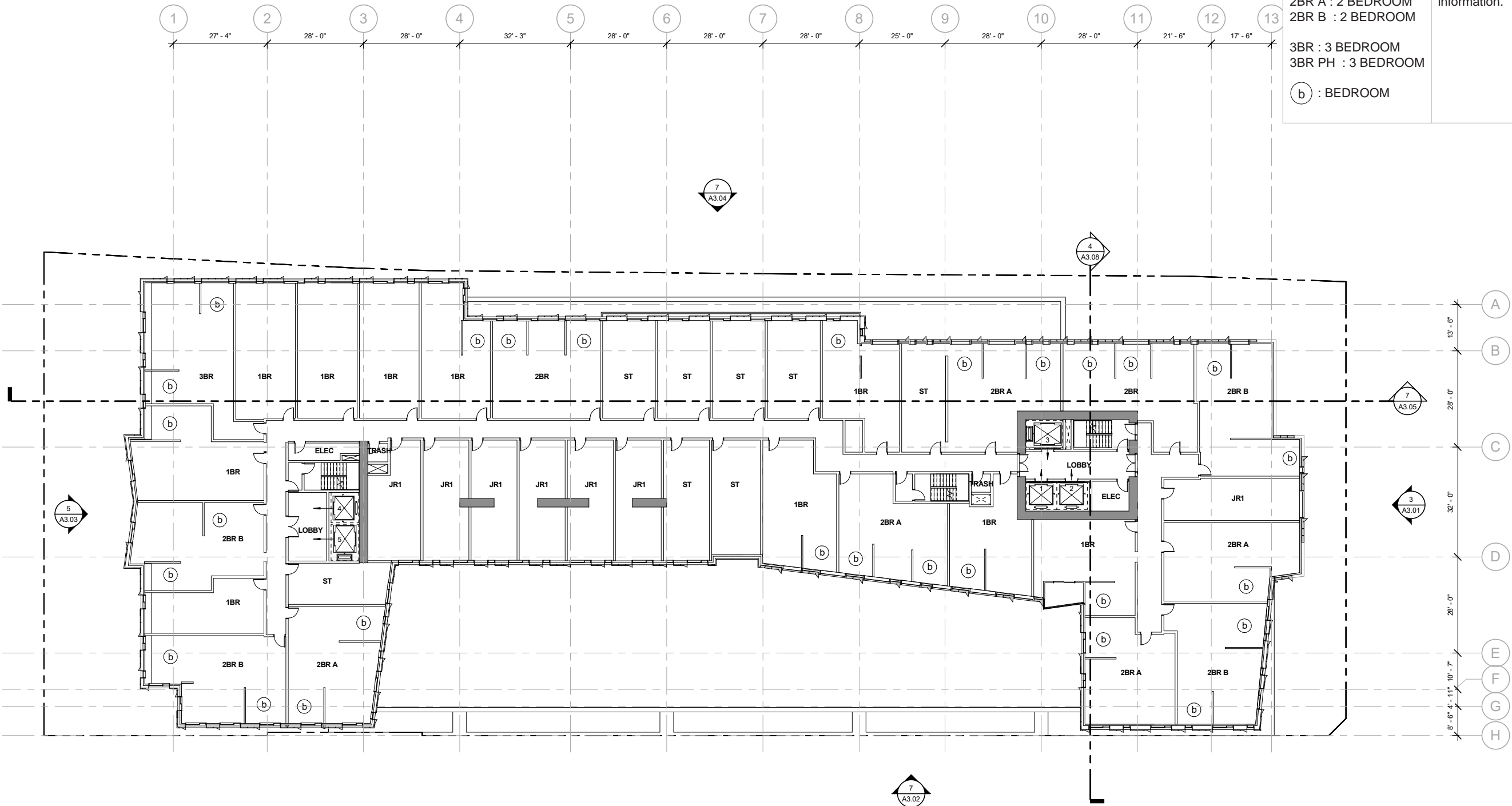
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2016010

0 16 32

A2-06

Unit Type Key	General Plan Notes
ST : STUDIO JR1 : JR 1 BEDROOM	1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
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3BR : 3 BEDROOM 3BR PH : 3 BEDROOM	
(b) : BEDROOM	



Levels 7-8 Typical Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

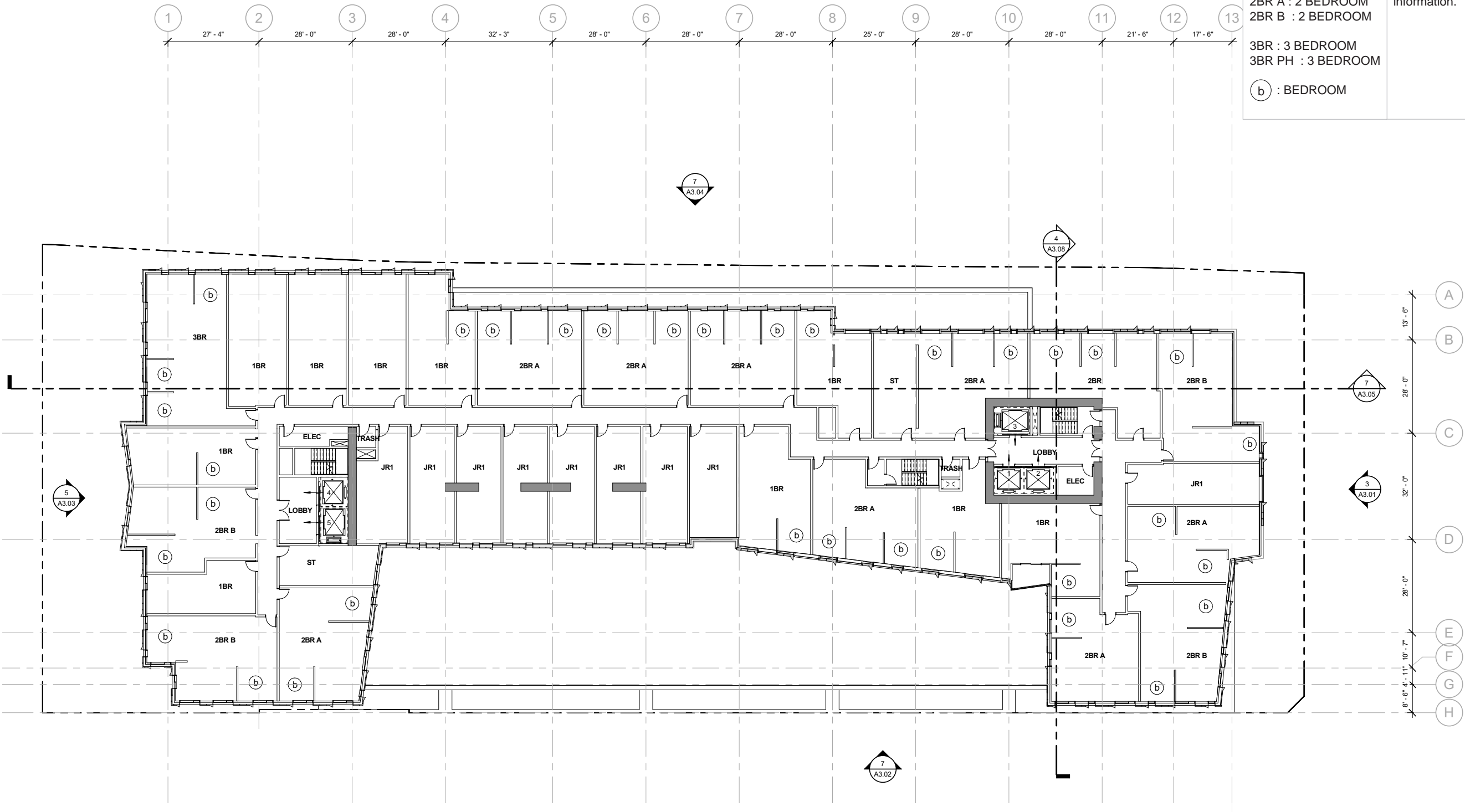
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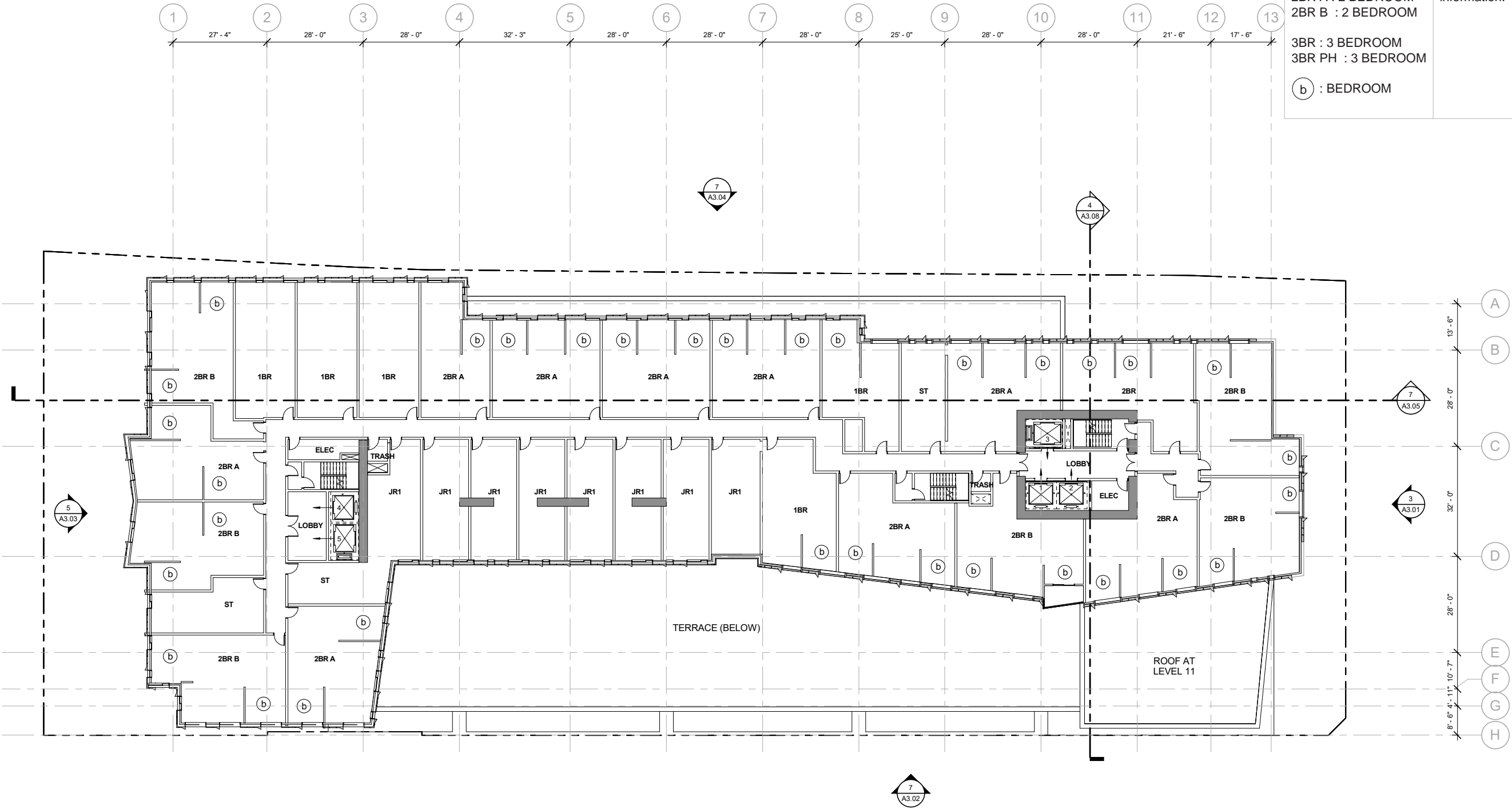
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A2-07

