

# CITY OF OAKLAND



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Planning and Building Department

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## Memorandum

**To: City of Oakland Planning Commission, Design Review Committee**

**Cc: Catherine Payne, Secretary to the Design Review Committee**

**From: Mike Rivera, Planner II**

**Date: August 28, 2019**

**Re: 801 Pine St. Case File PLN18252. Final Development Plan (FDP) for Phase 1.  
Supportive Housing & Office. Design Update per Condition of Approval #15.**

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### SUMMARY

On December 19, 2018, the Planning Commission approved a Planned Unit Development project (PUD) for a five-phase development plan consisting of a total of 316 residential units, 7,500 square feet of office space, and 27,500 square feet of light industrial uses including a rear 136 space parking lot on a vacant parcel in West Oakland. The approval also included a Final Development Plan (FDP) for Phase 1, a multi-story residential and commercial facility of 101 supportive and affordable residential units including an attached two-story office building to administer the supportive housing activity.

The approved FDP for Phase 1 would be located on Parcel 1, a corner lot at the intersection of Pine and Shorey Streets. The project is required to comply with Standard Condition of Approval (SCA) #15, which reads: *“The Phase 1 FDP shall be subject to review by the Design Review Committee following approval by the Planning Commission to resolve design issues identified in the Planning Commission staff report and any other design issues identified by the Planning Commission at the time of Phase 1 FDP approval”*. Per SCA #15, the applicant is required to obtain Design Review Committee (DRC) approval that resolves the lack of building articulation on the east façade of Building 1. The Planning Commission also agreed that further design improvements were necessary to provide consistency with the scale and rhythm of the residential buildings along Pine Street.

On August 21, 2019, the applicant submitted revisions of the building east facade with the intent to address SCA #15.

## DESIGN REVISIONS

The following discussion describes the changes to the project in order to comply with the SCA #15, followed by staff analysis.

### Two-Story Administrative Office Building

#### *Project Change-*

- The front entry door was pushed forward 5 feet closer to the streetline.
- The front double-swing entry door was replaced with a triple-track door.
- The stucco frame above the blue bays have been recessed by 8 inches.

#### *Project Analysis-*

Staff believes that these revisions are an improvement to the two-story office building that would provide a better scale and articulation to the east facade. Staff, however, believes that some of the windows facing Pine Street contain different styles that include hung and sliding windows. The combination of these windows provides a lack of consistency, and would not create a cohesive building composition.

#### Recommendation 1

Staff recommends that the applicant utilize single-hung or casement windows to improve and create a visually pleasing design on the east building facades.

### Three-Story Residential Building- East Facade

#### *Project Change-*

The applicant states that no further articulation can be made on the east side of the three-story building wall facing Pine Street. The applicant further claims that these modular residential units have been already built, and there is minimal area to even create new smaller windows. To provide massing relief on the building east facade wall, the applicant proposes the following language as a condition:

- *The applicant shall utilize the east façade of the three-story building as an opportunity for public art installation. The art installation will provide for some depth or dimension to create additional massing relief and visual interest to the façade. Applicant will follow the City of Oakland's Public Art for Private Development guidelines for submission and review of the art installation. The design package will be included with the building permit application and will be approved by the Public Art Coordinator prior to the issuance of building permits. The cost of the installation shall count towards the project's Public Art of Private Development requirements as defined in City Municipal Code Chapter 15.78*

*Project Analysis-*

Staff believes that the applicant's proposed condition is already a Public Art Standard Condition of Approval that applies to this approved project, and that the Public Art regulation is a separate process that is managed by the Public Arts Advisory Committee. Furthermore, the 4.65-acre size property which is also surrounded by three public streets provides the applicant with an opportunity for alternative locations to install the required public art.

Recommendation 2

Staff believes that in order to address the building mass and provide articulation on the east façade, the applicant should consider using other design techniques such as installing dimensional texture materials that could soften and provide visual relief to the blank wall of the building, or rely on three-dimensional art separate and above the requirements of the Public Art Standard Condition of Approval.

**STAFF RECOMMENDATIONS**

Staff recommends the Design Review Committee direct the applicant to comply with SCA #15, and the Planning Commission's original decision, as follows:

Recommendation 1

The applicant shall utilize single-hung or casement windows to improve and create a visually pleasing design on the east building facades.

Recommendation 2

In order to address the building mass and provide articulation on the east façade, the applicant should consider installing dimensional texture materials that could soften and provide visual relief to the blank wall of the building, or rely on introducing three-dimensional art in front of the wall, separate and beyond the requirements of the Public Art Standard Condition of Approval

**ATTACHMENTS**

- A. Revised Design Plans, submitted on August 21, 2019
- B. Original Approved Plans, December 2018 (partial sheets)

# **ATTACHMENT A**

Revised Design Plans  
Received August 21, 2019



### ZONING DATA

	LOT AREA (SF)	UNITS ALLOWED PER ZONING	UNITS PROPOSED BY PROJECT	PHASE 1 PERCENT COMPLETE	UNITS IN REMAINING PHASES
CIX-1B/S-19 *	119,129 SF	367	188	32%	215
HBX-4	58,427 SF	74	129		
TOTAL	169,529 SF	441	317		

TOTAL UNITS FOR PHASE 1 = 101  
 CIX-1B/S-19 (HBX-4 EXPANSION OF USE AREA) = 69 UNITS  
 HBX-4 = 32 UNITS

\* INCLUDES ONLY THE 200 FOOT EXPANSION OF USE AREA

NOTE: CIX-1B DENSITY BASED ON ALLOWABLE FAR OF 2.0 AND ESTIMATED AVERAGE MULTIFAMILY UNIT SIZE IN OAKLAND OF 650 SF. SEE PHOENIX PROJECT RESIDENTIAL DENSITY AND CONCESSIONS/ WAIVERS MEMO