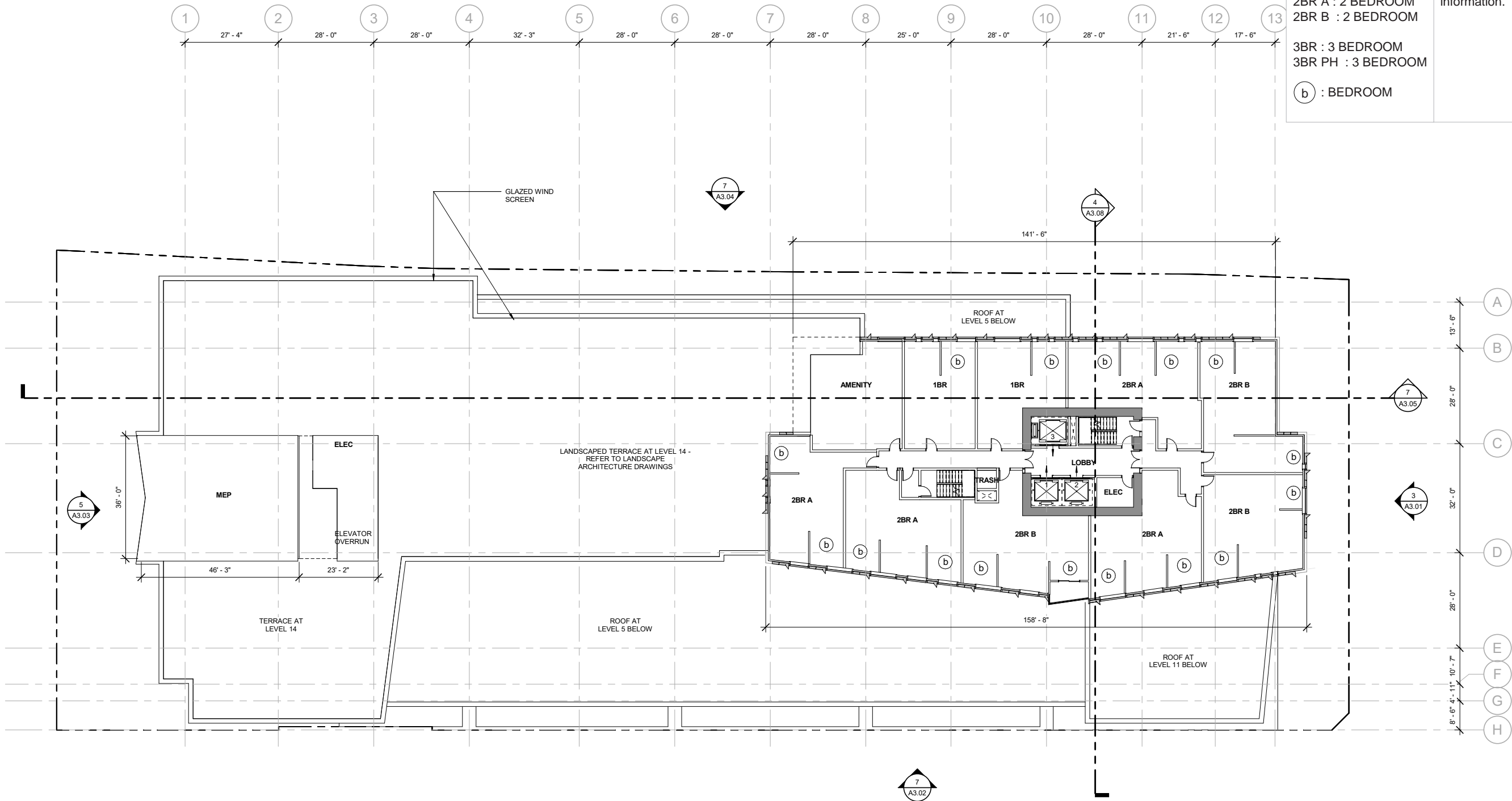
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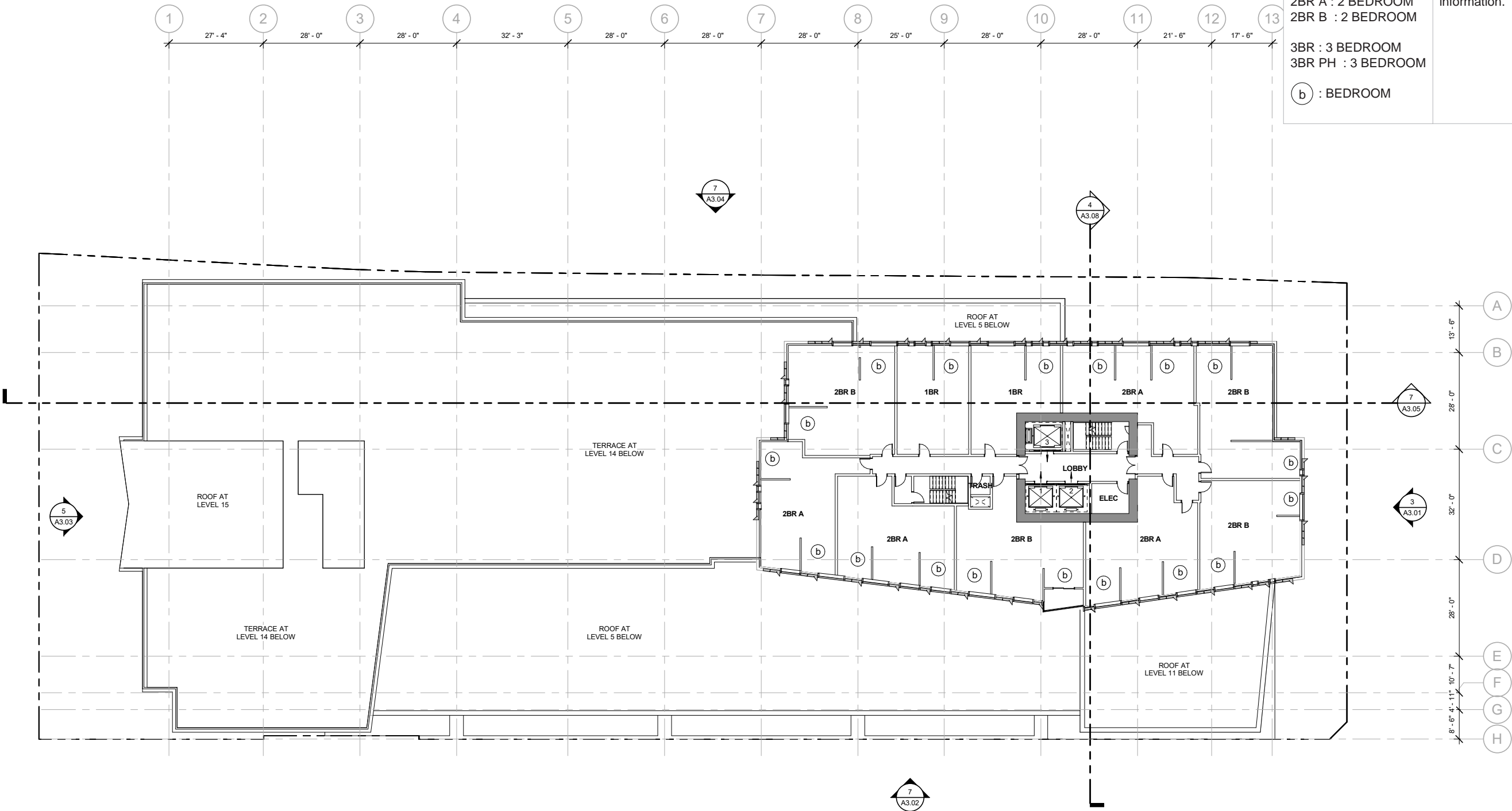
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(b) : BEDROOM	



Unit Type Key	General Plan Notes
ST : STUDIO JR1 : JR 1 BEDROOM	1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
1BR : 1 BEDROOM	
2BR : 2 BEDROOM 2BR A : 2 BEDROOM 2BR B : 2 BEDROOM	2. Refer to Landscape Architect & Civil Drawings for additional information.
3BR : 3 BEDROOM 3BR PH : 3 BEDROOM	
(b) : BEDROOM	



Unit Type Key	General Plan Notes
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2BR : 2 BEDROOM 2BR A : 2 BEDROOM 2BR B : 2 BEDROOM	
3BR : 3 BEDROOM 3BR PH : 3 BEDROOM	
(b) : BEDROOM	



Levels 16-22 Typical Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

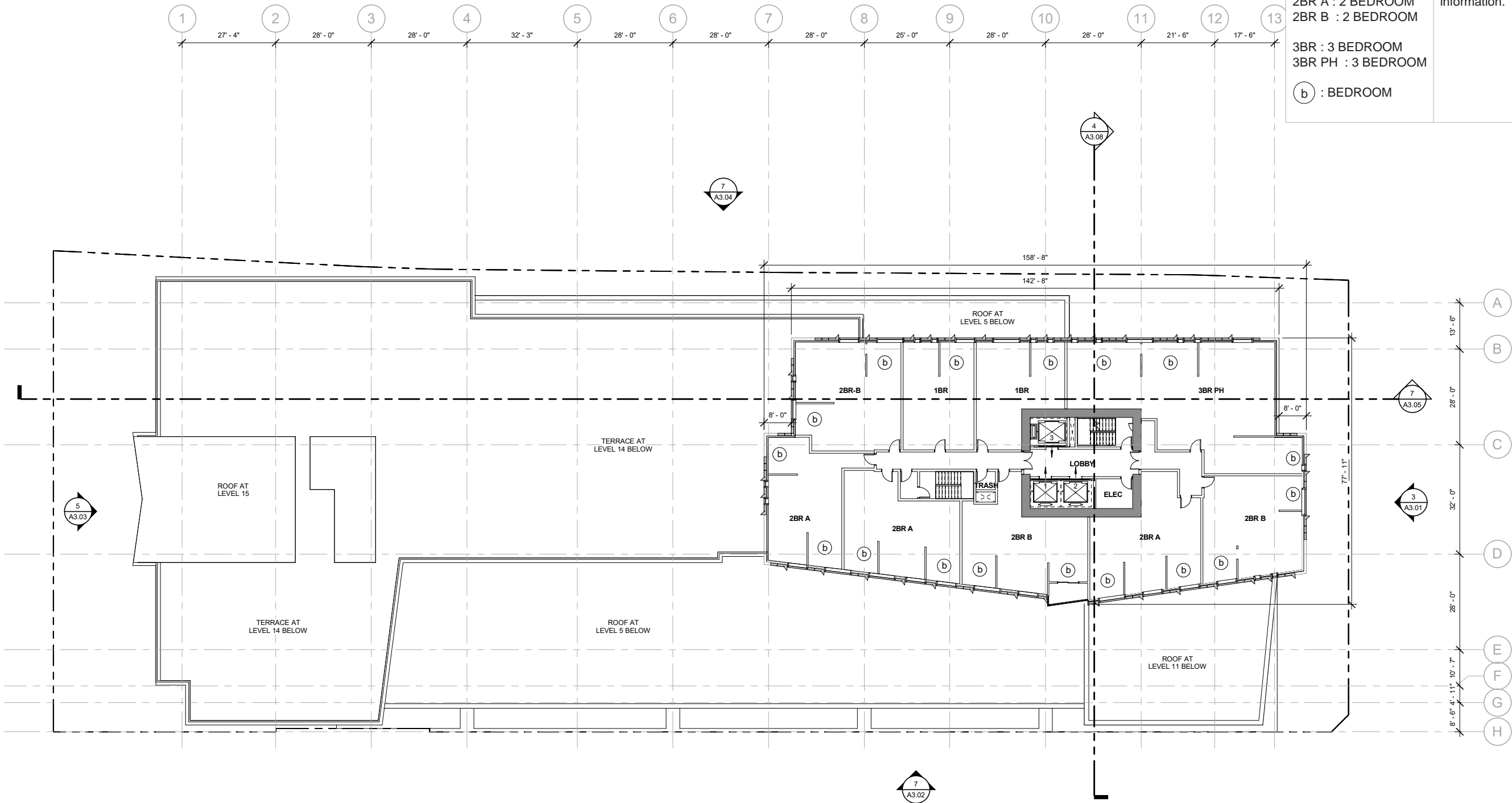
11 - 23 - 2016

2016010

0 16 32



Unit Type Key	General Plan Notes
ST : STUDIO JR1 : JR 1 BEDROOM	1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
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3BR : 3 BEDROOM 3BR PH : 3 BEDROOM	
(b) : BEDROOM	



Levels 23-24 Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

11 - 23 - 2016

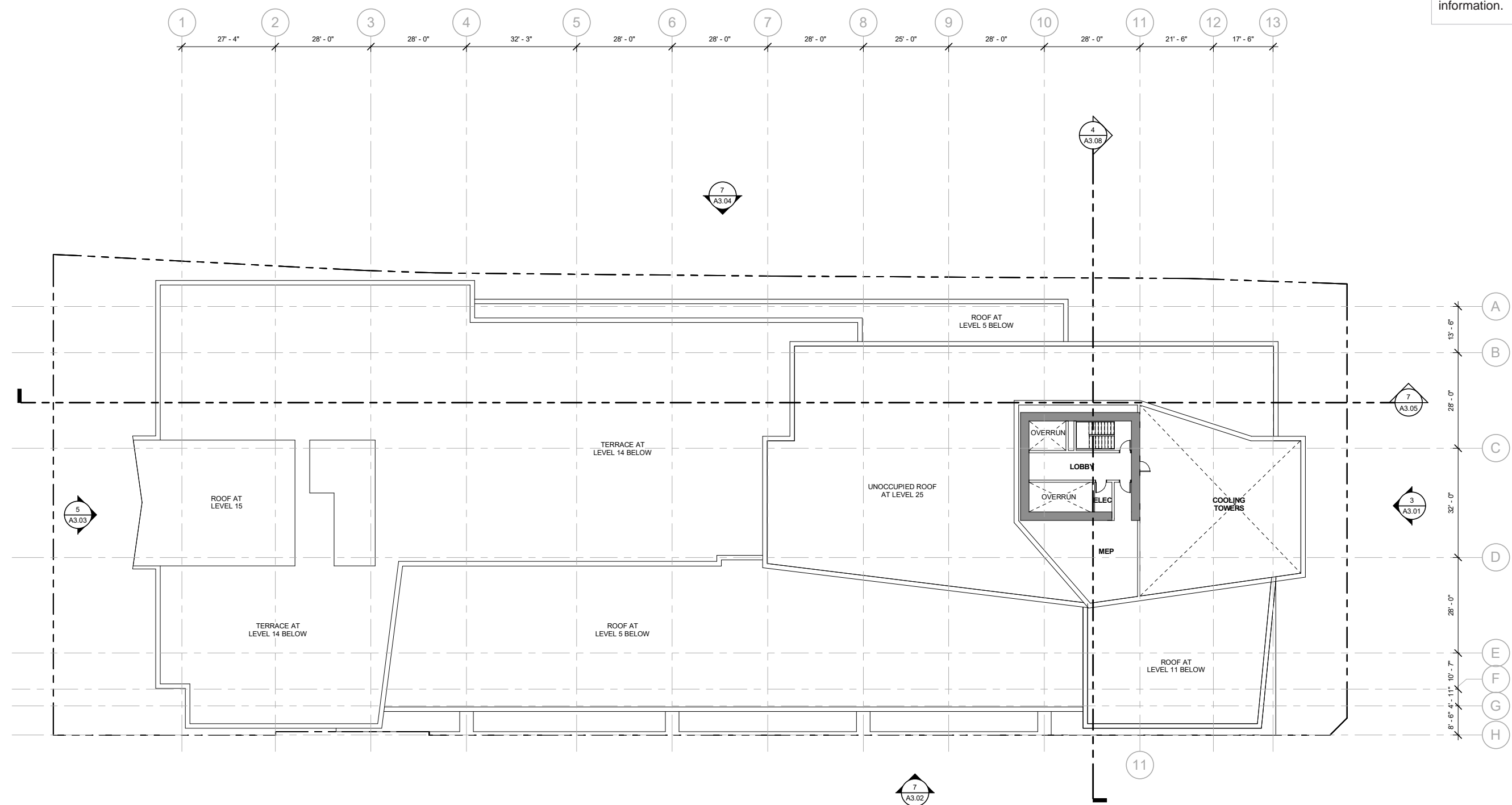
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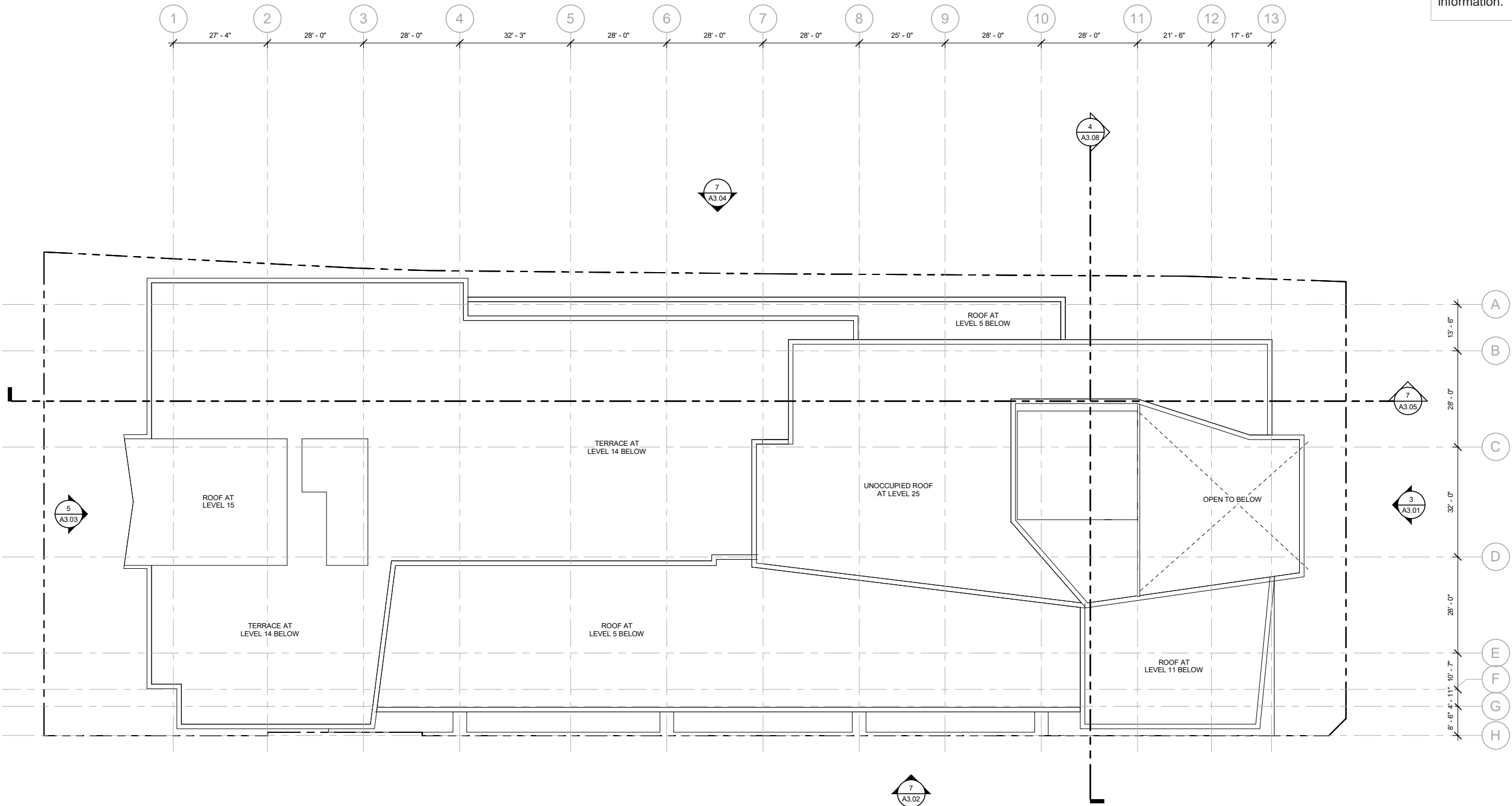
General Plan Notes

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2. Refer to Landscape Architect & Civil Drawings for additional information.