### ALLOWABLE AREA CALCULATION

ALLOWABLE AREA CALCULATIONS (PER CBC SECTION 506)

AREA INCREASE FACTOR DUE TO FRONTAGE (If)  
 $W = L1 \times W1 + L2 \times W2 + L3 \times W3 / F$

$W = (50 \times 30 + 55 \times 30 + 166 \times 30) / 271$

$W = 30$

If = (F/P - 0.25) W/30

If = (271/601 - 0.25) 30/30

If = 0.20

BUILDING AREA (CBC 506.2)  
 SINGLE OCCUPANCY MULTISTORY BUILDING  
 $Aa = (A1 + (NS \times If)) \times Sa$

$Aa = [36,000 + (12,000 \times 0.20)] \times 2$

$Aa = [36,000 + (2400)] \times 2$

$Aa = 76,800$

FULLY SPRINKLERED IN ACCORDANCE WITH 2016 CBC 903.3.1.1  
 TABULAR ALLOWABLE AREA FACTOR IN ACCORDANCE WITH TABLE 506.2 (A) = 36,000

### PARKING & OPEN SPACE

LONG TERM BICYCLE PARKING: 75 IN ADMIN BLDG

SHORT TERM BICYCLE PARKING: 6

RESIDENTIAL PARKING: 5 ON STREET

OPEN SPACE: 3,582 SF

### PROJECT DATA

#### BUILDING INFORMATION

BUILDING ADDRESS: 801 PINE STREET, OAKLAND CA  
 NUMBER OF STORIES: 4  
 ALLOWABLE AREA: 36,000 PER FLOOR  
 PROPOSED AREA: 53,168  
 ALLOWABLE HEIGHT: 70'-0"  
 PROPOSED HEIGHT: 59'-0"  
 CONSTRUCTION TYPE: TYPE V-A  
 SPRINKLERED: YES  
 OCCUPANCY CLASSIFICATION: R-2 & B

#### LOT AREA

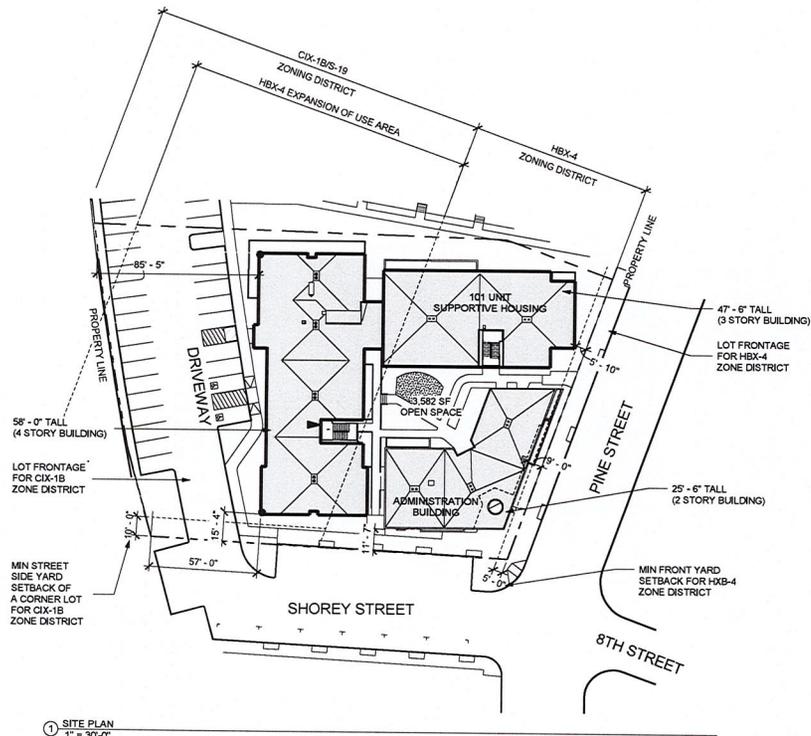
TOTAL 39,020 SF

#### ZONING INFORMATION

ASSESSOR'S PARCEL #: 006-0047-001-00  
 ZONING DISTRICT: CIX-1B/S-19 & HBX-4

#### UNIT TYPES

Unit	Count
1 BEDROOM	3
2 BEDROOM	16
STUDIO	82
TOTAL	101



### RECYCLING & GARBAGE SPACE ALLOCATION

RESIDENTIAL	REQUIRED	PROVIDED	NOTES
RECYCLING	1,413 SF GALLONS (2CF X 102 UNITS = 204 CF=7CY)	1,616 SF GALLONS (8 CY)	IN ADMIN BUILDING
GARBAGE	3,231 GALLONS (4.3CF X 102 UNITS= 439 CF = 16 CY)	3,131 SF GALLONS (16 CY)	IN ADMIN BUILDING
COMMERCIAL	REQUIRED	PROVIDED	NOTES
RECYCLING	75 GALLONS (2CF/1,000 SF X 4,819 SF = 10CF)	96 GALLONS (1 X 96 GALLON TOWER CART)	
GARBAGE		404 GALLONS (2 CY)	

### AREA CALCULATIONS

#### RESIDENTIAL BUILDING GROSS AREA

OCCUPANCY PER CBC 302	PROPOSED AREA
LEVEL 1	
R-2	12,060 SF
R-2 CIRCULATION	641 SF
LEVEL 2	
R-2	12,060 SF
R-2 CIRCULATION	641 SF
LEVEL 3	
R-2	12,060 SF
R-2 CIRCULATION	641 SF
LEVEL 4	
R-2	12,328 SF
R-2 CIRCULATION	409 SF
TOTAL	7,725 SF 45,828 SF

#### ADMIN BLDG GROSS AREA

Name	Area
LEVEL 1	
AMENITY	641 SF
BUSINESS	1,124 SF
CIRCULATION	1,381 SF
UTILITY	620 SF
LEVEL 2	
BUSINESS	3,075 SF
CIRCULATION	533 SF
TOTAL	7,314 SF