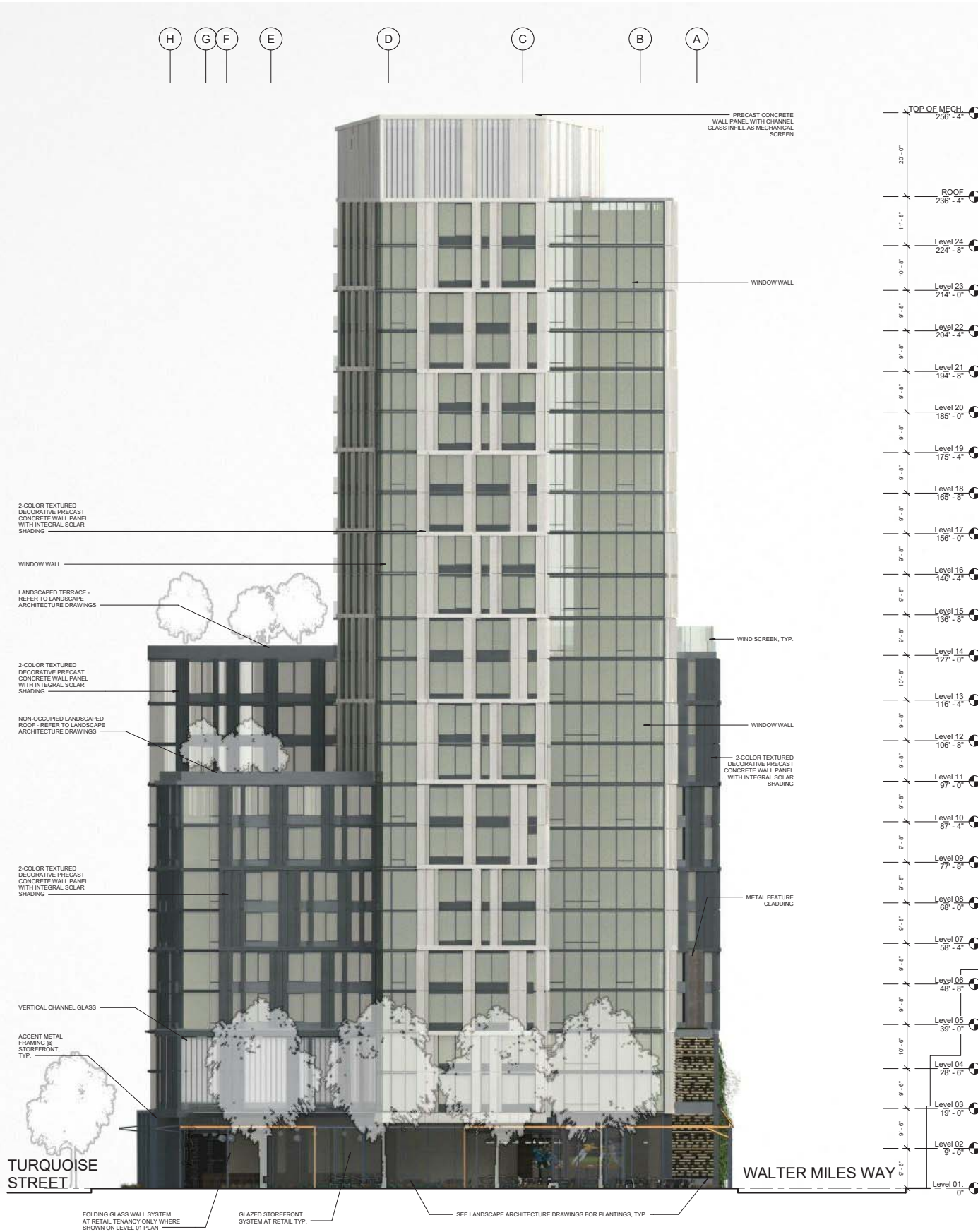
General Plan Notes

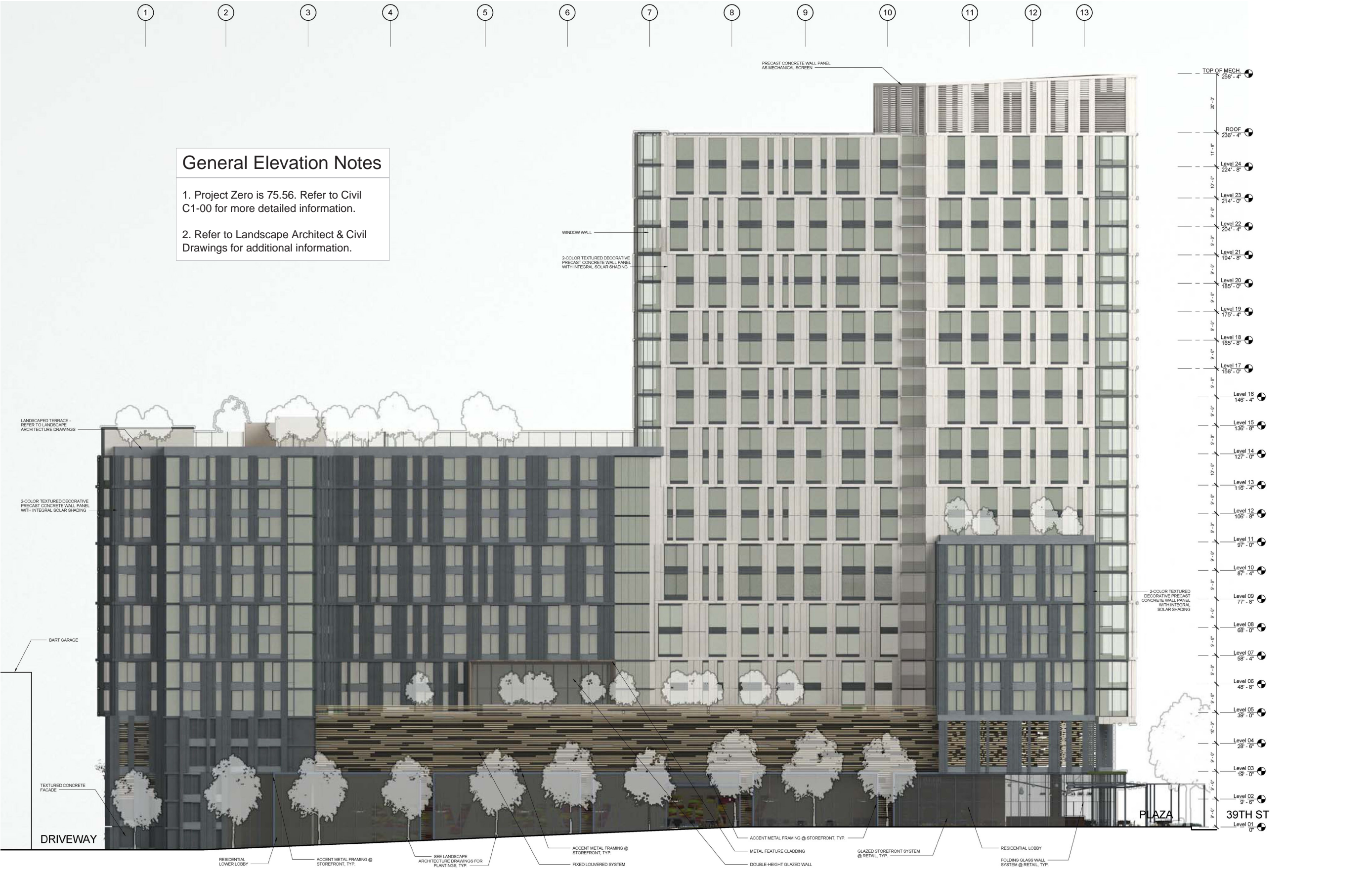
1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.



General Elevation Notes

- 1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
- 2. Refer to Landscape Architect & Civil Drawings for additional information.





General Elevation Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.

East Elevation

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

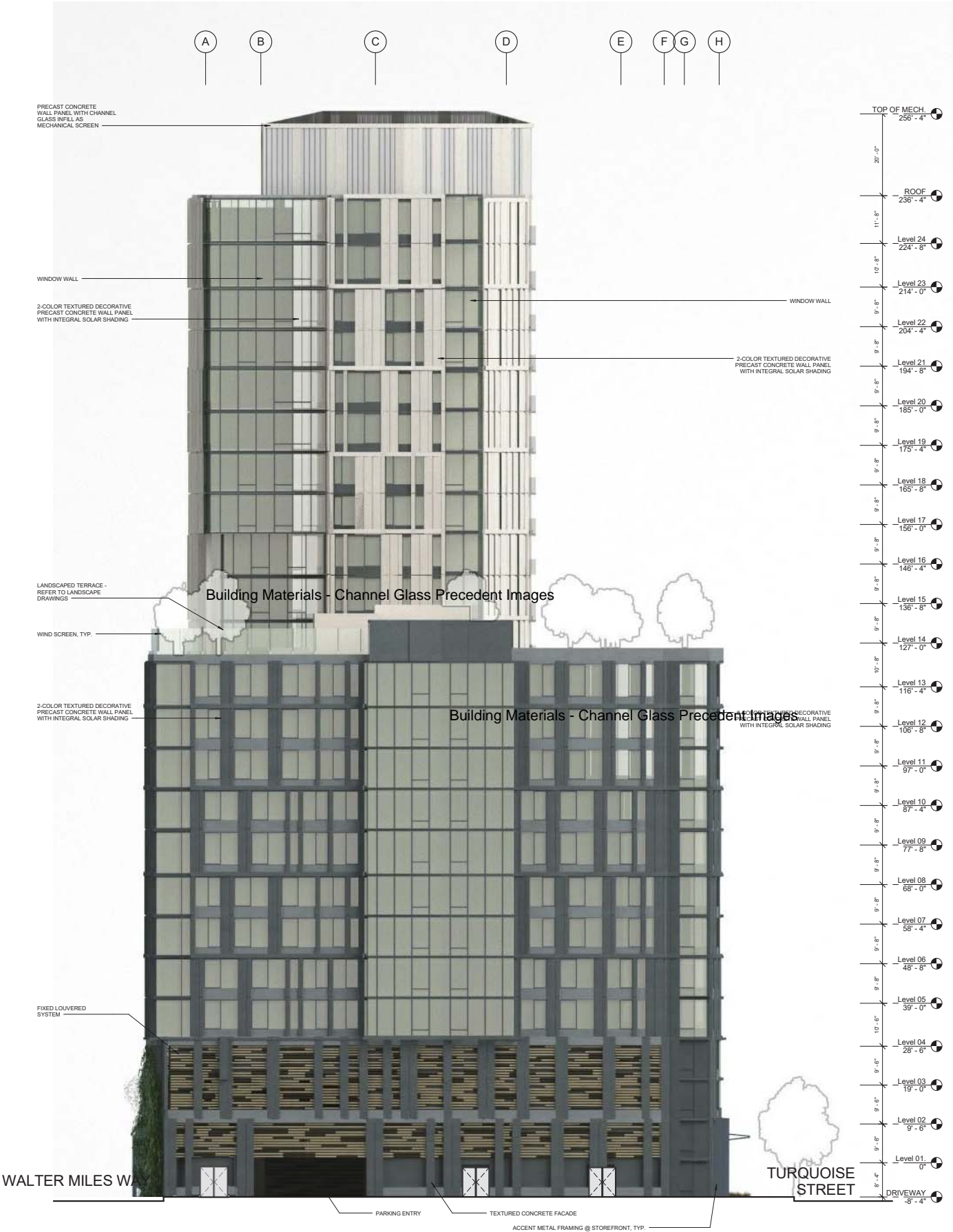
11 - 23 - 2016

2016010

0 16 32

General Elevation Notes

- 1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
- 2. Refer to Landscape Architect & Civil Drawings for additional information.





General Elevation Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.

2. Refer to Landscape Architect & Civil Drawings for additional information.

West Elevation

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

11 - 23 - 2016

2016010

0 16 32

A3-04

General Section Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.

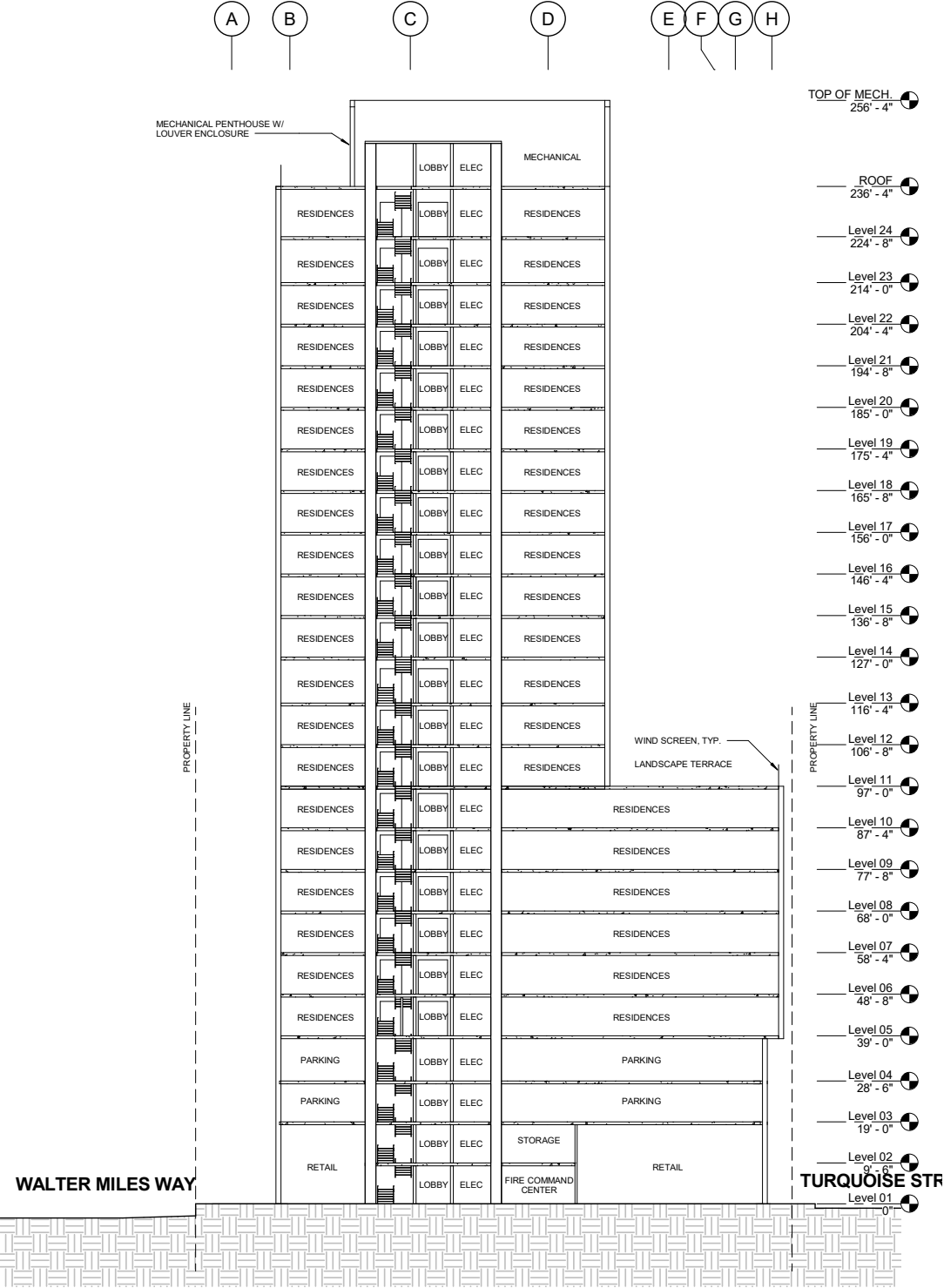
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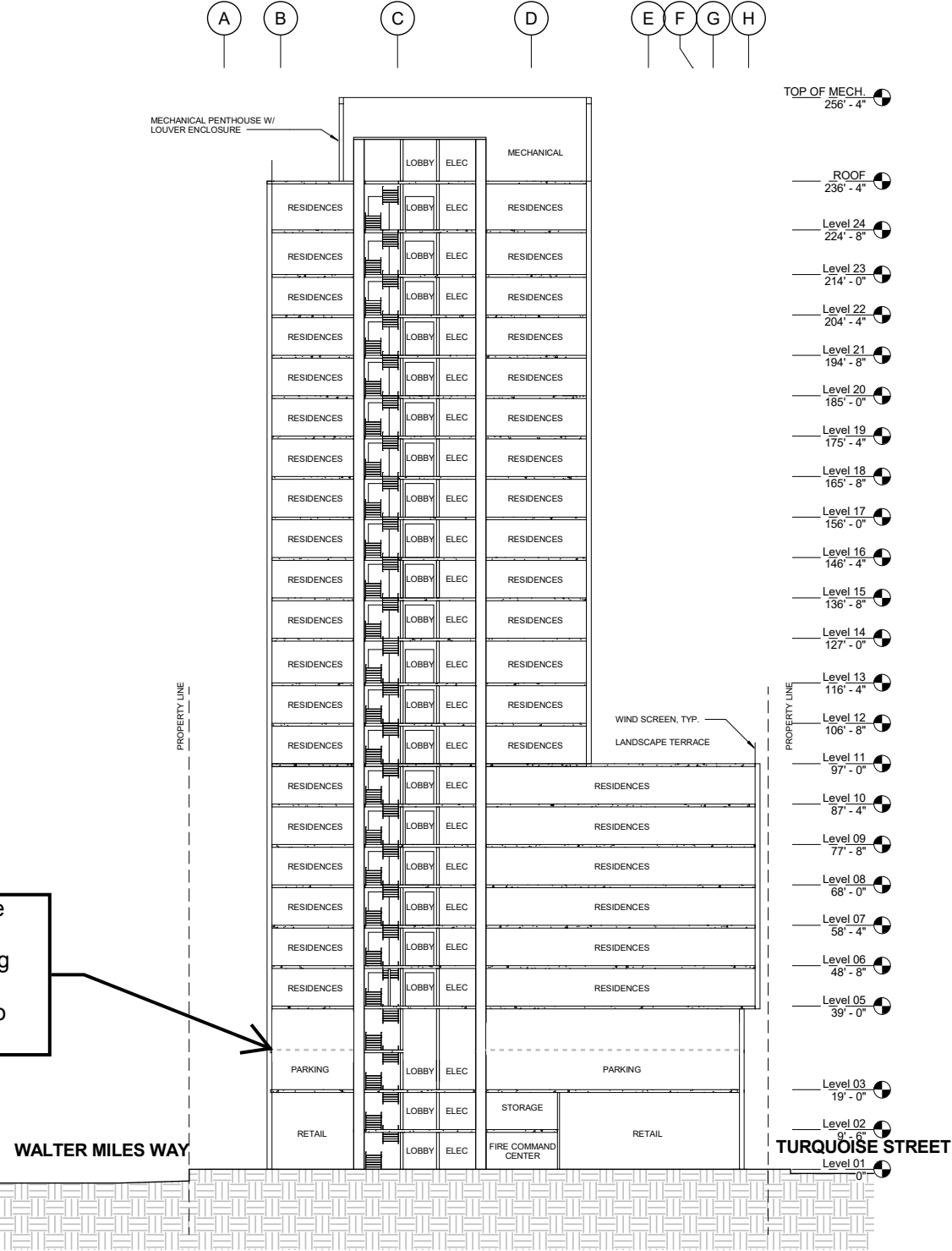
General Section Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.

2. Refer to Landscape Architect & Civil Drawings for additional information.



Option to eliminate one level of parking, whilst maintaining the building volume, reducing the overall parking count to 160 spaces.



FLR. ELEV.	F/F	F/F	DWELLING UNITS								Amenity	Circulation	UNIT	RES	RETAIL SPACE GSF	PARKING		FLOOR	FLOOR		
			UNIT TYPE BATH #	440	550	725	900	950	1,800	1,200	Spaces	& BOH	NSF	GSF		EFF	SPACES	GSF	AREA GSF	AREA (PLANNING)	
				St 1	Jr1bd 1	1bd 1	2bd 2	2bd 2	3bd 4	3bd 2	GSF	GSF									
+236.4			Roof									4,180	0	4,180	n/a			4,180	4,180		
+224.7	11.67	11'-8"	24	9		2	3	3	1			1,930	8,820	10,750	82.0%			10,750	10,750		
+214.1	10.67	10'-8"	23	9		2	3	3	1			1,930	8,820	10,750	82.0%			10,750	10,750		
+204.4	9.67	9'-8"	22	10		2	4	4				1,930	8,820	10,750	82.0%			10,750	10,750		
+194.7	9.67	9'-8"	21	10		2	4	4				1,930	8,820	10,750	82.0%			10,750	10,750		
+185.1	9.67	9'-8"	20	10		2	4	4				1,930	8,820	10,750	82.0%			10,750	10,750		
+175.4	9.67	9'-8"	19	10		2	4	4				1,930	8,820	10,750	82.0%			10,750	10,750		
+165.7	9.67	9'-8"	18	10		2	4	4				1,930	8,820	10,750	82.0%			10,750	10,750		
+156.0	9.67	9'-8"	17	10		2	4	4				1,930	8,820	10,750	82.0%			10,750	10,750		
+146.4	9.67	9'-8"	16	10		2	4	4				1,930	8,820	10,750	82.0%			10,750	10,750		
+136.7	9.67	9'-8"	15	9		2	4	3				1,930	7,820	9,750	80.2%			9,750	9,750		
+127.0	9.67	9'-8"	14	9		2	4	3			800	1,930	7,820	10,550	74.1%			10,550	10,550		
+116.4	10.67	10'-8"	13	32	4	7	6	9	6			4,575	24,000	28,575	84.0%			28,575	28,575		
+106.7	9.67	9'-8"	12	32	4	7	6	9	6			4,575	24,000	28,575	84.0%			28,575	28,575		
+97.0	9.67	9'-8"	11	32	4	7	6	9	6			4,575	24,000	28,575	84.0%			28,575	28,575		
+87.4	9.67	9'-8"	10	35	4	8	9	8	5	1		4,800	26,200	31,000	84.5%			31,000	31,000		
+77.7	9.67	9'-8"	9	35	4	8	9	8	5	1		4,800	26,200	31,000	84.5%			31,000	31,000		
+68.0	9.67	9'-8"	8	37	8	8	9	6	5	1		4,800	26,200	31,000	84.5%			31,000	31,000		
+58.3	9.67	9'-8"	7	37	8	8	9	6	5	1		4,800	26,200	31,000	84.5%			31,000	31,000		
+48.7	9.67	9'-8"	6	28	4	5	7	6	5	1		4,800	20,000	24,800	80.6%			24,800	24,800		
+39.0	9.67	9'-8"	5	28	4	5	7	6	5	1	6,200	4,800	20,000	31,000	64.5%			31,000	31,000		
+28.5	10.50	10'-6"	4	-										800	n/a		81	32,000	32,800	800	
+19.0	9.50	9'-6"	3	-										800	n/a		102	39,000	39,800	800	
+9.5	9.50	9'-6"	2	-										1,340	n/a		64	29,000	30,340	1,340	
+0.00	9.50	9'-6"	1	-										13,000	n/a	12,660	15	14,540	40,200	25,660	
				402	44	63	90	109	88	2	6	7,000	67,935	311,820	402,695		12,660	262	114,540	529,895	415,355
				TOTAL UNITS	St	Jr1bd	1bd	2bd	2bd	3bd	3bd			NSF	GSF			SPACES	GSF	GSF	GSF

MacArthur Transit Village - BMR Calculation

Parcel	Market Rate Units	Affordable Units	Total
A&C	371	12	383
B	357	45	402
Mural	0	90	90
Total	728	147	875

% affordable for entire site* 20.19%

*reference Section 1.1.20 in the OPA which requires at least 20% of market-rate units be below-market rate

RESIDENTIAL TOWER



HIGH~RISE MAIN BODY
TEXTURED CONCRETE
'DUNE'



HIGH~RISE ACCENT
TEXTURED CONCRETE
'SILVERSMOKE'



MID~RISE MAIN BODY
CONCRETE
'CHARCOAL GREY'



MID~RISE ACCENT
TEXTURED CONCRETE
'SILVERSMOKE'