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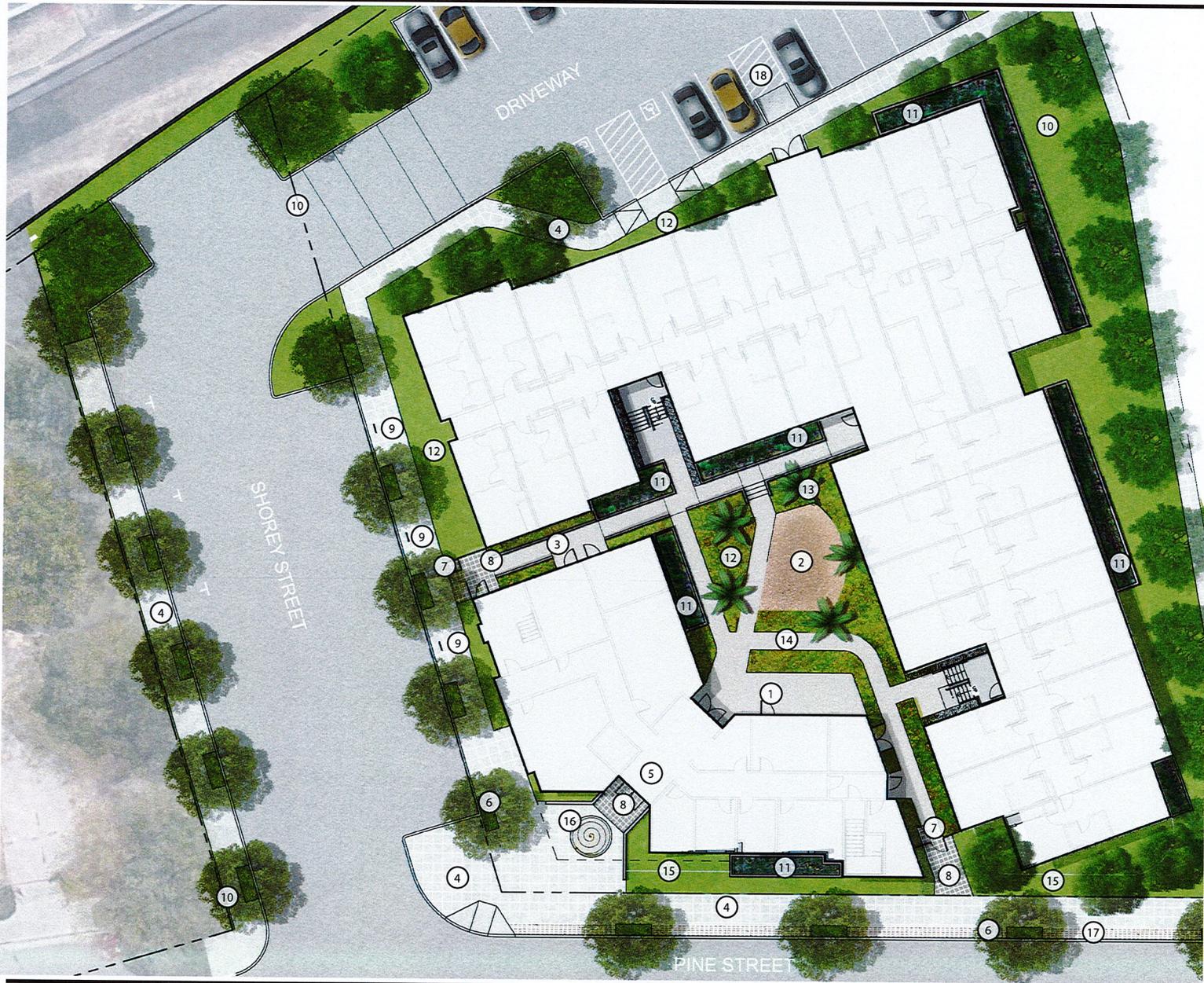
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05282019	05/28/2019	PLANNING RESUBMITTAL	MD
08282019	08/28/2019	DRG RESUBMITTAL	MD

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**PROJECT INFORMATION**

SHEET NUMBER  
**P0.1**

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- LEGEND**
1. Outdoor Terrace with Enhanced Paving
  2. Outdoor Area with Enhanced Paving
  3. Concrete Accessible Ramp
  4. Concrete Sidewalk Paving
  5. Building Access
  6. Street Tree in Tree Well
  7. Egress Exit Gate and Fence, See L3.01
  8. Concrete Paving with Saw Cut Joints
  9. Bicycle Rack (3 Racks, Total), See L3.01
  10. Property Line
  11. Flow Through Planter
  12. Planting Area
  13. Courtyard Trees
  14. Concrete Path
  15. Bermed Planting Area
  16. Feature Paving (Oculus Above)
  17. Enhanced Paving at Furnishing Zone
  18. Waste Management Service Access

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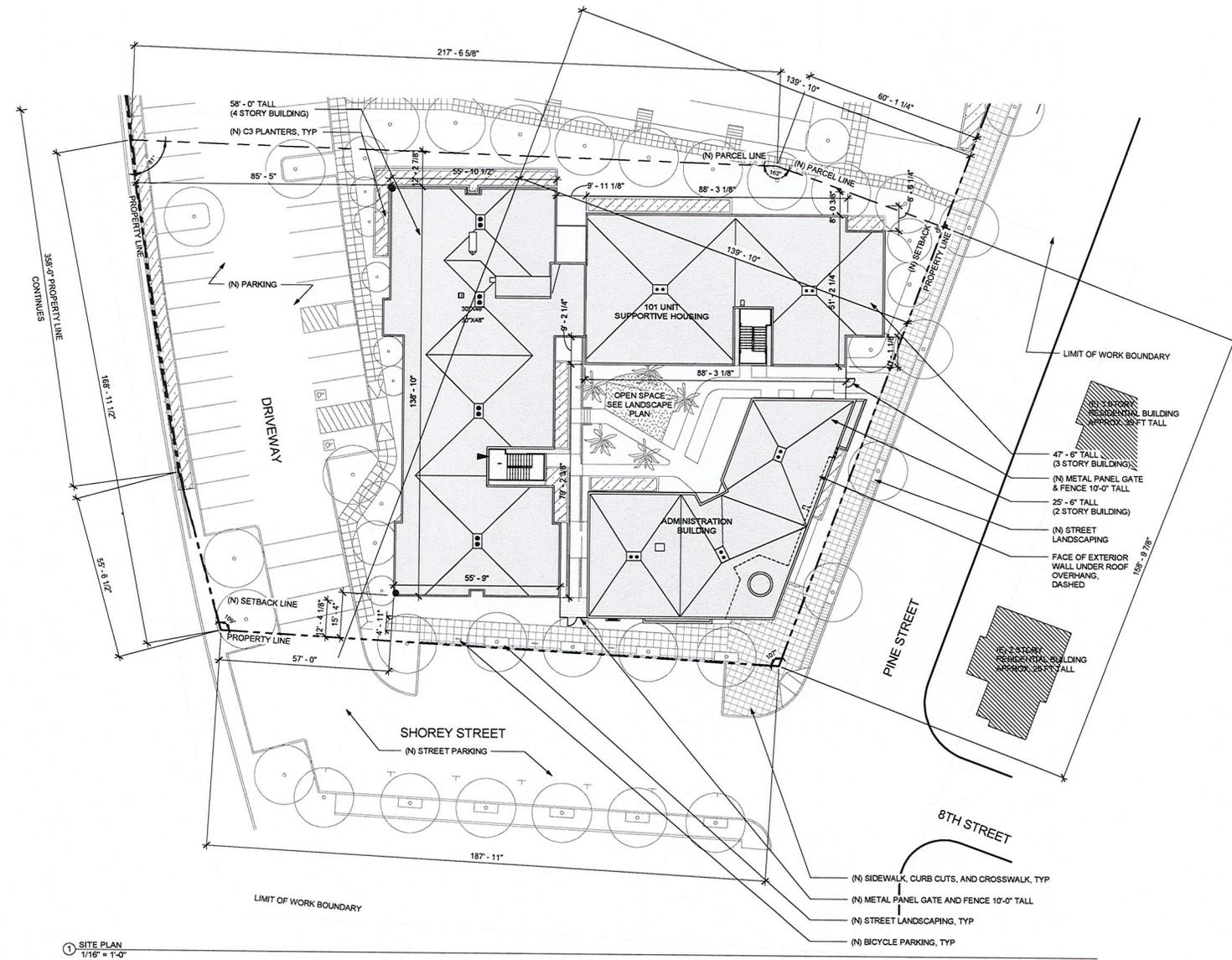
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 SHEET TITLE: **LANDSCAPE MATERIALS PLAN**

SHEET NUMBER **L1.01**

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**SHEET NOTES**

- OFF-SITE IMPROVEMENT TO INCLUDE NEW PARKING ON SHOREY STREET.
- SHOREY LANE EXTENSION TO BE A NEW ROAD FOR FIRE ACCESS AND PARKING.

**KEY NOTES**

- 1 PUBLIC ART WALL OPPORTUNITY

OPEN SPACE	
Name	Area
OPEN SPACE	3,562 SF



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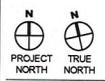
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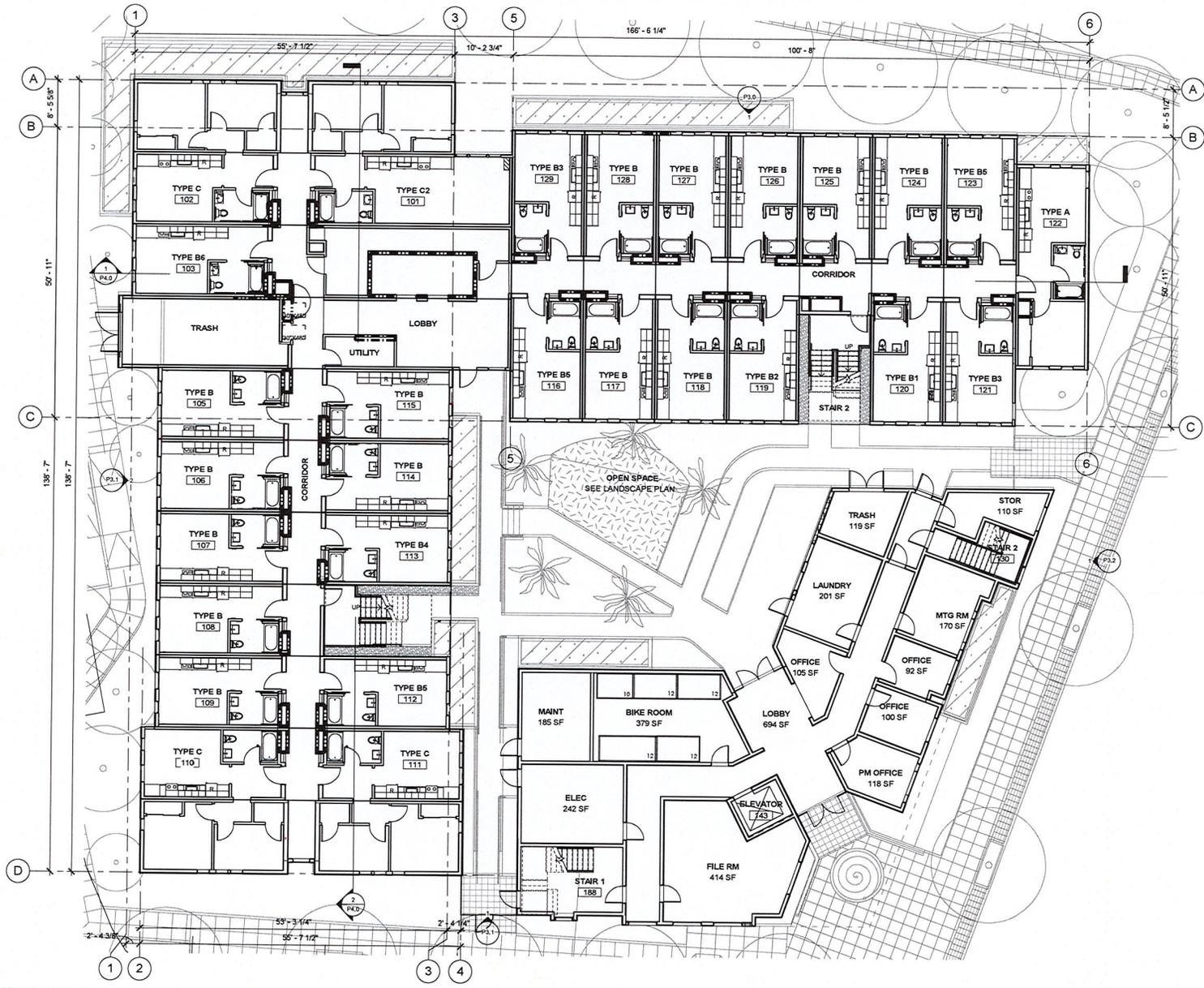
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SHEET NUMBER: **P1.0**