FEATURE CLADDING
WEATHERED METAL

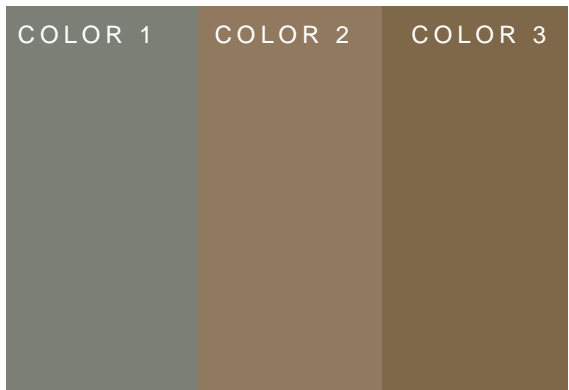


GLAZING
HIGH PERFORMANCE
INSULATED GLAZING
UNIT - LIGHT GREEN

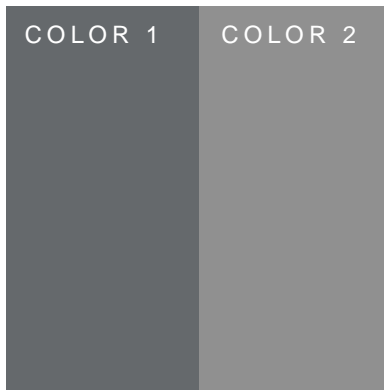
RETAIL/PARKING PODIUM



RETAIL ACCENT
WEATHERED METAL



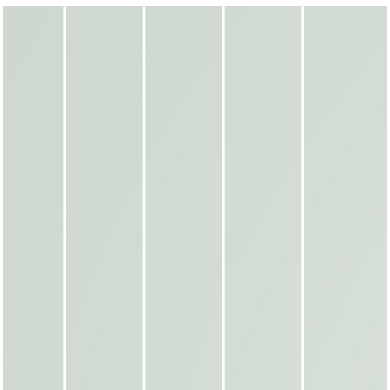
METAL PARKING SCREEN ELEMENTS



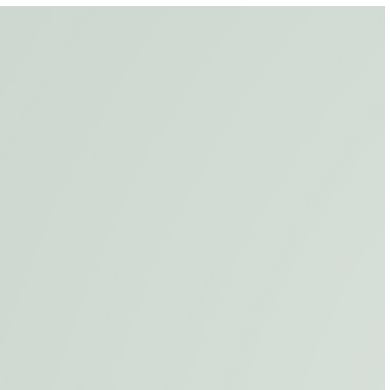
MISCELLANEOUS METAL



PODIUM SOUTH / WEST
TEXTURED CONCRETE



GLAZING
CHANNEL GLASS
PARKING &
MECHANICAL SCREEN

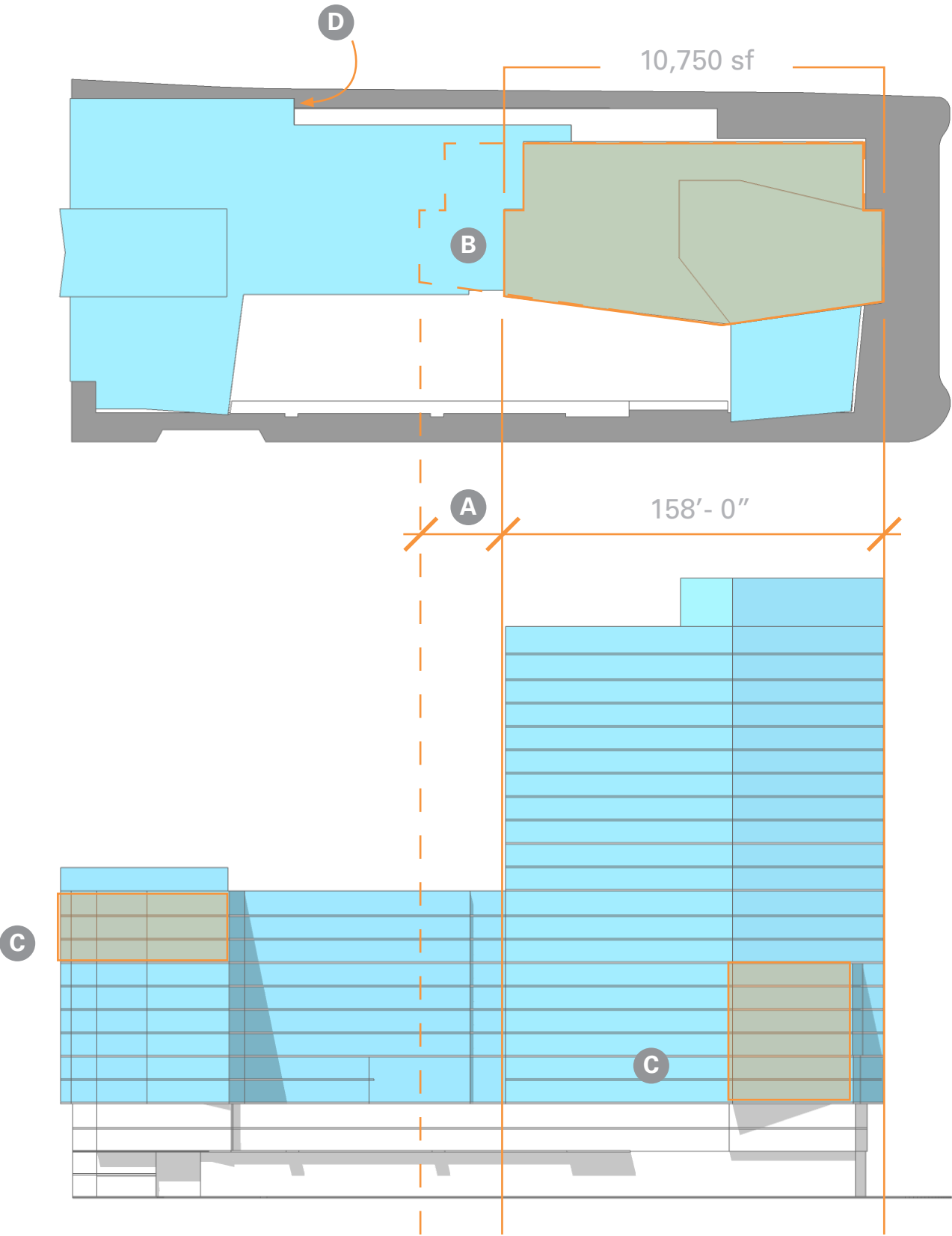
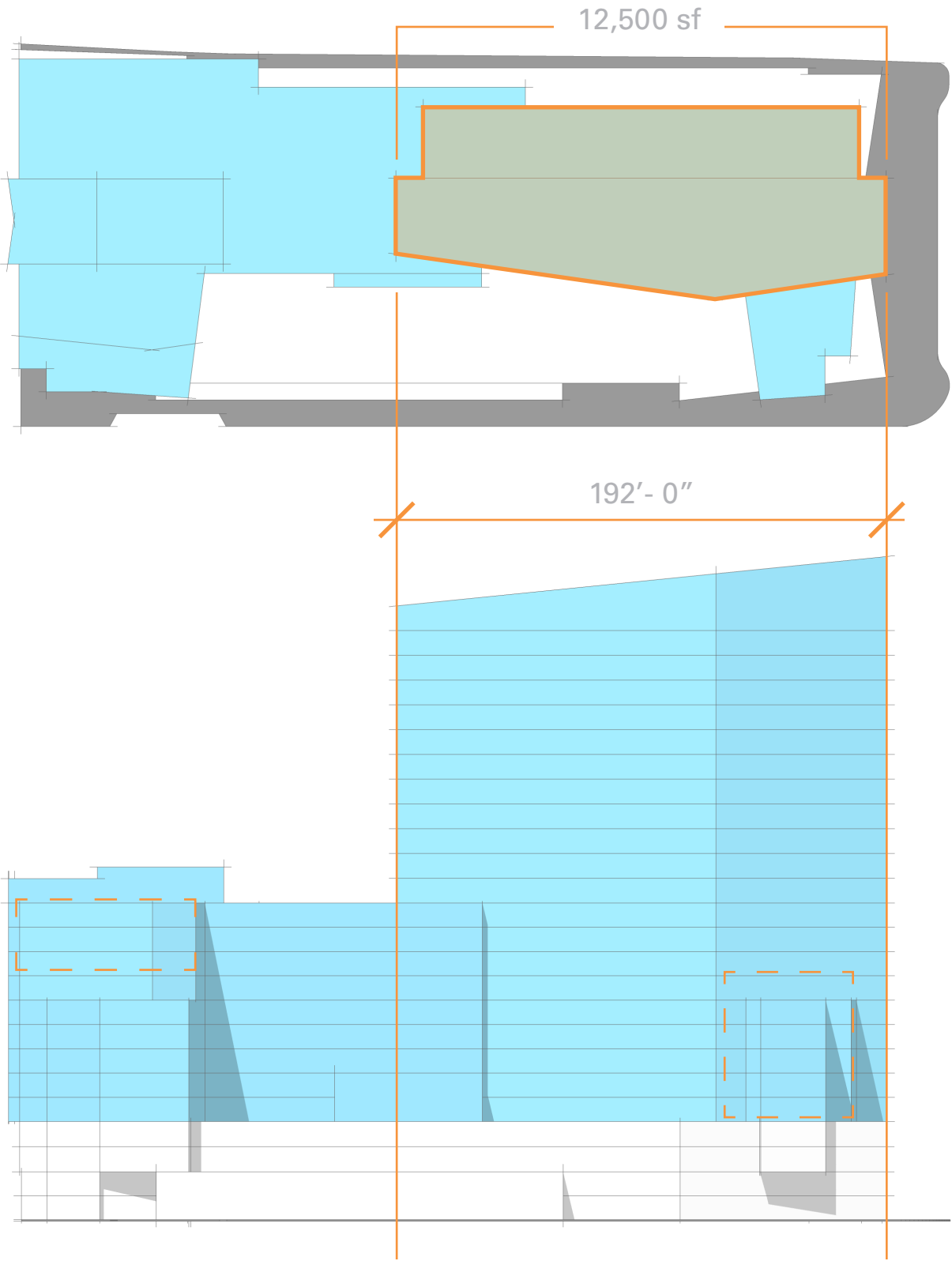


GLAZING
LAMINATED GLAZING
CLEAR



APPENDIX A - MASSING UPDATE

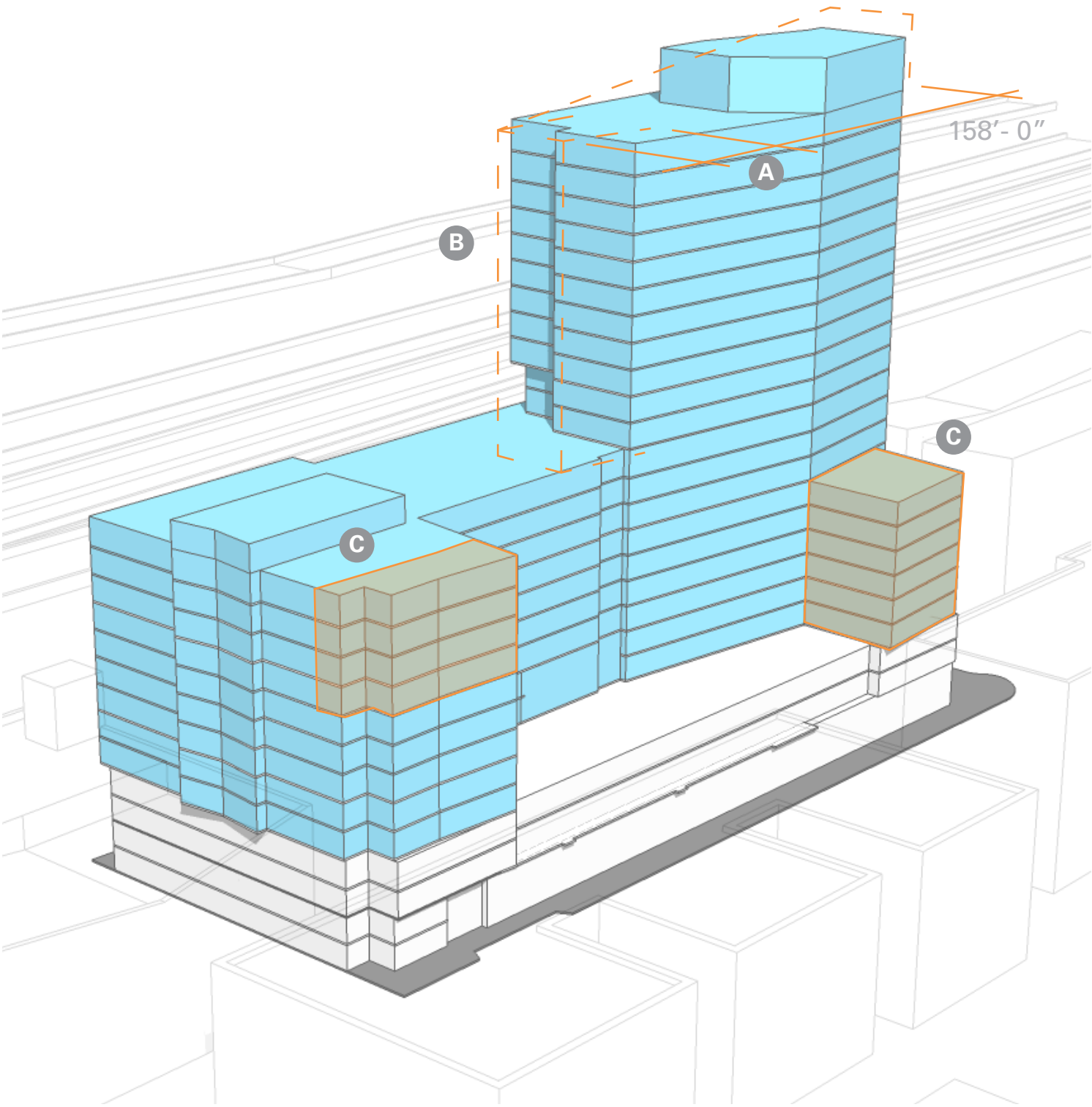
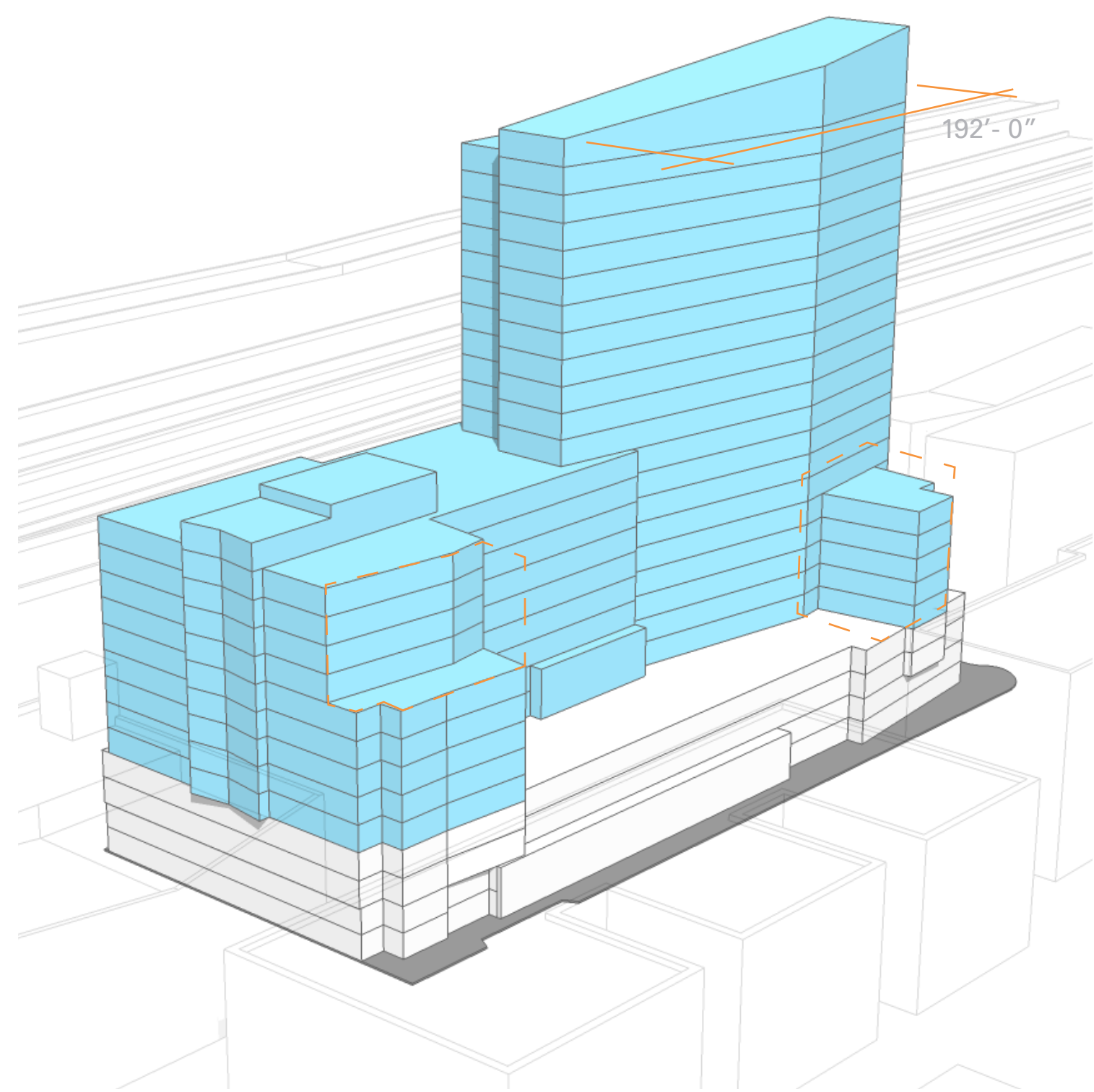
- A TOWER LENGTH REDUCED BY 40' FROM 192' TO 158'
- B TOWER FLOORPLATE REDUCED FROM 12,500SF TO APPROX 10,750SF
- C RESIDUAL TOWER VOLUME REDUCTION REDISTRUBUTED TO PODIUM WINGS
- D PODIUM PULLED BACK AT WALTER MILES WAY TO CREATE SIDEWALK