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8/22/2019 9:33:01 AM

1 SITE PLAN  
1/16" = 1'-0"



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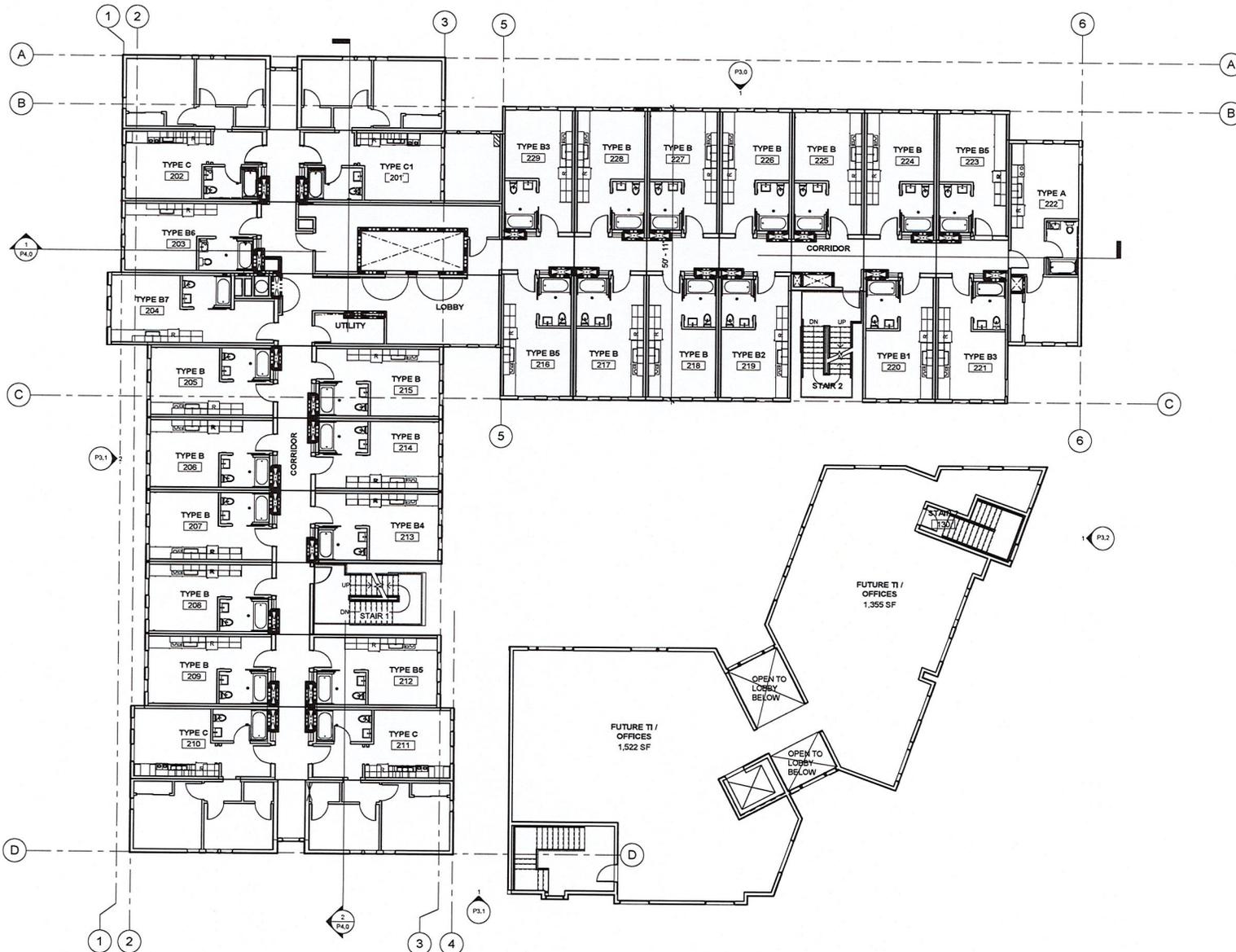
**GROUND FLOOR PLAN**

SHEET NUMBER **P2.1**

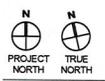
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1 GROUND FLOOR PLAN  
1/8" = 1'-0"



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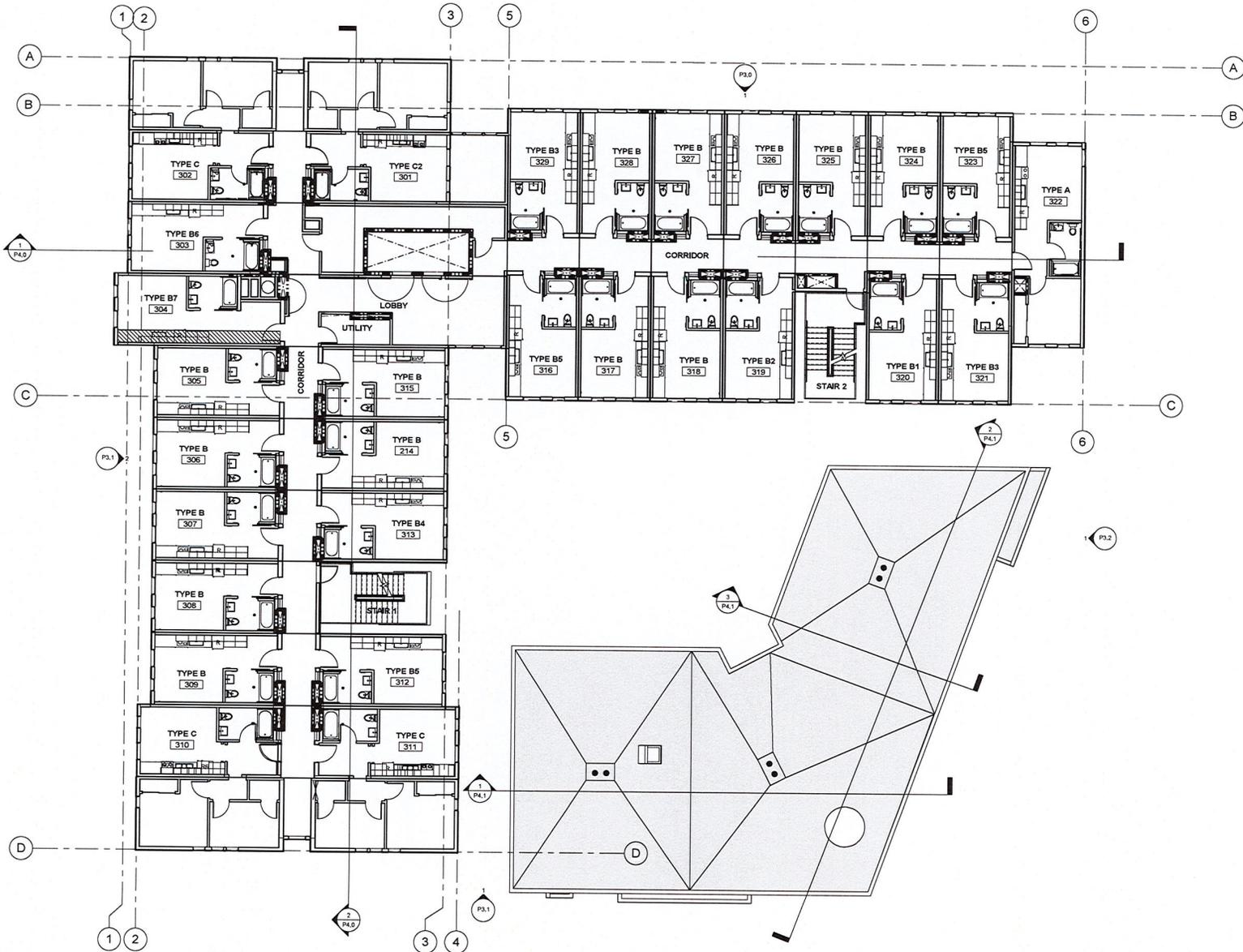
**SECOND LEVEL PLAN**

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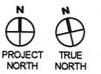
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① LEVEL 2 FLOOR PLAN  
 1/8" = 1'-0"