ORIGINAL FDP (& DRC)

12/01/2016

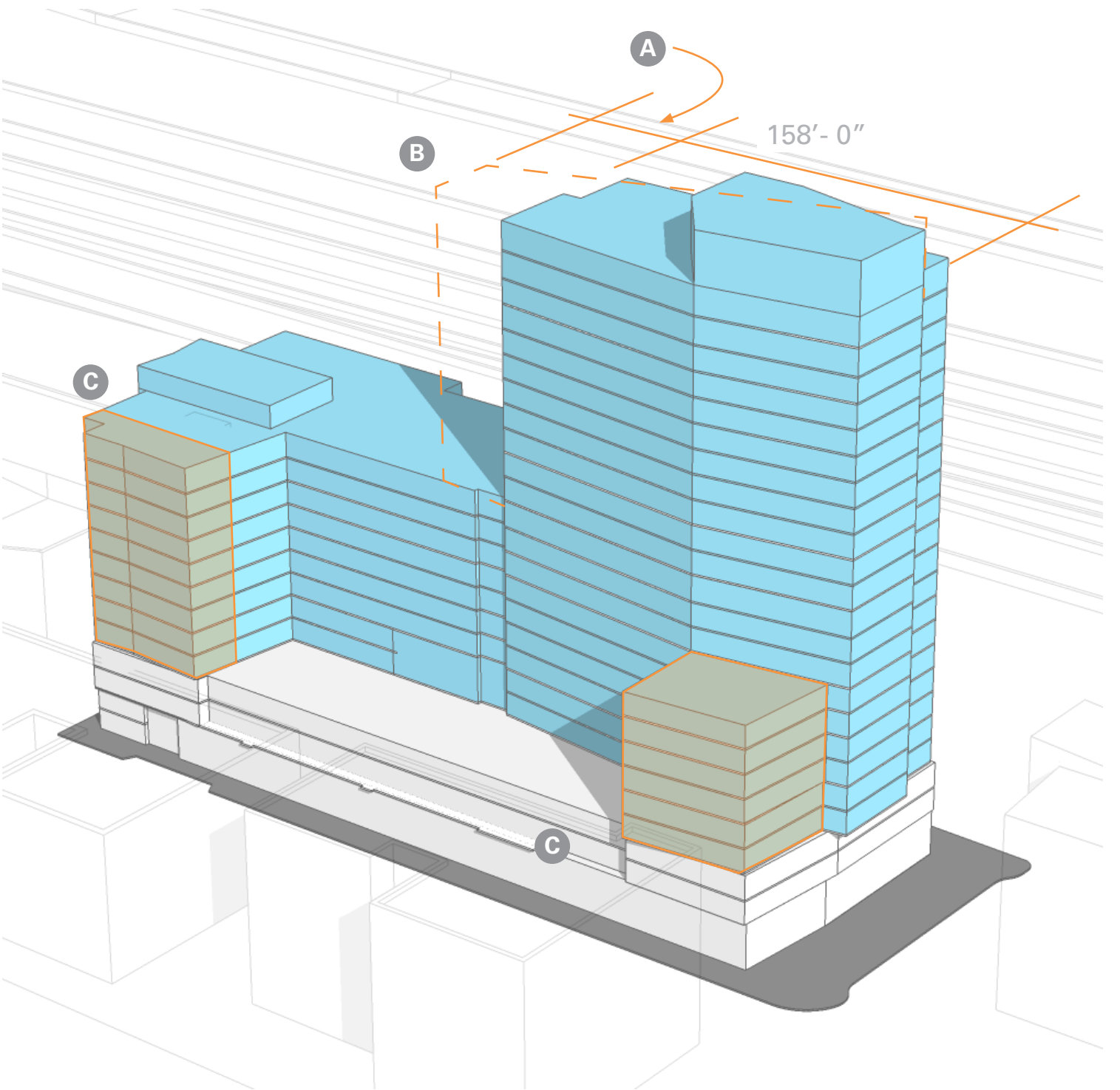
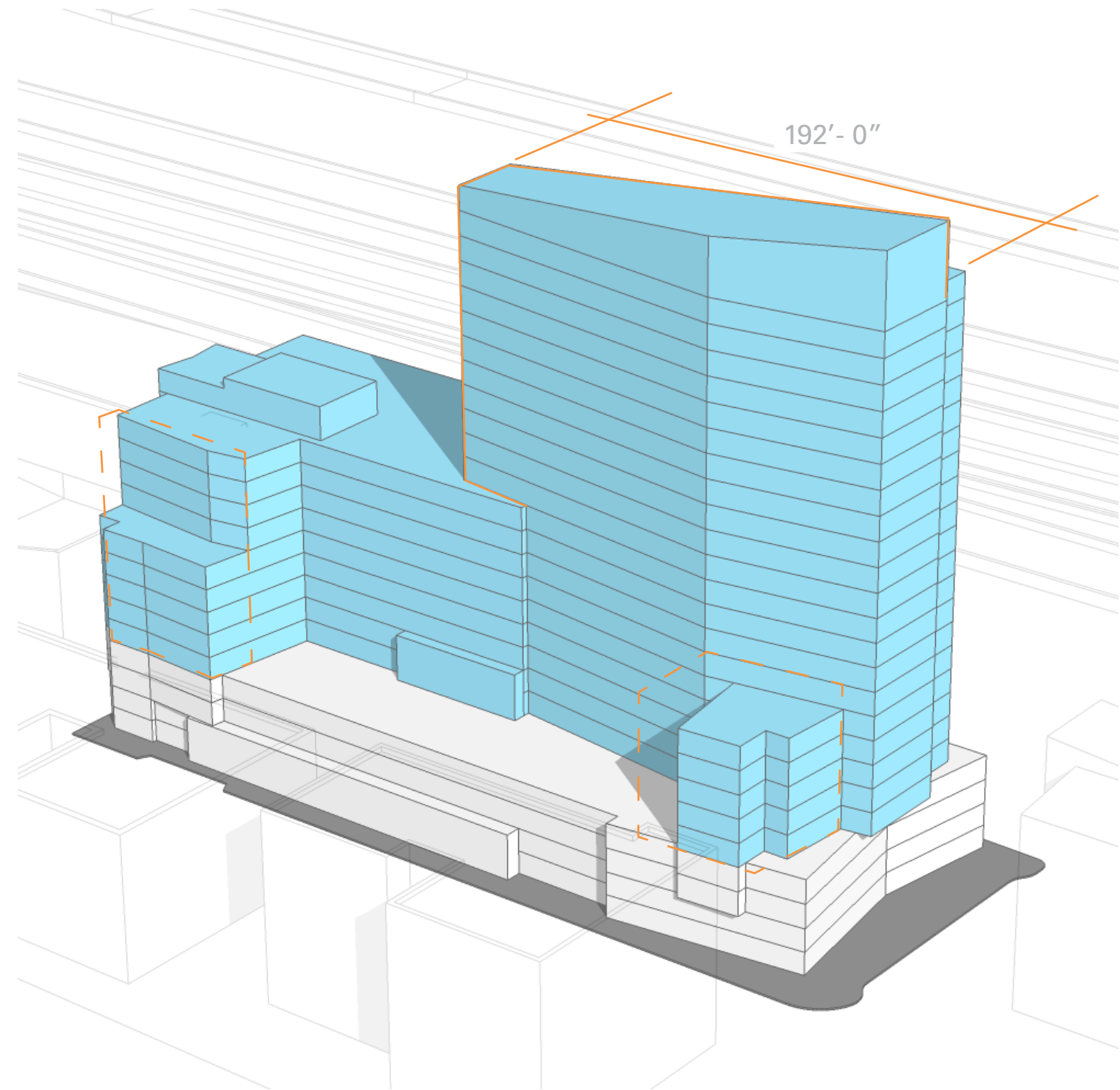
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ORIGINAL FDP (& DRC)