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**THIRD LEVEL  
PLAN**

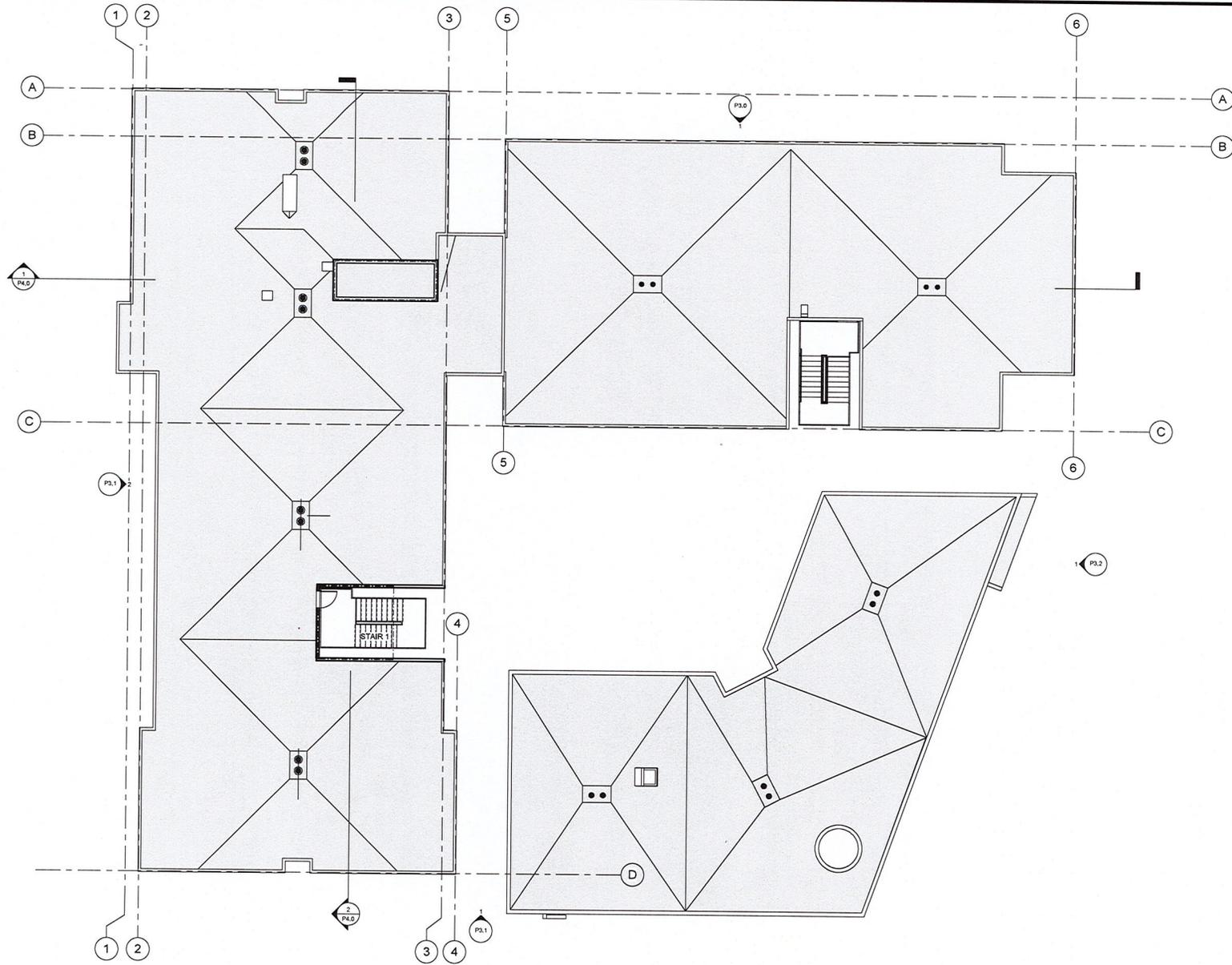
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LEVEL 3 FLOOR PLAN  
1/8" = 1'-0"



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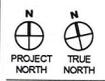
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**ROOF PLAN**

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1 ROOF PLAN  
 1/8" = 1'-0"



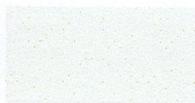
HS1 HORIZONTAL FIBER CEMENT SIDING RAINSTORM SW 6230



C1 BOARD FORMED CONCRETE WALL



S1 STUCCO PAINTED LUAU GREEN SW 6712



S3 STUCCO PAINTED CREAMY SW 7012



S5 STUCCO PAINTED MARCH WIND SW 7668



W2 WOOD LIKE PANEL



HS2 HORIZONTAL FIBER CEMENT SIDING TECHNO GRAY SW 6170



WF1 WINDOW FRAME DARK ANODIZED BRONZE



S2 STUCCO PAINTED EIDER WHITE SW 7014



S4 STUCCO PAINTED RESOLUTE BLUE SW 6507



W1 WOOD LIKE PANEL



W3 WOOD LIKE PANEL

### MATERIAL LEGEND

- HS1 HORIZONTAL FIBER CEMENT SIDING RAINSTORM SW 6230
- HS2 HORIZONTAL FIBER CEMENT SIDING TECHNO GRAY SW 6170
- C1 BOARD FORMED CONCRETE WALL
- S1 STUCCO PAINTED LUAU GREEN SW 6712
- S2 STUCCO PAINTED EIDER WHITE SW 7014
- S3 STUCCO PAINTED CREAMY SW 7012
- S4 STUCCO PAINTED RESOLUTE BLUE SW 6507
- S5 STUCCO PAINTED MARCH WIND SW 7668
- W1 WOOD LIKE PANEL - CHARCOAL
- W2 WOOD LIKE PANEL - WEATHERED GREY
- W3 WOOD LIKE PANEL - MEDIUM BROWN
- WF1 WINDOW FRAME DARK ANODIZED BRONZE

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### BUILDING ELEVATIONS

SHEET NUMBER **P3.0**

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8/20/2019 3:21:55 PM



1 BUILDING ELEVATION - NORTH  
1/8" = 1'-0"



**MATERIAL LEGEND**

- (HS1) HORIZONTAL FIBER CEMENT SIDING RAINSTORM SW 6230
- (HS2) HORIZONTAL FIBER CEMENT SIDING TECHNO GRAY SW 6170
- (C1) BOARD FORMED CONCRETE WALL
- (S1) STUCCO PAINTED LUJAU GREEN SW 6712
- (S2) STUCCO PAINTED EIDER WHITE SW 7014
- (S3) STUCCO PAINTED CREAMY SW 7012
- (S4) STUCCO PAINTED RESOLUTE BLUE SW 6507
- (S5) STUCCO PAINTED MARCH WIND SW 7668
- (W1) WOOD LIKE PANEL - CHARCOAL
- (W2) WOOD LIKE PANEL - WEATHERED GREY
- (W3) WOOD LIKE PANEL - MEDIUM BROWN
- (MF1) WINDOW FRAME DARK ANODIZED BRONZE

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4	08/28/2019	DRG RESUBMITTAL	MD

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**BUILDING ELEVATIONS**

SHEET NUMBER **P3.2**

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① BUILDING ELEVATION - EAST  
1/8" = 1'-0"

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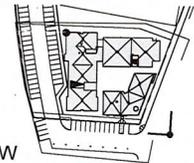
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PINE AND 8TH STREET VIEW

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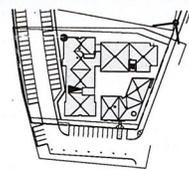
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**PERSPECTIVE  
DRAWINGS**

SHEET NUMBER  
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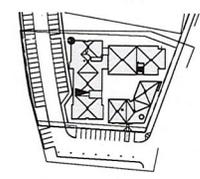