12/01/2016

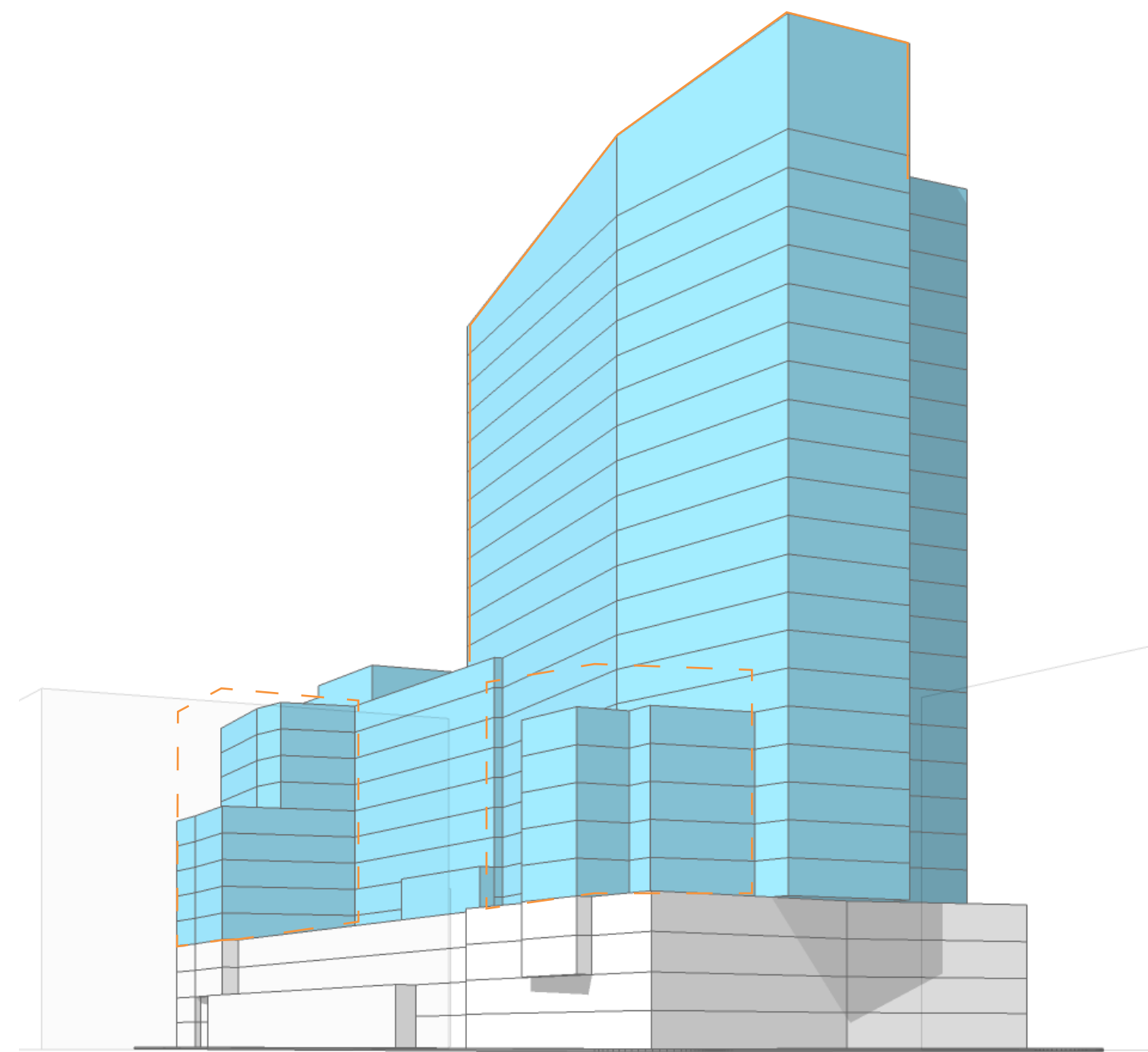
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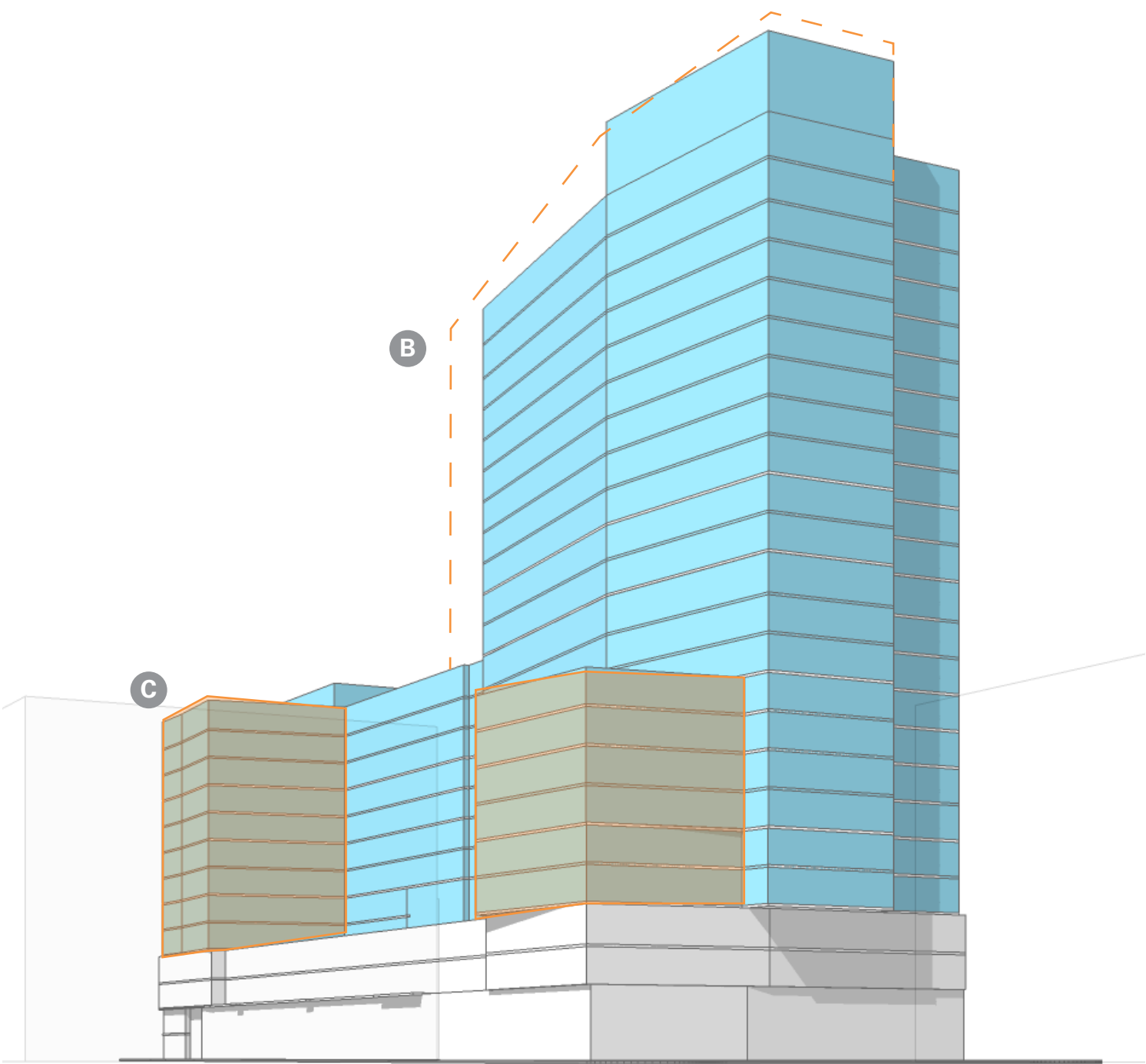
ORIGINAL FDP (& DRC)

12/01/2016

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ORIGINAL FDP (& DRC)



12/01/2016

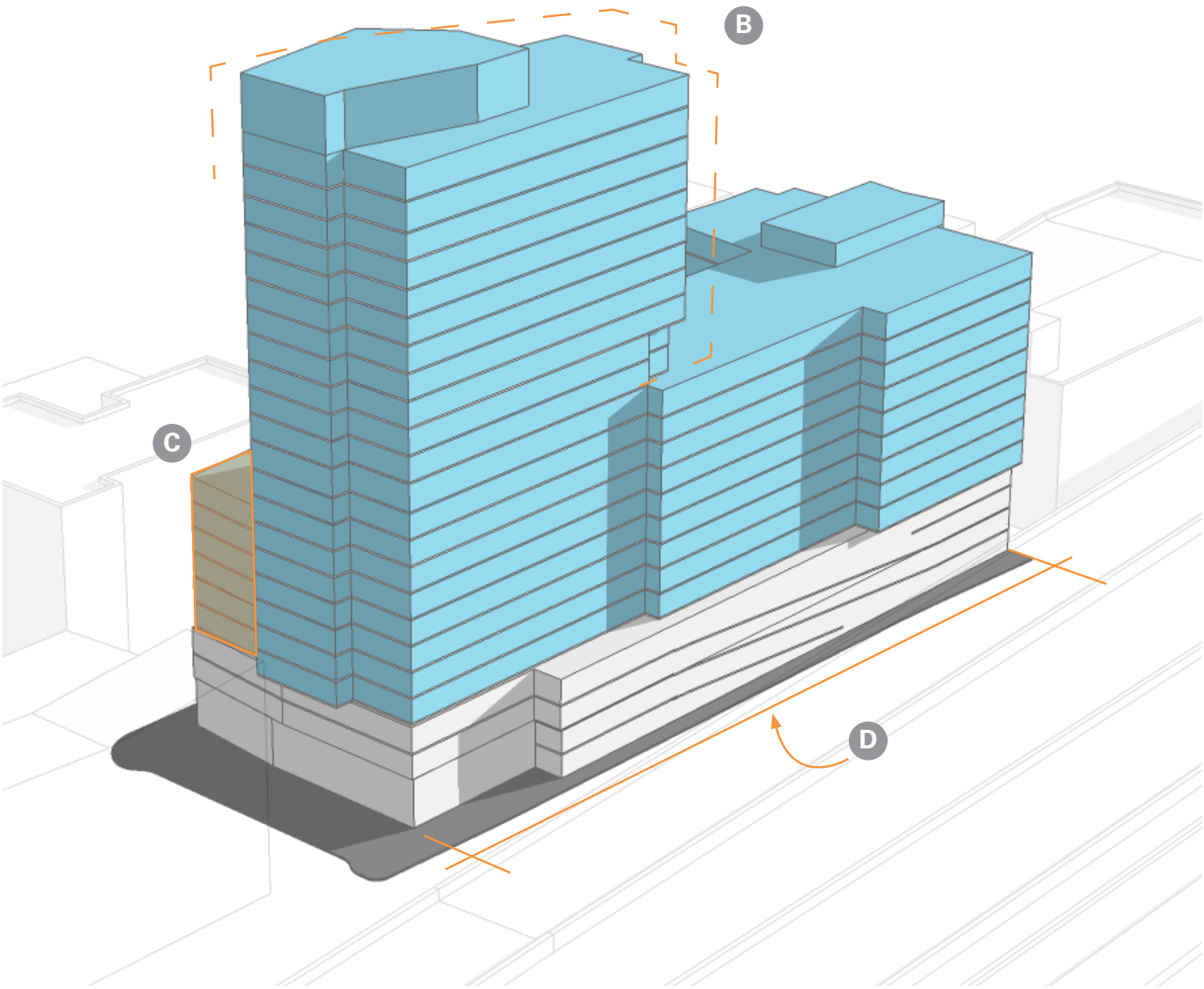
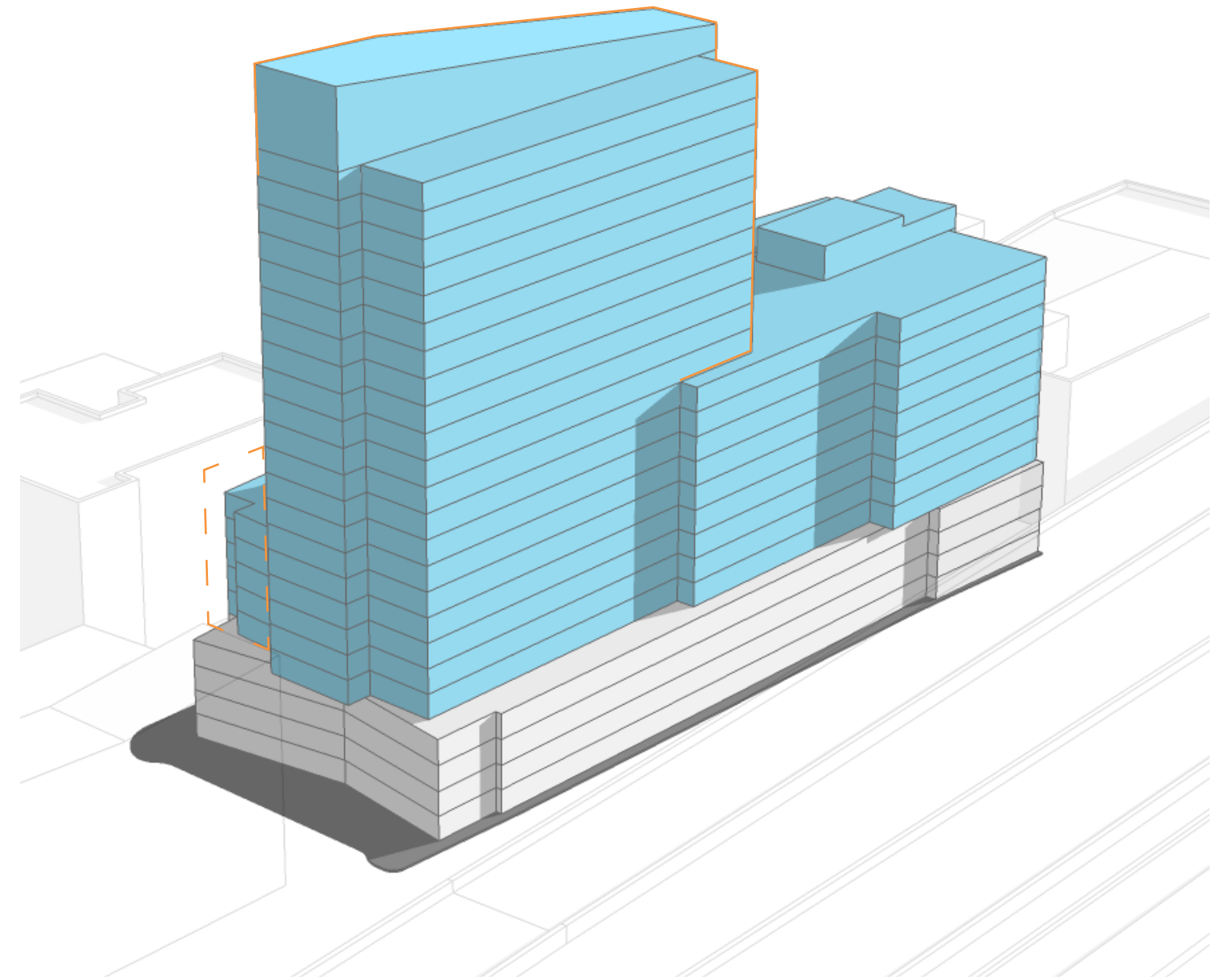
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ORIGINAL FDP (& DRC)

12/01/2016



DESIGN FOR A CHANGING WORLD

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