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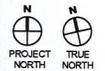
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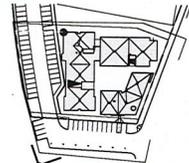


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SHOREY STREET VIEW

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# **ATTACHMENT B**

Original Approved Plans, December 2018  
(partial sheets)

# THE PHOENIX

## FINAL DEVELOPMENT PLAN FOR PHASE 1

### 801 PINE STREET

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PLANNING RESUBMITTAL 12/03/2018

### DRAWING LIST

DRAWING LIST	
SHEET NUMBER	SHEET NAME
P0.0	COVER SHEET
P0.1	PROJECT INFORMATION
P0.2	EXISTING CONDITIONS
P0.3	EXISTING CONDITIONS
P0.4	EXISTING CONDITIONS
P0.5	GPR CHECKLIST & FIRE ACCESS DIAGRAM
C-1.0	TITLE SHEET
C-2.0	GRADING & UTILITY PLAN
ER-1	EROSION CONTROL
SM-1	CONCEPTUAL STORMWATER TREATMENT & MANAGEMENT PLAN
L1.0	TREE SURVEY PLAN
L1.01	LANDSCAPE MATERIALS PLAN
L2.01	LANDSCAPE PLANTING PLAN
L2.02	PLANTING PALETTE
P0.0	SITE PLAN
P0.1	GROUND FLOOR PLAN
P0.2	SECOND LEVEL PLAN
P0.3	THIRD LEVEL PLAN
P0.4	FOURTH LEVEL PLAN
P0.5	ROOF PLAN
P0.0	BUILDING ELEVATIONS
P0.1	BUILDING ELEVATIONS
P0.2	BUILDING ELEVATIONS
P0.0	BUILDING SECTIONS
P0.1	BUILDING SECTIONS
P0.2	ENLARGED UNIT PLANS
P0.2	PERSPECTIVE DRAWINGS
P0.0	PERSPECTIVE DRAWINGS
PT.0	LIGHTING PLAN
PT.1	LIGHTING PLAN
PT.2	LIGHTING PLAN

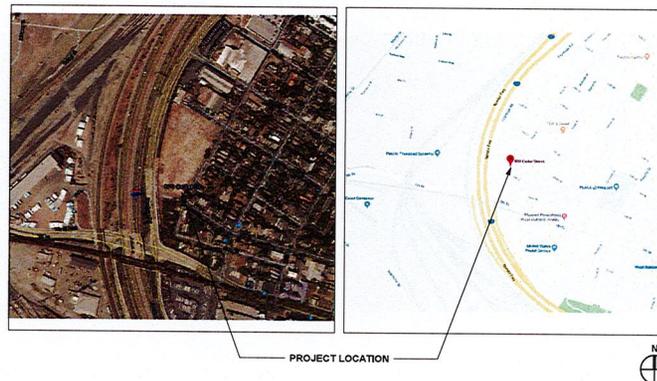
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### PROPOSED PROJECT



PINE STREET VIEW

### PROJECT LOCATION

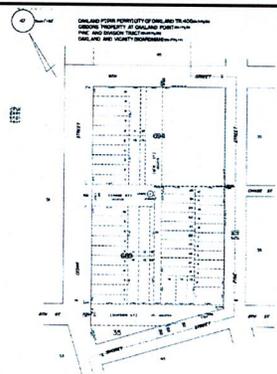


PROJECT LOCATION

### PROJECT DIRECTORY

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<b>LANDSCAPE ARCHITECT:</b>	MILLER COMPANY LANDSCAPE 1565 FOLSOM STREET SAN FRANCISCO, CA 94103 JEFF MILLER PHONE 415-252-7288 JMILLER@MILLERCOMP.COM	<b>MECHANICAL ENGINEER:</b>	FARD 309 LENNON LANE, SUITE 200 WALNUT CREEK, CA 94598 MAX SAIDNIA PHONE 925-5505 X203 MAX@FARD.COM
		<b>PLUMBING ENGINEER:</b>	FARD 309 LENNON LANE, SUITE 200 WALNUT CREEK, CA 94598 MAX SAIDNIA PHONE 925-5505 X203 MAX@FARD.COM309
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### PARCEL MAP



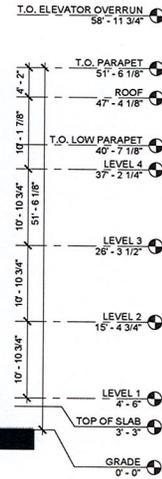
6-47-1



2 BUILDING ELEVATION - WEST  
1/8" = 1'-0"

**MATERIAL LEGEND**

- (H1) HORIZONTAL SIDING TUPELO TREE SW 6417
- (H2) HORIZONTAL SIDING TECHNO GRAY SW 6170
- (C1) BOARD FORMED CONCRETE WALL
- (P1) PANEL PAINTED TEMPE STAR SW 6229
- (P2) PANEL PAINTED RESOLUTE BLUE SW 6507
- (S1) STUCCO PAINTED LUAU GREEN SW 6712
- (S2) STUCCO PAINTED EIDER WHITE SW 7014
- (S3) STUCCO PAINTED CREAMY SW 7012
- (W1) WOOD LIKE PANEL - NORDIC BLACK NW23
- (W2) WOOD LIKE PANEL - LOFT BROWN NW05
- (W3) WOOD LIKE PANEL - HALMSTAD NW28
- (MF1) WINDOW FRAME DARK ANODIZED BRONZE



3 BUILDING ELEVATION - SOUTH  
1/8" = 1'-0"

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**BUILDING ELEVATIONS**

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1 BUILDING ELEVATION - EAST  
 1/8" = 1'-0"

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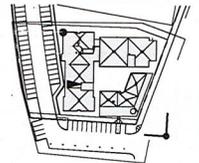
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PINE STREET VIEW

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